



PLANNING COMMISSION STAFF REPORT

APPLICATION: CUP2018-02

AGENDA ITEM: PH-2

PREPARED BY: Nancy Lee
Associate Planner

MEETING DATE: January 10, 2018

SUBJECT: Conditional Use Permit CUP2018-02
410 South 5th Avenue

REQUEST: Construct two new detached residential units resulting in a two-story second dwelling behind a main dwelling in the RM2500 (Residential Medium) zone.

APPLICANT: Wang Feng and Chen Xiaomin, Property Owners
86 N. Lima Street
Sierra Madre, CA 91024

ENVIRONMENTAL DETERMINATION: Categorical Exemption (Class 3)

BACKGROUND: The applicant is proposing to construct two new two-story single-family homes on a 9,252± square foot lot in the RM2500 (Residential Medium) zone. Monrovia Municipal Code (MMC) Section 17.12.030(B)(1)(a) requires the approval of a Conditional Use Permit for multifamily development proposals that result in a two story, second unit behind a main dwelling.

SUBJECT PROPERTY: The property is located on the east side of South 5th Avenue between Colorado Boulevard and Foothill Boulevard and is bounded by the City of Arcadia to the west. The lot measures 75.44 feet wide and 122.65 feet deep, resulting in a total lot area of approximately 9,252 square feet. The property is currently developed with a primary residence (410 South 5th Avenue) that was built in 1947 and a garage that was built in 1954.

Given that the existing residential structures were built within the historic period (50 years of age or older) and are proposed for demolition to accommodate the proposed development, the application was subject to the City's demolition permit review regulations set forth in MMC Chapter 17.10. In compliance with these standards, the applicant submitted a professional historic assessment and DPR Form prepared by Sapphos Environmental, Inc., finding that the residential structures do not have architectural or known historic value. The Historic Preservation Commission reviewed the assessment at their meeting on August 23, 2017, and approved the DPR Form with a California Historic Status Code (CHRS) of 6Z. A status code of 6Z is assigned to properties that do not meet any of the criteria required for landmark designation.

Site and Surrounding Land Uses

The project site is designated Residential Medium (5.8-17.4 du/acre) in the General Plan and is zoned RM2500 (Residential Medium). The site is surrounded by the following land uses:

North:

General Plan: Residential Medium Density (5.8-17.4 du/acre)
 Zoning: RM2500 (Residential Medium)
 Land Use: Multifamily Residential (6 units)

South:

General Plan: Residential Medium Density (5.8-17.4 du/acre)
 Zoning: RM2500 (Residential Medium)
 Land Use: Planned Unit Development (4 units)

East:

General Plan: Residential Medium Density (5.8-17.4 du/acre)
 Zoning: RM2500 (Residential Medium)
 Land Use: Multifamily Residential (8 units)

West:

General Plan: City of Arcadia
 Zoning: City of Arcadia
 Land Use: Single Family Residential (1 unit)

DISCUSSION/ANALYSIS: The applicant is proposing the development of two detached two-story residential units resulting in a two-story second dwelling behind a main dwelling. The existing 1,237 square foot single-story dwelling and detached garage will be demolished to make way for the proposed development.

Site Plan

The main unit (unit A) is oriented towards South 5th Avenue and totals 1,851 square feet in floor area. The second unit (unit B) is located towards the rear of the lot and totals 1,846 square feet in floor area. Both units are provided with attached garages.

As shown in the following table, the development meets or exceeds all zoning code requirements, in relation to density, building setbacks, building height, recreation space, and parking.

TABLE 1.0 DEVELOPMENT STANDARD COMPLIANCE REVIEW

Development Standard	Required	Proposed
Density (1 du/2,500SF)	Maximum 3 units	2 units
Floor Area Ratio (FAR) (40% Dwelling Unit / 20% Accessory Structure)	Maximum 40% / 20%	40% / 8.7%
Front Setback (25 FT or Average Setback, whichever is greater)	25'-0"	25'-0"
Development Standard	Required	Proposed

Side Setback – First Story 10% of lot width (5ft min. – 15ft max.)	7'-7"	8'-0" (Unit A) 8'-7" (Unit B)
Side Setback – Second Story	8'-0"	8'-0" (Unit A) 15'-1" (Unit B)
Rear Setback	20'-0"	20'-0"
Building Height	27'-0"	23'-6" (Unit A) 23'-5" (Unit B)
Private Recreation Space 40% of gross dwelling unit floor area	741 SF (Unit A) 738.4 SF (Unit B)	748 SF (Unit A) 1,560 SF (Unit B)
Parking	2-car garage/dwelling	2-car garage/dwelling

Floor Plans/Building Elevations

Each unit will have two stories and individual floor plans. Unit A has been designed with 1,851 square feet and contains four bedrooms and four and a half bathrooms. Unit B has been designed with 1,846 square feet and contains four bedrooms and four bathrooms. Each unit also includes an attached two-car garage and sufficient area for laundry facilities.

The proposed homes are modern Prairie in architectural style, and incorporate low-pitched hipped roofs, with 30 inch boxed eave overhangs, wood fascia, stucco cornice and trims, and partial-width porches at each front entry. The exteriors will be clad in stucco. The base will be treated with brick veneer (*Cultured Brick Veneer – Handmade Brick*) along the front facades, and will continue to wrap to the natural corners of the homes. The roof material will consist of asphalt shingles (*Woodcrest Shingles by Owens Corning*) that simulate wood shake. Additional architectural details include divided light windows and massive square porch supports consisting of decorative tapered columns that will be finished in cultured stone veneer (*Ancient Villa Ledgestone by Boral*). Two complementary color palettes are proposed that incorporate a range of dark and light tan color tones.

Compatibility Review

Both two-story units were reviewed pursuant to the City's Neighborhood Compatibility Standards. The components include assessment of building heights, site design features, architectural styles, and common building materials of the neighborhood in comparison to the proposed development to ensure that the new dwellings fit the context of the existing development. The surrounding neighborhood area is eclectic in style, best described as a mix of typical 1950s single and multiple-family homes of common design, low cost construction, or much newer buildings from the past few decades. Both single and two-story homes are present in the neighborhood.

The site has been sensitively designed to minimize impacts on the neighboring properties. All windows on the second story were placed carefully to address privacy and view shed impacts of the properties to the south as much as possible. Furthermore, a greater second story side yard setback (15'-0" instead of 8'-0") is provided on the rear unit (Unit B). To ensure the development fits into the existing neighborhood context, the applicant designed the building

height to match the height of the two-story multifamily development adjacent to the south. Lastly, the project will be conditioned to provide a landscape plan that incorporates quality landscape materials which will be proportional to the size of the development. The plan will incorporate appropriate trees in addition to a variety of plants, shrubs, and groundcover that will be planted throughout the site.

Development Review Committee Advisory Review

As part of the Advisory Review by the Development Review Committee (DRC) meeting, Staff sent out a courtesy notice to property owners within 300 feet of the subject property. The courtesy notice was provided to further encourage and allow for public input regarding the project prior to the public hearing. Before the DRC meeting held on December 20, 2017, one neighbor visited the Planning Division to express their concern regarding the two-story development. This neighbor resides in the two-story, four-unit planned unit development immediately south of the subject site and expressed a concern regarding impacts to his view of the San Gabriel Mountains to the north of his home. Although this individual was not present during the DRC meeting, the DRC was made aware of this concern.

The DRC determined that the proposed project was designed to minimize the view impacts to the surrounding properties. The dwellings are detached and planned with open yard space which will provide views to the San Gabriel Mountains from the south. The building designs incorporate second stories that are smaller than the first story. Lastly, a greater second floor setback is provided on Unit B, which is the unit closest to the concerned neighbor. This setback will result in a total building separation of 28'-6" between Unit B and the neighboring property.

Conclusion

The proposed development will result in two new homes that will be an attractive addition to the neighborhood and community. This area is zoned for multifamily development and there are several multifamily structures within this block of South 5th Avenue, some of which are two story structures. The property to the south is a planned unit development consisting of four two-story units, and the property to the north is developed with six single-story units. The new units will offer a modern Prairie design and display various quality building materials to convey a sense of permanence in an existing multifamily residential neighborhood. Lastly, the project meets all the development standards for this multifamily zoned property and the proposed development is fitting with the character of the neighborhood.

RECOMMENDATION: Staff and the Development Review Committee recommend approval of CUP2018-02 for two new detached residential units resulting in a two-story second dwelling behind a main dwelling. If the Planning Commission concurs with this recommendation then, following the public hearing, the appropriate actions would be:

1. Pursuant to the California Environmental Quality Act ("CEQA") and the City's local CEQA Guidelines, the Planning Commission in the exercise of its independent judgment finds that CUP2018-02 is categorically exempt from CEQA under Class 3.
2. The Planning Commission finds that the custodian of records for all other materials that constitute the record of proceeding upon which this decision is based is the Planning Division Manager. Those documents are available for public review in the Planning Division located at 415 South Ivy Avenue, Monrovia, California, 91016.

3. The Planning Commission in the exercise of its independent judgment hereby makes the findings listed on attached Data Sheet No. 3 for CUP2018-02, which are incorporated herein by this reference.
4. The Planning Commission hereby approves CUP2018-02, subject to the attached Planning Conditions on Data Sheet No. 1, and recommendations in the Staff Report, all of which are incorporated herein by this reference.

MOTION:

Approve Conditional Use Permit CUP2018-02 as presented in the Staff Report.



STANDARD CONDITIONS FOR MULTIPLE RESIDENTIAL DEVELOPMENT

Development of the subject property and operations on the site must remain in substantial conformance at all times with the request and application forms and plans for CUP2018-02, for the development that will result in a two-story, second unit behind a main dwelling submitted by the applicant, as approved by the Planning Commission and placed on file in the office of the Planning Division, except as modified by the conditions imposed by the Planning Commission and by subsequent modifications determined by the Planning Division Manager to be in substantial compliance with the conditions of approval. The term "Applicant" as used herein shall include the applicant, the property developer and all successors in interest to this conditional use permit.

DEVELOPMENT STANDARDS

1. A final materials board shall be submitted to the Planning Division Manager for review and approval prior to building permit issuance. The final materials board shall include a breakdown by unit of materials to be used and samples/examples of siding, stucco, stone veneers, windows, exterior doors, garage doors, roofing, color schemes and exterior light fixtures.
2. A decorative block wall shall be provided by the Applicant adjacent to the north, south, and east property lines but outside of the front setback area. The property line wall must be a minimum of five feet above the subject property's finished grade and a minimum of five feet and a maximum of six feet above the adjacent property's grade, measured in accordance with the Monrovia Municipal Code. The walls shall be installed before building construction begins.
3. All private recreation areas must be enclosed by 5' to 6' high wood fence or approved alternative. All proposed fences shall be shown and indicated on the submitted site plan.
4. The Applicant shall make a good faith effort to work with adjacent property owners (that have existing walls/fences) to avoid a double wall condition, and provide a single wall along the project's perimeter. The applicant shall notify by mail all contiguous property owners at least 30 days prior to the removal of any existing walls/fences along the project's perimeter.
5. If a driveway gate is proposed at a later date the Development Review Committee shall consider the request after providing written notification to property owners within a 300' radius of the site. The cost of such notification shall be paid in advance by the Applicant.
6. An area for storage of individual trashcans shall be provided on a paved surface and screened) and shall be shown and indicated on the submitted site plan.

7. A level concrete patio shall be provided for each unit in the private recreation area and shall be indicated on the grading plan and approved by the Development Review Committee prior to the start of grading.
8. Placement and design of mailboxes shall be reviewed and approved by both the U.S. Postal Service and the Planning Division prior to installation.
9. No roof mounted mechanical equipment shall be permitted.
10. Ground level mechanical equipment shall be placed a minimum of 5' from the interior property lines and shall be completely screened with landscaping. Ground level mechanical equipment shall not be located within the front setback.
11. Electrical power lines, telephone lines, and any other transmission lines (including, without limitation, cable television lines, data transmission lines, communication lines, other utility lines, etc.) to and from the development, and within the development, shall be placed underground and provided to each unit.
12. Placement of the electrical transformer and fire standpipe shall be shown on a site plan and shall be reviewed and approved by the Development Review Committee.
13. All utilities and structures such as gas meters, electrical meters, telephone pedestal-mounted terminal boxes, surface mounted electrical transformers, or other potential obstructions shall be noted on the plans with provisions for appropriate screening.
14. Plans showing all exterior lighting shall be submitted to the Planning Division for review prior to building permit issuance and no exterior lighting shall be installed without the approval of the Planning Division Manager. All exterior lighting shall be designed, arranged, and installed so as to confine direct rays onto the premises and to direct light away from adjacent structures.

LANDSCAPING

15. A Landscape and Irrigation Plan prepared by a Landscape Architect shall be submitted to the Planning Division for plan check showing the size, type, and location of all planting areas and shall incorporate the Tree Retention Plan and the following conditions of approval:
 - a. Landscaping shall be a combination of 24" and 36" box trees, shrubs, groundcover, and turf.
 - b. All landscaping shall be maintained by a permanent automatic irrigation sprinkler system.
 - c. Any unimproved City right-of-way contiguous with the property shall be landscaped by the Applicant and incorporated into the required landscape plan.
 - d. Hardscape improvements shall be provided in common areas.
16. A landscape documentation package pursuant to the requirements of the State Model Water Efficient Landscape Ordinance shall be submitted to the Planning Division for approval prior to landscape construction. A Landscape Certificate of

Completion shall be submitted to the Planning Division at the completion of the installation, prior to request for a final inspection and Certificate of Occupancy.

PARKING

17. All paved parking and driveway areas shall be surfaced with Portland cement concrete (3-1/2" minimum thickness) or approved alternative.
18. All driveway surface areas shall incorporate accent treatment throughout the design. Accent treatment shall include stamped concrete or other approved treatment.

CONSTRUCTION SITE REQUIREMENTS

19. Provide temporary perimeter fencing with view obscuring material during construction. If graffiti is painted or marked in any way upon the premises or on an adjacent area under the control of the Applicant (including without limitation, any temporary perimeter construction fencing or the permanent wall), the graffiti shall be removed or painted over by Applicant within twenty-four hours, unless any law in effect imposes a shorter time period. Fencing may be removed prior to landscape installation with Planning Division approval.
20. One waterproof sign (36" x 48") in both English and Spanish noting construction hours and a phone number for contact shall be posted at the front of the site prior to grading or construction.

GENERAL REQUIREMENTS

21. Garages shall be used for the storage of vehicles only and shall not be converted for livable, recreational or storage usage in a way that would prohibit its primary use as a two-car garage.
22. In addition to Planning (Data Sheet No. 1) and Public Works (Data Sheet No. 2) conditions of approval the Applicant shall also comply with all requirements of the Monrovia Municipal Code, Building Division and Fire Department that are directly applicable to the project.
23. Any violation of these conditions of approval or the Monrovia Municipal Code may be subject to the Administrative Fine Ordinance, other available remedies and/or revocation or modification of this permit at the discretion of the City Attorney and City Prosecutor.
24. The Applicant shall, within 30 days after approval by the Planning Commission, submit to the Community Development Department his/her written consent to all of the conditions of approval contained in Data Sheet Numbers 1 and 2. The Conditional Use Permit CUP2018-02 shall be void and of no force or effect unless such written consent is submitted to the City within the 30 day period.
25. All of the above conditions shall be complied with prior to issuance of the Certificate of Occupancy, unless an earlier compliance period is specified as part of a condition.

26. Indemnification. As a condition of approval, Applicant agrees to defend, indemnify, protect and hold harmless City, its officers, officials, employees, agents and volunteers from and against any and all claims, actions, proceedings, losses, fines, penalties, judgments, settlements, defensive costs or expenses (including but not limited to, interest, expert witness fees and attorneys' fees), liabilities, damages or injuries, in law or equity, to persons or property, including wrongful death (collectively "Claims"), arising out of, attributable to, or relating to (i) the granting of CUP2018-02 and the granting of any permits for grading, building or any other activity on the property arising out of or relating to the construction of the proposed project on the property (the "Permits"), (ii) the work performed pursuant to the Permits, or (iii) any earth movement, erosion, earthquake, liquefaction, landslide, lateral displacement, vertical displacement, sloughing, slippage, settlement or any other cause on the subject property, whether related to the Permits or not, including but not limited to, Claims asserted by third parties and adjoining property owners, property owners' guests, invitees, tenants, successors in interest and permittees; provided, however, the Applicant will not be responsible for those Claims caused by the willful misconduct or sole negligence of the City, its officers, officials, employees, agents or volunteers. Nothing contained herein shall prohibit City from participating in a defense of any claim, action or proceeding. The City shall have the option of coordinating the defense, including, but not limited to, choosing counsel for the defense at Applicant's expense.
27. Additional Indemnification. Further, as a condition of approval, Applicant agrees to defend, indemnify, protect and hold harmless City, its officers, officials, employees, agents and volunteers from and against any and all claims, actions, or proceeding against the City, its officers, officials, employees, agents and/or volunteers to attack, set aside, void or annul, an approval of the City, Planning Commission or City Council concerning this permit and the project. Such indemnification shall include damages, judgments, settlements, penalties, fines, defensive costs or expenses (including, but not limited to, interest, attorneys' fees and expert witness fees), or liability of any kind related to or arising from such claim, action, or proceeding. The City shall promptly notify the Applicant of any claim, action, or proceeding. Nothing contained herein shall prohibit City from participating in a defense of any claim, action or proceeding. The City shall have the option of coordinating the defense, including, but not limited to, choosing counsel for the defense at Applicant's expense.



CONDITIONAL USE PERMIT CUP2018-02

As required by Section 17.52.290 of the Monrovia Municipal Code, the decision for granting Conditional Use Permit No. 2018-02 for multi-family development proposals that result in a two-story, second unit behind a main dwelling located at 410 South 5th Avenue is based on the following findings:

- A. The project site is adequate in size, shape and topography for two new detached residential dwellings resulting in the development of a two-story rear dwelling behind a main dwelling. *The subject property is located in the RM2500 (Residential Medium) zone, which allows a maximum density of one dwelling per 2,500 square feet of lot area. The subject parcel has a total lot area of 9,252± square feet, and therefore is allowed to be developed with up to three residential dwelling units with a maximum 40 percent Floor Area Ratio (FAR). The site has sufficient width, depth and lot area to accommodate this type of development. The site is rectangular and relatively flat and of sufficient size to accommodate two new detached residential dwellings resulting in the development of a two-story rear dwelling behind a main dwelling.*
- B. The project site has sufficient access to streets and highways, adequate in width and pavement type to carry the quantity and quality of traffic generated by two new detached residential dwellings resulting in the development of a two-story rear dwelling behind a main dwelling. *The project will be accessed by a 12'-0" wide residential driveway for both ingress and egress onto South 5th Avenue. The project provides the required residential parking spaces for both the proposed residential units. South 5th Avenue is a Local Street designed to accommodate traffic from residential driveways as indicated in the Circulation Element of the General Plan.*
- C. The two new detached residential dwellings resulting in the development of a two-story rear dwelling behind a main dwelling will be compatible with the General Plan and will not adversely impact the objectives of the General Plan. *The proposed development is consistent with the goals and policies of the General Plan that require new developments in established neighborhoods to consider the established architectural styles, building materials, and scale of buildings within the vicinity of the proposed project. The proposed development is also consistent with the residential designation for Residential Medium Density allowing multiple detached units. The placement of the rear two-story unit on the lot was designed to minimize the view impacts to the surrounding properties by careful site planning and site design. The rear dwelling is detached from the front dwelling and the site has been planned with open yard space between the front and rear dwellings. In addition, a greater second floor side yard setback has also*

been provided on the rear unit to minimize both privacy and view impacts to the neighboring properties to the south. The Monrovia Municipal Code requires a minimum second story side yard setback of 8'-0" and 15'-0' is provided. This setback will result in a total building separation of 28'-6" between the rear unit and the neighboring property to south of the subject site. To ensure the development fits into the existing neighborhood context, the applicant designed the building height to match the height of the multifamily development to the south. Lastly, both of the new two-story units, including the unit at the rear of the lot, will offer a modern Prairie design and display various quality building materials to convey a sense of permanence in an existing multifamily residential neighborhood.

- D. *The two new detached residential dwellings resulting in the development of a two-story rear dwelling behind a main dwelling will comply with the applicable provisions of the Zoning Ordinance. The development meets or exceeds all zoning code requirements, in relation to density, building setbacks, building height, recreation space, and parking. The proposed development provides two enclosed garage spaces, as required by the Zoning Ordinance. The project is zoned RM2500 (Residential Medium Density) and is being developed at the maximum 40 percent Floor Area Ratio that is permitted by the Monrovia Municipal Code. All other development standards, including setbacks, recreation space, walls, and parking requirements, are being met. Monrovia Municipal Code (MMC) § 17.12.030(B)(1)(a) requires the approval of a Conditional Use Permit for multifamily development proposals that result in a two story, second unit behind a main dwelling. The site has been sensitively designed to minimize impacts on the neighboring properties. A greater second floor side yard setback has been provided on the rear unit and all windows on the second story were placed carefully to address privacy and view shed impacts of the properties to the south as much as possible.*
- E. *The proposed location of the two new detached residential dwellings resulting in the development of a two-story rear dwelling behind a main dwelling and the conditions under which it will be operated or maintained will not be detrimental to the public health, safety or welfare, nor will it be materially injurious to properties or improvements in the vicinity. This site allows for a multi-family development that is consistent with properties in the area in terms of the number of residential units. Several design elements have been incorporated into the design to ensure that the two-story dwelling at the rear of the lot is compatible in scale, massing, style, and architectural materials with the existing structures in the surrounding neighborhood. The surrounding neighborhood is best described as a mix of typical 1950s single and multiple-family homes of common design, low cost construction, or much newer buildings from the past few decades. Both single and two-story homes are present in the neighborhood. The building elevations of both of the proposed dwellings on the lot were designed to complement the existing residential development in the immediate neighborhood.*
- F. *The proposed project will not result in the demolition of a residential structure 50 years or older, with architectural or know historic value. As part of this project, a single-family residence on the subject site will be demolished. On August 23,*

2017, the Historic Preservation Commission approved the DPR Form with a California Historic Status Code (CHRS) of 6Z, a status code that is assigned to properties that do not meet any of the criteria required for landmark designation.

Neighborhood Compatibility Review

As required by Section 17.12.005 of the Monrovia Municipal Code, the decision for approving neighborhood compatibility design review is based on the following findings:

- A. The proposed development meets the zoning development standards applicable to the property. *The proposed development is located in the RM2500 (Residential Medium) zone and meets or exceeds all development standards in relation to density, building setbacks, building height, recreation space, and parking. The proposed development provides two enclosed garage spaces, as required by the Zoning Ordinance. The project is being developed at the maximum 40 percent Floor Area Ratio that is permitted by the Monrovia Municipal Code. All other development standards, including setbacks, recreation space, walls, and parking requirements, are being met.*
- B. The orientation and design of the building(s) are appropriate to the size and configuration of the lot and provide a well-designed site layout. *The zoning designation for the subject site is RM2500 (Residential Medium). The subject site is 9,252± square feet in size and a maximum of three residential units is permitted. However, the applicant is proposing to construct two new residential units. Two residential units determined found to be appropriate to the size and configuration of the lot. Further, the rear dwelling is detached from the front dwelling and the site has been planned with open yard space between the front and rear dwellings, which provides for a well-designed layout.*
- C. The proposed development is designed to be compatible with adjacent properties by reasonably minimizing impacts related to privacy and solar access. *The site has been designed to be compatible with adjacent properties by reasonably minimizing impacts related to privacy and solar access in that the placement of the rear two-story unit on the lot was designed to minimize the view impacts to the surrounding properties by careful site planning and site design. The rear dwelling is detached from the front dwelling and the site has been planned with open yard space between the front and rear dwellings. In addition, a greater second floor side yard setback has also been provided on the rear unit to minimize both privacy and view impacts to the neighboring properties to the south. The MMC requires a minimum second story side yard setback of 8'-0" and 15'-0' is provided. This setback will result in a total building separation of 28'-6" between the rear unit and the neighboring property to south of the subject site.*
- D. The proposed development is compatible with the character of the neighborhood in terms of scale, mass, height, and design. *The proposed two-story modern Prairie styled development is consistent with properties in*

the area in terms scale, massing, height, and design with the existing structures in the surrounding neighborhood in that the surrounding neighborhood is best described as a mix of typical 1950s single and multiple-family homes of common design, low cost construction, or much newer buildings from the past few decades. Both single and two-story homes are present in the neighborhood. The building elevations of both of the proposed dwellings on the lot were designed to complement the existing residential development in the immediate neighborhood.

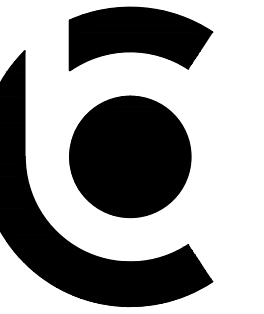
PROPOSED 2- UNITS

410 S 5TH AVE.
MONROVIA, CA. 91016

APN # 8505 - 032 - 013

FIRE SPRINKLERS REQUIRED:

AN AUTOMATIC RESIDENTIAL FIRE SPRINKLER SYSTEM IN ACCORDANCE WITH NFPA 13D OR SECTION R619.9 SHALL BE INSTALLED IN ONE AND TWO FAMILY DWELLINGS OR TOWNHOUSES INCLUDING ATTACHED GARAGES

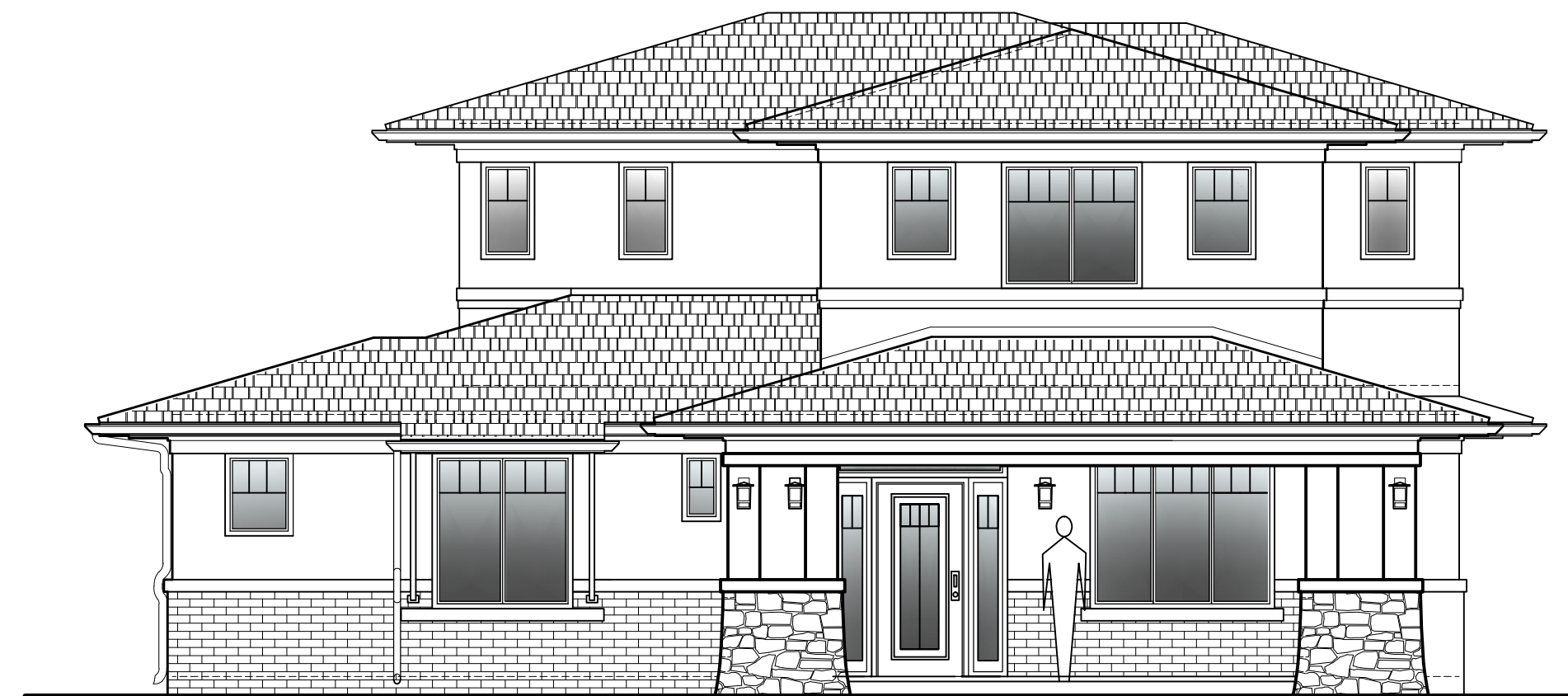


C.B. HOME DESIGN INC.
1168 SAN GABRIEL BLVD
SUITE P
ROSEMEAD, CA 91770
PHONE: (626) 279-5657
EMAIL: CBHOME626@GMAIL.COM

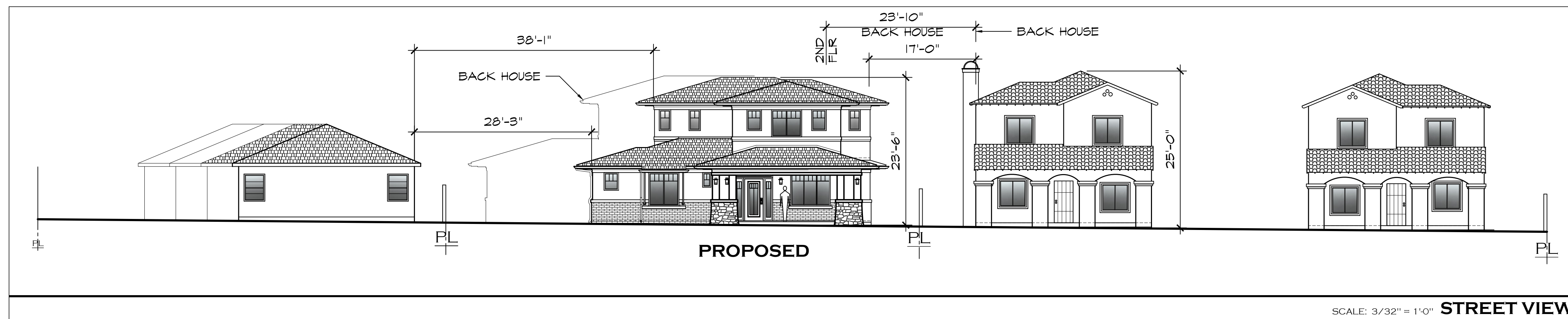
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UNIT B REAR HOUSE



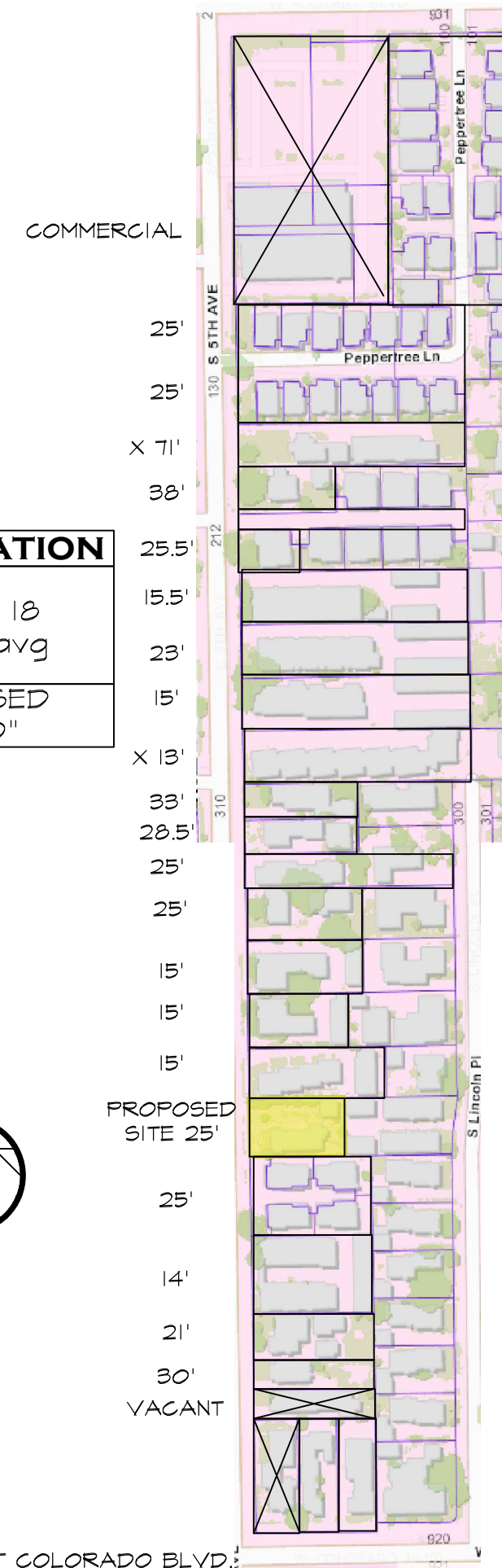
UNIT A FRONT HOUSE



SCALE: 3/32" = 1'-0" STREET VIEW

AVERAGE SETBACK

W FOOTHILL BLVD



CALCULATION

$$419.5ft / 18 = 22.97 \text{ avg}$$

PROPOSED
25'-0"

ZONING COMPLIANCE

	Existing	Proposed
LOT SIZE:	12,527 square feet	_____ square feet
Width	75.44 feet	_____ feet
Depth	166.65 feet	_____ feet
DWELLING SIZE:	1,237 square feet	3,701 square feet
DWELLING SETBACKS:		
Front	30 feet	25 feet
Front Average Setback	24.97 feet	20 feet
Rear	20 feet	8 feet / 8 feet
Right side (1 st /2 nd)	16 feet / 16 feet	4 feet / 4 feet
Left side (1 st /2 nd)	41 feet / 41 feet	4 feet / 4 feet
ACCESSORY STRUCTURE SETBACKS:		
Front	95 feet	_____ feet
Rear	16 feet	20 feet
Right side (1 st /2 nd)	37 feet / 37 feet	_____ feet / _____ feet
Left side (1 st /2 nd)	2 feet / 2 feet	_____ feet / _____ feet
DWELLING HEIGHT:	11 feet	23.5 Feet
ACCESSORY STRUCTURE HEIGHT (DETACHED):	_____ feet	_____ feet

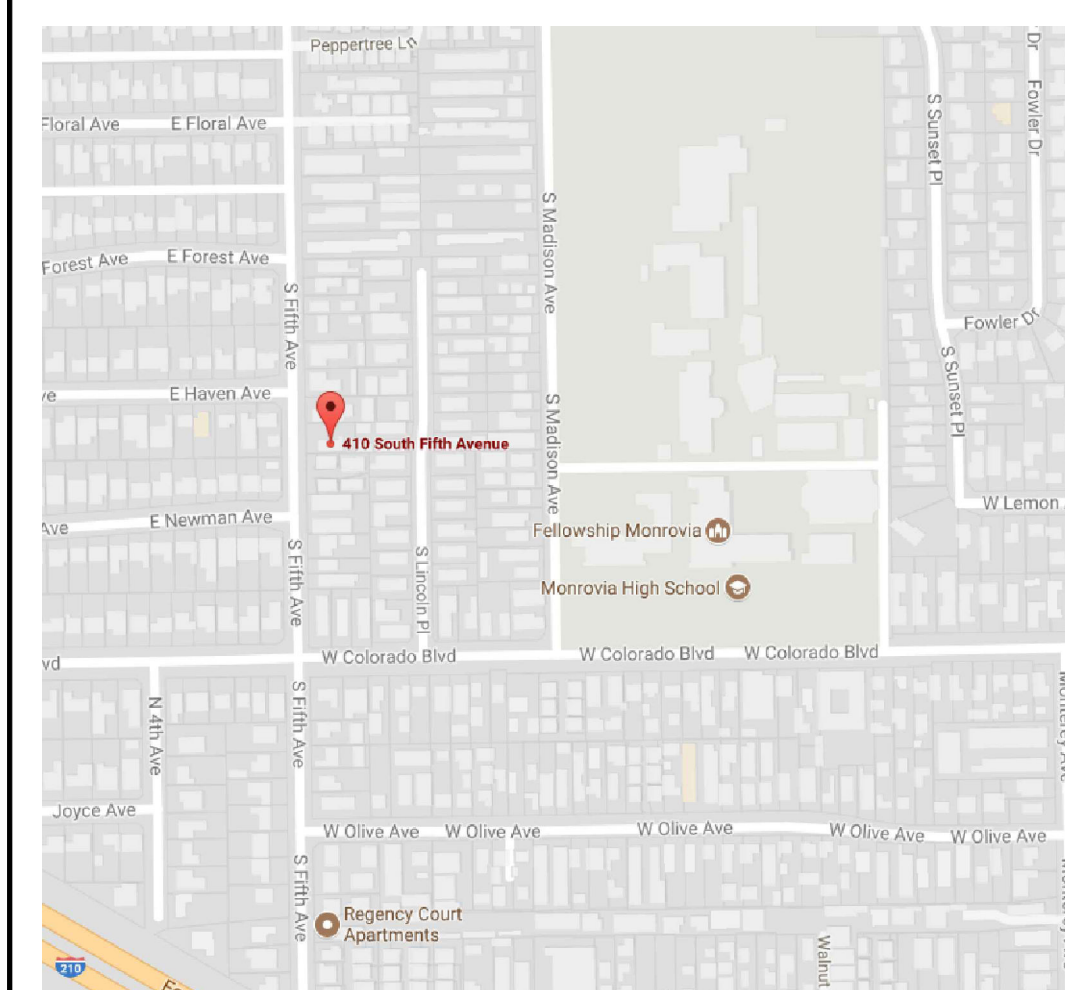
SQUARE FOOTAGE BREAKDOWN

	Existing	Proposed
HABITABLE LIVING AREA:		
Misused to the outside surface of exterior walls;		
Attached garages and other attached, unheated accessory buildings shall be calculated as main building floor area.		
1,237 square feet	_____ square feet	
(____%)	(____%)	
NON-HABITABLE AREA:		
Refer to Municipal Code § 17.12.040(C).		
_____ square feet	_____ square feet	
(____%)	(____%)	

TABULATIONS

ZONE: RH 2500
CONSTRUCTION TYPE: V-B FIRE SPRINKLERED NFPA 13D
LOT: 15.44' X 122.65'
LOT: 4,252.72 SQ. FT.
EXISTING DWELLING TO BE DEMO: 1,237 SF
DWELLING SIZE: UNIT 'A' [1,851 SF]
1ST FLOOR: 495 SF
2ND FLOOR: 854 SF
UNIT 'B' [1,846 SF]
1ST FLOOR: 1,034 SF
2ND FLOOR: 812 SF
LOT COVERAGE: 3/22 / 4,252.72 93% LOT COV
MAX DWELLING SIZE: 3,701 SF
BUILDING HEIGHT: 2-STORY 23'-5"
EXISTING STRUCTURES TO BE DEMOLISHED
EXISTING RESIDENCE TO BE DEMO: 1,237 SF
GARAGE TO BE DEMO: 342 SF

VICINITY MAP



SCOPE OF WORK

- DEMOLISH EXISTING SINGLE FAMILY DWELLING, BUILT 1947
- CONSTRUCT (2) 2-STORY SINGLE FAMILY DWELLINGS, ATTACHED 2-CAR GARAGE
- TOTAL OF 4 BEDROOMS AND 3 1/2 BATHS (EACH)

SHEET INDEX

C-1	COVER SHEET
T-1	SITE PLAN
A-1	COLOR ELEVATIONS & MATERIALS
A-2	UNIT 'A' PROPOSED 1ST FLOOR PLAN & 2ND FLOOR PLAN
A-3	ELEVATIONS UNIT 'A'
A-4	UNIT 'B' PROPOSED 1ST FLOOR PLAN & 2ND FLOOR PLAN
A-5	ELEVATIONS UNIT 'B'

OWNER INFO:

CYNTHIA LI
86 N. LIMA ST.
SIERRA MADRE, CA. 91024

PROJECT ADDRESS:

PROPOSED (2) 2-STORY SINGLE FAMILY DWELLINGS
410 S 5TH AVE
MONROVIA, CA. 91016

JOB NUMBER:

C317-000

DRAWN BY:

GC/JC/RO

NTS

REVISIONS:

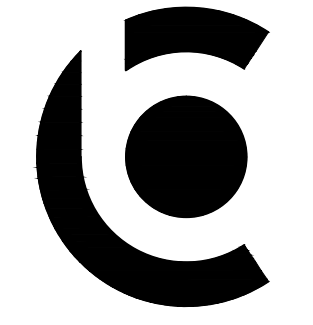
.....

SHEET TITLE:

COVER SHEET

SHEET NO:

C-1



C.B. HOME DESIGN INC.
 1168 SAN GABRIEL BLVD
 SUITE F
 ROSEMEAD, CA 91770
 PHONE: (626) 279-5657
 EMAIL: CBHOME626@GMAIL.COM

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OWNER INFO:
 CYNTHIA LI
 86 N. LIMA ST.
 SIERRA MADRE, CA. 91024

PROJECT ADDRESS:
 PROPOSED (2) 2-STORY SINGLE FAMILY DWELLINGS
 410 S 5TH AVE
 MONROVIA, CA. 91016

JOB NUMBER:
 CB17-006
DRAWN BY:
 GC/JC/RO

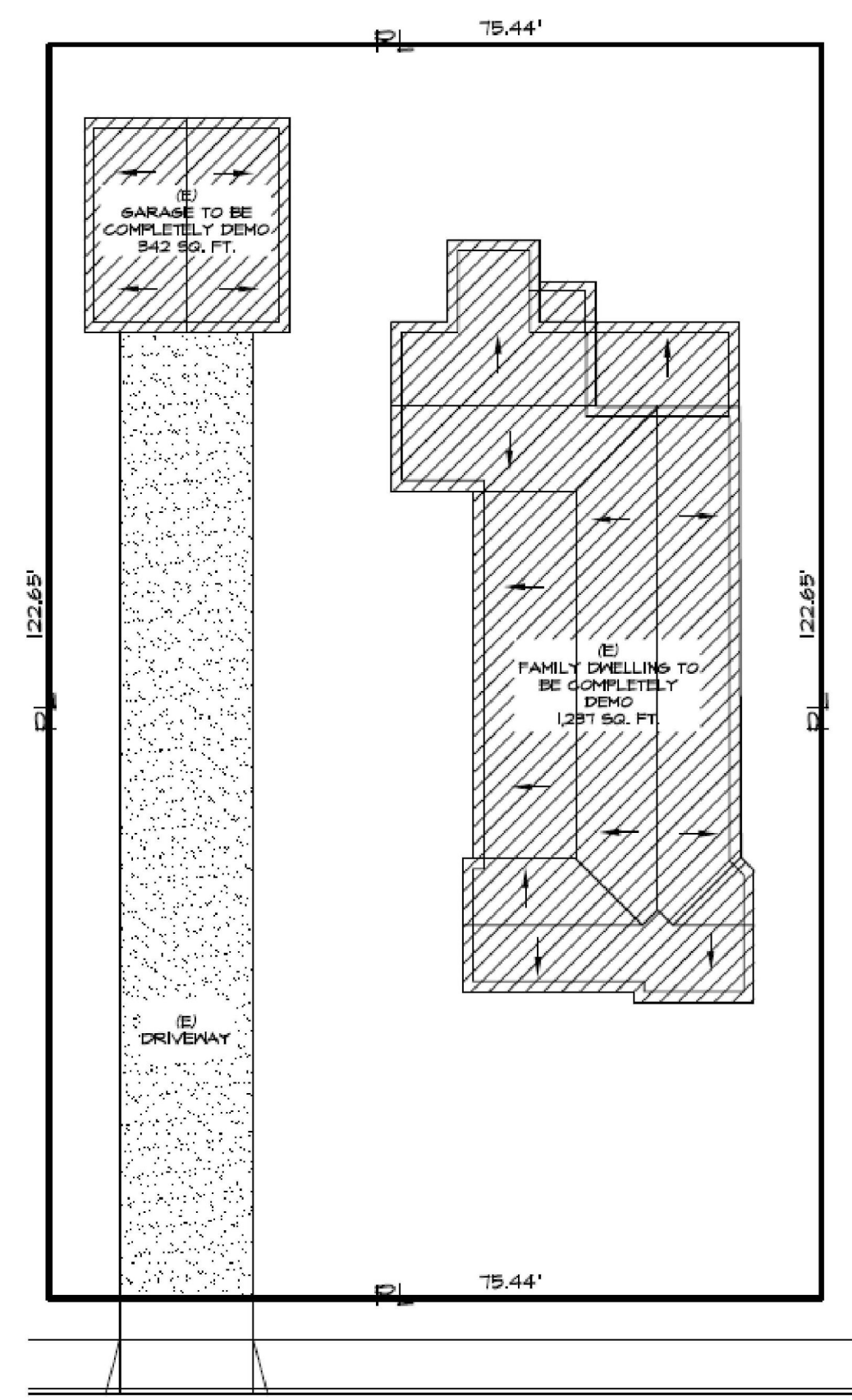
REVISIONS:
 .
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SHEET TITLE:
 SITE PLAN

SHEET NO.:

T-1

DEMO SITE PLAN



410 S 5TH AVE.

NOTES:
 ALL TREES TO BE REMOVED
 NO PROTECTED TREES ON SITE/ NO OAK TREES

GENERAL NOTES

- THE CONTRACTOR SHALL FIELD VERIFY ALL CONDITIONS AND DIMENSIONS PRIOR TO ANY WORK AND SHALL BE RESPONSIBLE FOR ALL WORK AND MATERIALS INCLUDING THAT FURNISHED BY SUBCONTRACTORS.
- DIMENSIONS TAKE PRECEDENCE OVER DRAWINGS; DO NOT SCALE DRAWINGS TO DETERMINE ANY LOCATION. THE OWNER OR DESIGNER SHALL BE NOTIFIED IF ANY DISCREPANCY OCCURS PRIOR TO CONTINUING WITH WORK.
- ALL PLAN DIMENSIONS ARE FROM CENTER LINE OF STUD OR FACE OF FINISH UNLESS OTHERWISE INDICATED.
- ANY CHANGES PRIOR TO APPROVED SET OF PLANS, C.B. HOME DESIGN MUST BE NOTIFIED. CONTRACTOR OR PERSON CONDUCTING WORK SHOULD NOTIFY C.B. HOME DESIGN IF ANY DISCREPANCY OCCURS DURING CONSTRUCTION. C.B. HOME DESIGN IS NOT RESPONSIBLE FOR CONTRACTOR OR HOME BUILDER PERFORMANCE TO PERFORM WORK.
- ALL CONSTRUCTION SHALL COMPLY WITH THE APPLICABLE BUILDING CODES AND LOCAL RESTRICTIONS.
- IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO LOCATE ALL EXISTING MECHANICAL AND ELECTRICAL SERVICES AND DISTRIBUTION SYSTEMS WHETHER SHOWN OR NOT, AND TO PROTECT THEM FROM DAMAGE. THE CONTRACTOR SHALL BEAR ALL EXPENSE OR REPLACEMENT OF UTILITIES OR OTHER PROPERTY DAMAGED BY OPERATIONS IN CONJUNCTION WITH THE PERFORMANCE OF THE WORK.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE REPLACEMENT OR REMEDY OF ANY FAULTY, IMPROPER OR INTERIOR MATERIALS OR WORKMANSHIP WHICH SHALL APPEAR WITHIN (1) YEAR OR AS OTHERWISE SPECIFIED FOR A SPECIFIC COMPONENT AFTER THE COMPLETION AND ACCEPTANCE OF THE WORK UNDER THIS CONTRACT.
- SILICONE CAULK SHALL BE USED AT THE FOLLOWING LOCATIONS INCLUDING BUT NOT LIMITED TO:
 - METAL DOOR AND WALL CONNECTION
 - CONDUIT AND PIPE PENETRATIONS AT WALLS AND CEILINGS
 - JUNCTION OF MILLWORK (GABINETS, SHELVES, BOOTHS)
 - STAINLESS STEEL TO WALLS
- DO NOT CAULK ANY OTHER AREAS, ESPECIALLY AT GREYWOOD
- CONTRACTOR IS TO CLEAN WORK AREAS ON A DAILY BASIS SO AS NOT TO ACCUMULATE DEBRIS.
- UPON PROJECT COMPLETION CONTRACTOR IS TO CLEAN WORK AREAS AND JOB SITE THOROUGHLY SO AS TO REMOVE ALL CONSTRUCTION DEBT, RESIDUE AND DEBRIS.
- DO NOT OBSTRUCT STREETS, SIDEWALKS, ALLEYS OR OTHER RIGHT-OF-WAY WITHOUT FIRST OBTAINING PROPER PERMITS.
- ALL WORK SHALL BE ACCOMPLISHED WITH QUALITY WORKMANSHIP OF THE HIGHEST INDUSTRY STANDARDS. ALL MATERIALS SHALL BE INSTALLED IN STRICT ACCORDANCE WITH THE MANUFACTURERS INSTRUCTIONS AND RECOMMENDATIONS. MATERIALS AND METHODS SHALL CONFORM TO THE APPROPRIATE NATIONAL TRADE BOOK, I.E. TILE COUNCIL OF AMERICA HANDBOOK FOR CERAMIC TILE INSTALLATION, ARCHITECTURAL WOODWORK INSTITUTE, "QUALITY STANDARDS" ETC.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR JOB SAFETY AND SHALL TAKE ALL NECESSARY PRECAUTIONS TO ENSURE SAFETY OF WORKERS AND OCCUPANTS AT ALL TIMES.
- ALL CONSTRUCTION SHALL BE PERFORMED DURING THE HOURS OF 7:00 AM TO 6:00 PM, MONDAY THROUGH SATURDAY. NO WORK IS TO OCCUR ON SUNDAYS OR HOLIDAYS.
- THE CONTRACTOR SHALL FURNISH AND INSTALL ALL MINOR ITEMS WHICH ARE OBVIOUSLY AND REASONABLY NECESSARY TO COMPLETE ANY INSTALLATION.
- MINIMUM FLAME SPREAD CLASSIFICATION OF INTERIOR FINISH SHALL CONFORM TO THE BUILDING CODE AND LOCAL GOVERNMENT BUILDING CODES/ORDINANCES.
- PROJECT SHALL CONFORM TO THE:
 - 2013 CBC,
 - 2013 CMC,
 - 2013 CPC,
 - 2013 CEC,
 - 2013 T-24,
 AND ALL CITY AND COUNTY LAWS AND ORDINANCES.
- ADDITIONAL MECHANICAL, ELECTRICAL AND PLUMBING PERMITS SHALL BE OBTAINED AS REQUIRED.

BUILDING CODE REQUIREMENTS

- THE CONSTRUCTION SHALL NOT RESTRICT A FIVE-FOOT CLEAR AND UNOBSTRUCTED ACCESS TO ANY WATER OR POWER DISTRIBUTION FACILITIES (POWER POLES, FULL-BOXES, TRANSFORMERS, VAULTS, PUMPS, VALVES, METERS, APPURTENANCES, ETC.) OR TO THE LOCATION OF THE HOOR-JUMP. THE CONSTRUCTION SHALL NOT BE WITHIN TEN FEET OF ANY POWER LINES WHETHER OR NOT THE LINES ARE LOCATED ON THE PROPERTY. FAILURE TO COMPLY MAY CAUSE CONSTRUCTION DELAYS AND/OR ADDITIONAL EXPENSES.
- AN APPROVED SEISMIC GAS SHUTOFF VALVE WILL BE INSTALLED ON THE FUEL GAS LINE ON THE DOWN STREAM SIDE OF THE UTILITY METER AND BE RIGIDLY CONNECTED TO THE EXTERIOR OF THE BUILDING OR STRUCTURE CONTAINING THE FUEL GAS PIPING. (SEPARATE PLUMBING PERMIT IS REQUIRED)
- PLUMBING FIXTURES ARE REQUIRED TO BE CONNECTED TO A SANITARY SEWER OR TO AN APPROVED SEWAGE DISPOSAL SYSTEM (R306.3)
- KITCHENSINKS, LAVATORIES, BATHUBS, SHOWERS BIDETS, LAUNDRY TUBS AND WASHING MACHINE OUTLETS SHALL BE PROVIDED WITH HOT AND COLD WATER AND CONNECTED TO AN APPROVED WATER SUPPLY (R306.4)
- BATHUBS AND SHOWER FLOORS, WALLS ABOVE BATHUBS WITH A SHOWERHEAD, AND SHOWER COMPARTMENTS SHALL BE FINISHED WITH A NONABSORBENT SURFACE. SUCH WALL SURFACES SHALL EXTEND TO A HEIGHT OF NOT LESS THAN 6 FEET ABOVE THE FLOOR (R307.2)
- PROVIDE ULTRA LOW FLUSH WATER CLOSETS FOR ALL NEW CONSTRUCTION. EXISTING SHOWER HEADS AND TOILETS MUST BE ADAPTED FOR LOW WATER CONSUMPTION.
- PROVIDE TO INCH HIGH NON-ABSORBENT WALL ADJACENT TO SHOWER AND APPROVED SHATTER- RESISTANT MATERIALS FOR SHOWER ENCLOSURE. (R309)
- UNIT SKYLIGHTS SHALL BE LABELED BY A LA CITY APPROVED LABELING AGENCY. SUCH LABEL SHALL STATE THE APPROVED LABELING AGENCY NAME, PRODUCT DESIGNATION AND PERFORMANCE GRADE RATINGS (RESEARCH REPORT NOT REQUIRED). (R309.6.4)
- WATER HEATER MUST BE STRAPPED TO WALL.
- FOR EXISTING POOL ON SITE, PROVIDE AN ALARM FOR DOORS TO THE DWELLINGS THAT FORM A PART OF THE POOL ENCLOSURE. THE ALARM SHALL SOUND CONTINUOUSLY FOR A MIN. OF 30 SECONDS WHEN THE DOOR IS OPENED. IT SHALL AUTOMATICALLY RESET AND BE EQUIPPED WITH A MANUAL MEANS TO DEACTIVATE (FOR 15 SECS. MAX.) FOR A SINGLE OPENING. THE DEACTIVATION SWITCH SHALL BE AT LEAST 5'4" ABOVE THE FLOOR.
- FOR EXISTING POOL ON SITE, PROVIDE ANTI- ENTANGLEMENT COVER MEETING THE CURRENT ASTM OR ASME IS REQUIRED FOR THE SUCTION OUTLETS OF THE SWIMMING POOL, TODDLER POOL, AND SPA FOR SINGLE FAMILY DWELLING PER THE ASSEMBLY BILL (AB) NO. 2477.
- AUTOMATIC GARAGE DOOR OPENERS, IF PROVIDED SHALL BE LISTED IN ACCORDANCE WITH UL 325.
- SMOKE DETECTORS SHALL BE PROVIDED FOR ALL DWELLING UNITS INTENDED FOR HUMAN OCCUPANCY, UPON THE OWNER'S APPLICATION FOR A PERMIT FOR ALTERATIONS, REPAIRS, OR ADDITIONS, EXCEEDING ONE THOUSAND DOLLARS (\$1,000). (R314.6.2)
- WHERE A PERMIT IS REQUIRED FOR ALTERATIONS, REPAIRS OR ADDITIONS EXCEEDING ONE THOUSAND DOLLARS (\$1,000), EXISTING DWELLINGS OR SLEEPING UNITS THAT HAVE ATTACHED GARAGES OR FUEL-BURNING APPLIANCES SHALL BE PROVIDED WITH A CARBON MONOXIDE ALARM IN ACCORDANCE WITH SECTION R309.1. CARBON MONOXIDE ALARMS SHALL ONLY BE REQUIRED IN THE SPECIFIC DWELLING UNIT OR SLEEPING UNIT FOR WHICH THE PERMIT WAS OBTAINED. (R315.2)
- EVERY SPACE INTENDED FOR HUMAN OCCUPANCY SHALL BE PROVIDED WITH NATURAL LIGHT BY MEANS OF EXTERIOR GLAZED OPENINGS IN ACCORDANCE WITH SECTION R309.1 OR SHALL BE PROVIDED WITH ARTIFICIAL LIGHT THAT IS ADEQUATE TO PROVIDE AN AVERAGE ILLUMINATION OF 6 FOOT-CANDLES OVER THE AREA OF THE ROOM AT A HEIGHT OF 30 INCHES ABOVE THE FLOOR LEVEL. (R309.1)
- A COPY OF THE EVALUATION REPORT AND/OR CONDITIONS OF LISTING SHALL BE MADE AVAILABLE AT THE JOB SITE
- IN COMBUSTIBLE CONSTRUCTION, FIRE BLOCKING SHALL BE PROVIDED TO CUT OFF ALL CONCEALED DRAFT OPENINGS (BOTH VERTICAL AND HORIZONTAL) AND TO FORM AN EFFECTIVE FIRE BARRIER BETWEEN STORIES, AND BETWEEN A TOP STORY AND THE ROOF SPACE.
- IN COMBUSTIBLE CONSTRUCTION WHERE THERE IS USABLE SPACE BOTH ABOVE AND BELOW THE CONCEALED SPACE OF A FLOOR/CEILING ASSEMBLY, DRAFTSTOPS SHALL BE INSTALLED SO THAT THE AREA OF THE CONCEALED SPACE DOES NOT EXCEED 1,000 SQUARE FEET. DRAFTSTOPS SHALL DIVIDE THE CONCEALED SPACE INTO APPROXIMATELY EQUAL AREAS.
- ALL INTERIOR AND EXTERIOR STAIRWAYS SHALL BE ILLUMINATED.
- ENTRY/EXIT DOOR MUST OPEN OVER A LANDING NOT MORE THAN 15' BEYOND THE THRESHOLD. EXCEPTING PROVIDING THE DOOR DOES NOT SWING OVER THE LANDING. LAND SHALL BE NOT MORE THAN 7.75' BELOW THE THRESHOLD. STORM AND SCREEN DOORS ARE PERMITTED TO SWING OVER ALL EXTERIOR STAIRS AND LANDINGS.
- BATHROOMS, WATER CLOSET COMPARTMENTS AND OTHER SIMILAR ROOMS SHALL BE PROVIDED NATURAL VENTILATION OR WITH MECHANICAL VENTILATION CAPABLE OF 50 CFM EXHAUSTED DIRECTLY TO THE OUTSIDE.
- GLAZING IN ENCLOSURES FOR OR WALLS FACING HOT TUBS, WHIRLPOOLS, SAUNAS, STEAM ROOMS, BATHUBS AND SHOWERS WHERE THE BOTTOM EDGE OF THE GLAZING IS LESS THAN 60 INCHES MEASURED VERTICALLY ABOVE ANY STANDING OR WALKING SURFACE.

ABBREVIATIONS

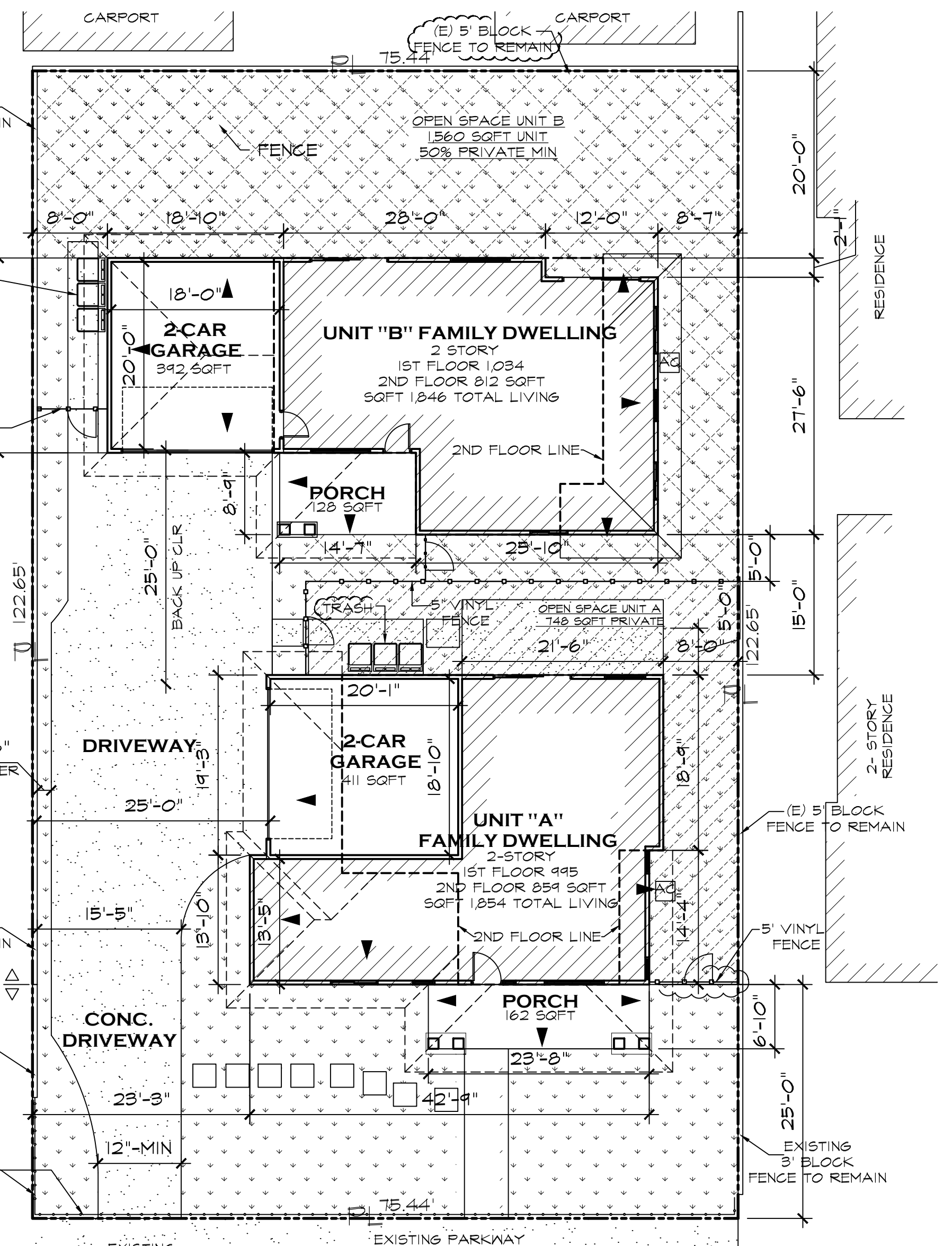
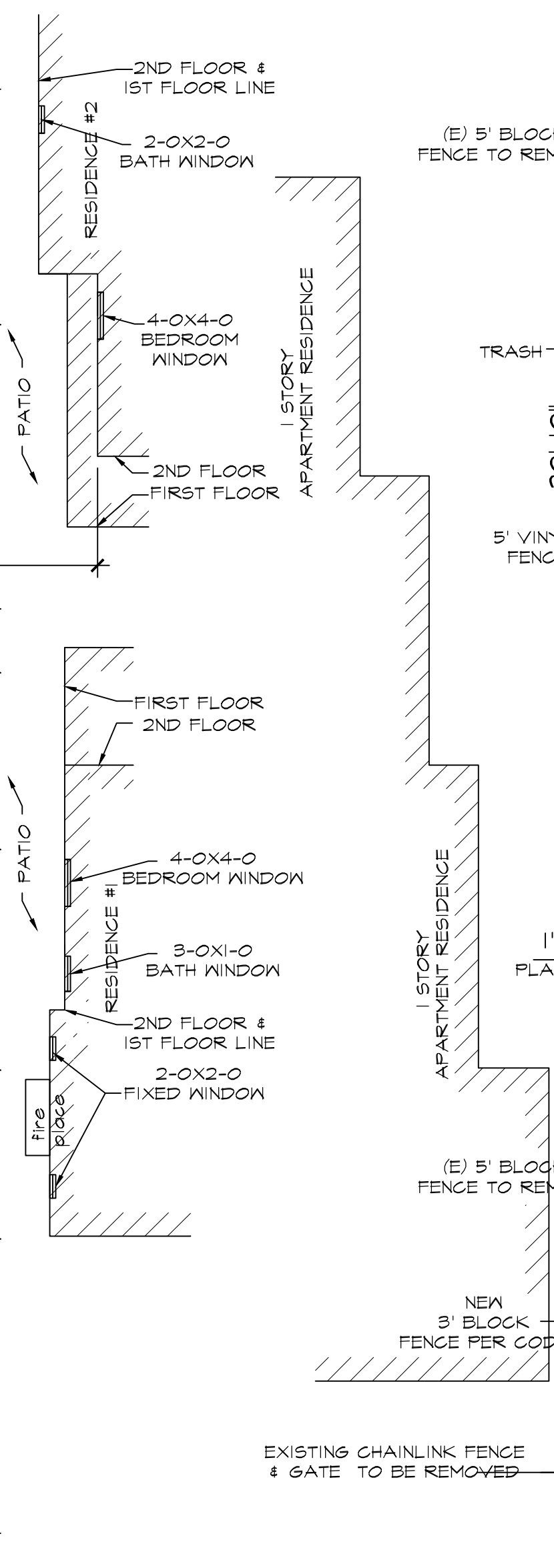
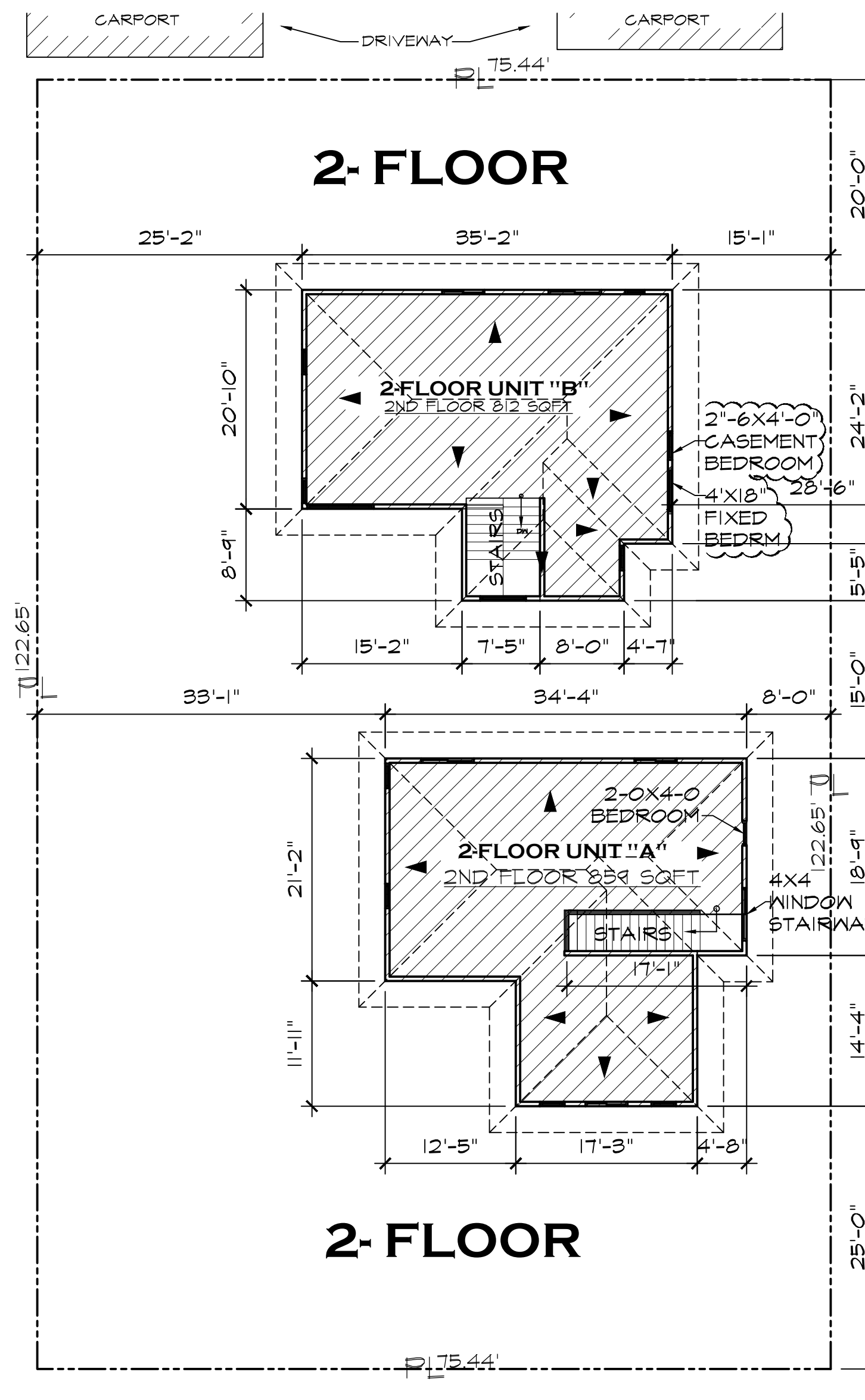
AC	ASPHALTIC CONCRETE	GALV	GALVANIZED
CL6	CEILING	GYP BD	GYPSPUM BOARD
CLR	CLEAR	HORIZ	HORIZONTAL
CONC	CONCRETE	HT	HEIGHT
CONT	CONTINUOUS	J5TS	JOISTS
DIA	DIAMETER	MAX	MAXIMUM
DIM	DIMENSION	MIN	MINIMUM
DWS	DRAWING	NO	NUMBER
EA	EACH	OC	ON CENTER
EL	ELEVATION	OC	REQUIRED
EQ	EQUAL	SIM	SIMILAR
EN	EACH WAY	SQ	SQUARE
(E)	EXISTING	THK	THICK
FF	FINISH FLOOR	TP	TOP PLATE
FG	FINISH GRADE	TYP	TYPICAL
FL	FLOOR	W	WITH
FT	FOOT, FEET	WH	WATER HEATER

CONSULTANTS

TABLATIONS

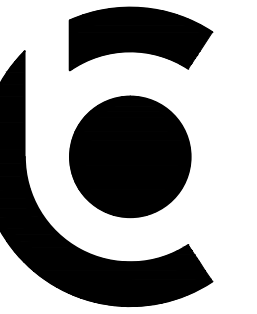
OCCUPANCY GROUP: RH
 CONSTRUCTION TYPE: V-B FIRE SPRINKLERED NFFA 150
 LOT: 75.44' X 122.65'
 LOT: 9252.72 SQ. FT.
 EXISTING DWELLING TO BE DEMO: 1237 SF
 DWELLINGS SIZE: UNIT 'A' [1234 SF]
 1ST FLOOR: 445 SF
 2ND FLOOR: 854 SF
 UNIT 'B' [1246 SF]
 1ST FLOOR: 1034 SF
 2ND FLOOR: 812 SF
 LOT COVERAGE: 3/22 / 9252.72 33% LOT COV
 MAX DWELLING SIZE: 3101 SF
 BUILDING HEIGHT: 2-STORY 23'-5"

EXISTING STRUCTURES TO BE DEMOLISHED
 EXISTING RESIDENCE TO BE DEMO: 1237 SF
 GARAGE TO BE DEMO : 342 SF



410 S 5TH AVE

SITE PLAN 3/32" = 1'-0"



C.B. HOME DESIGN INC.
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Woodcrest Shingles
GRANITE

LaHabra® STUCCO

PROPOSED 2- UNITS
 410 S 5TH AVE.
 MONROVIA, CA. 91016

Oatmeal
 81 (68)
 Base 200
 "SAND FINISH"

Fallbrook
 434 (42)
 Base 200
 "SAND FINISH"

Cultured Stone® by Boral®

Cultured Brick® Veneer -
 Handmade Brick



Moroccan Sand



Chianti

JW JELD-WEN
 WINDOWS & DOORS



CHESTNUT BRONZE



UNIT "A" FRONT (WEST) ELEVATION

$\frac{1}{4}'' = 1'-0''$

OWNER INFO:

CYNTHIA LI
 86 N. LIMA ST.
 SIERRA MADRE, CA. 91024

PROJECT ADDRESS:

PROPOSED (2) 2-STORY SINGLE FAMILY
 DWELLINGS
 410 S 5TH AVE
 MONROVIA, CA. 91016

JOB NUMBER:
 CB15-086

DRAWN BY:
 GC/JC/AG

SCALE:
 1/4" = 1'-0"

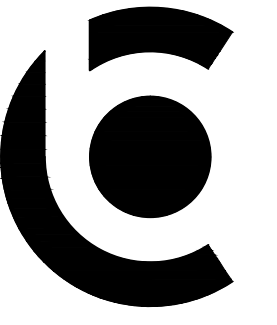
REVISIONS:

SHEET TITLE:
 COLOR
 ELEVATIONS
 & MATERIALS

SHEET NO.:

A-1

1 of 5



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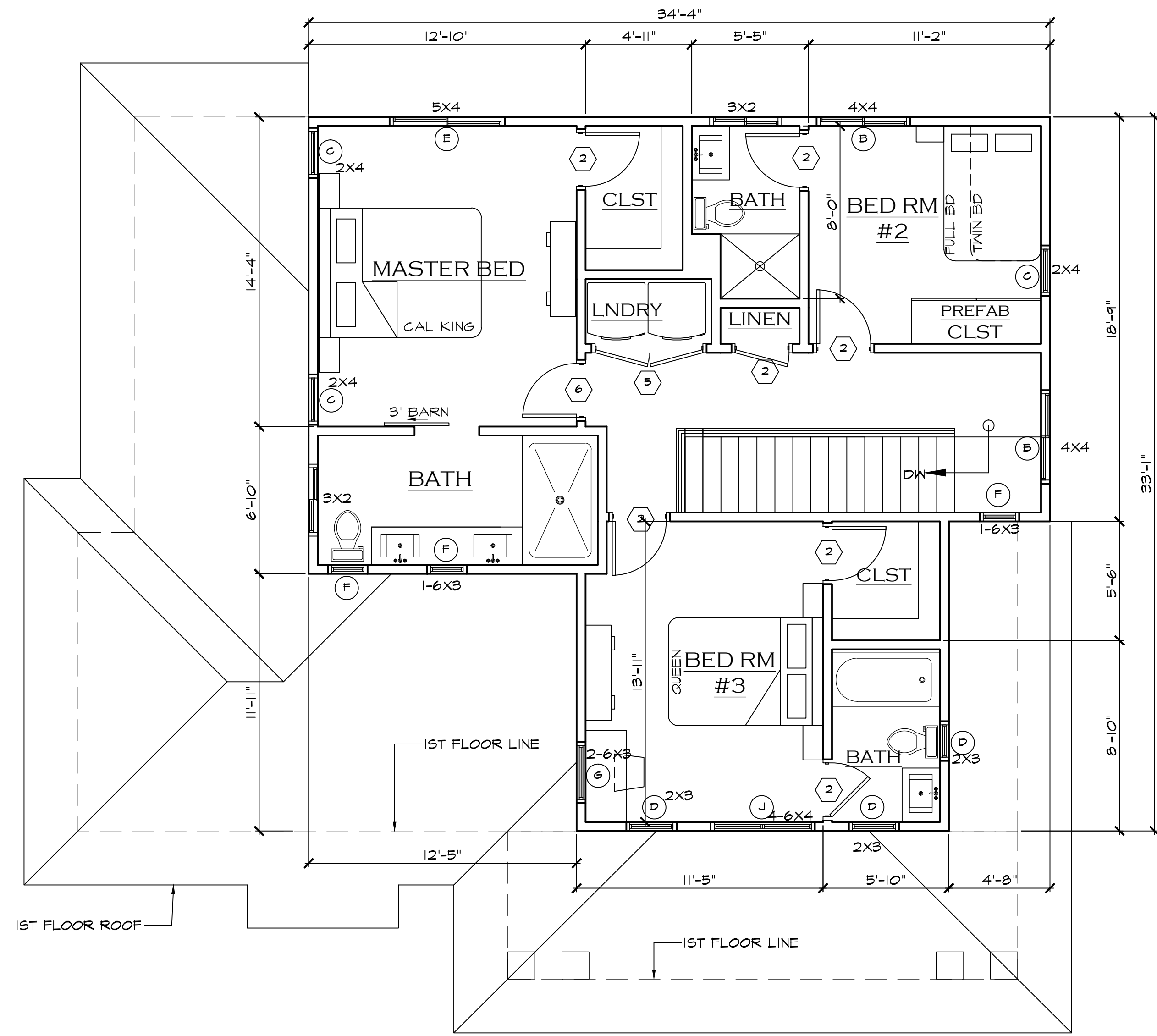
PROJECT ADDRESS:
 PROPOSED (2) 2-STORY SINGLE FAMILY DWELLINGS
 410 S 5TH AVE
 MONROVIA, CA. 91016

JOB NUMBER:
 0315-086
DRAWN BY:
 GC/JC/AO
SCALE:
 1/4" = 1'-0"

REVISIONS:
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SHEET TITLE:
 UNIT "A"
 PROPOSED 1ST FLOOR PLAN & 2ND FLOOR PLAN

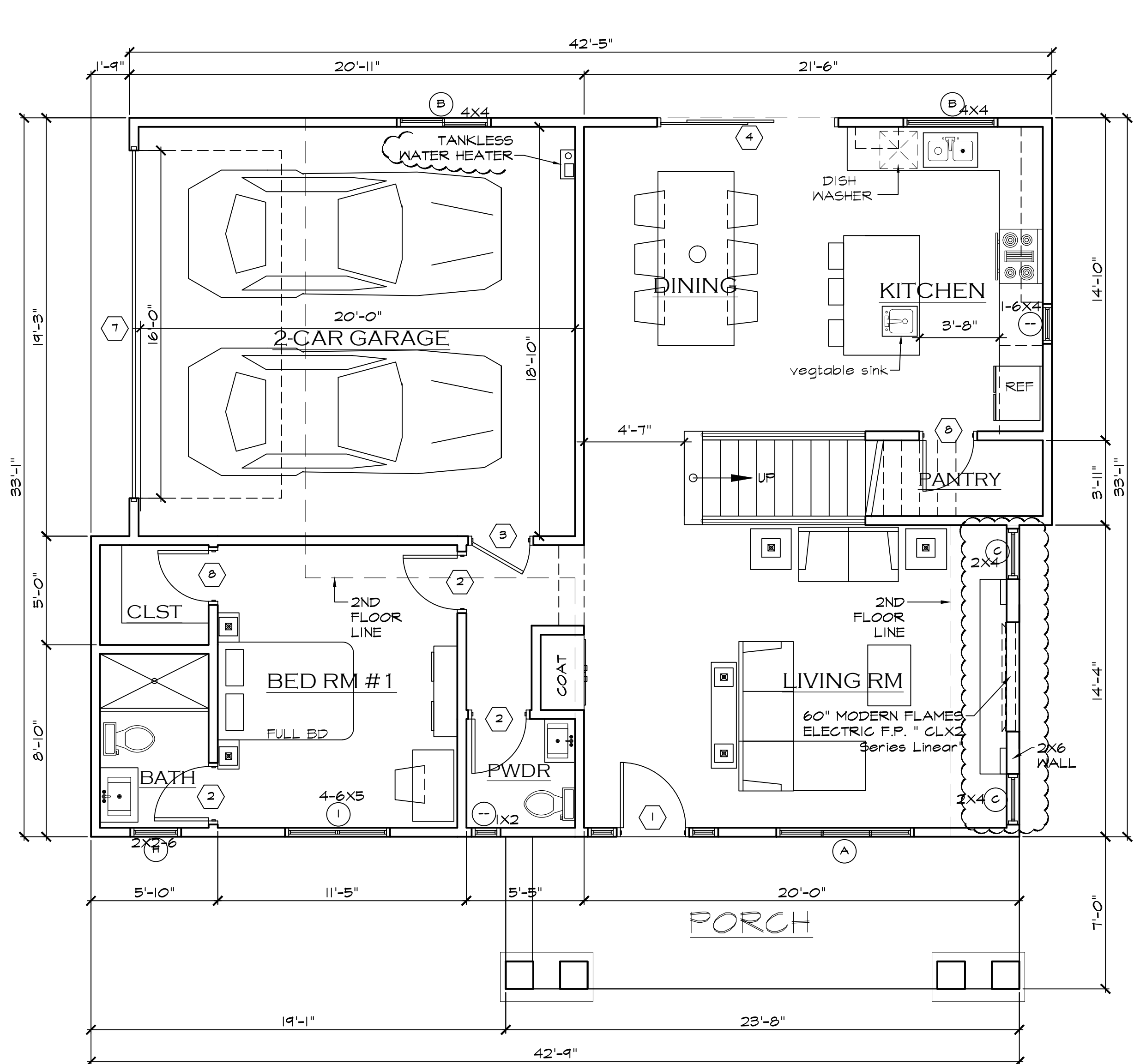
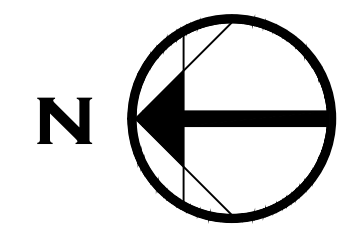
SHEET NO.:

A-2



2ND FLOOR PLAN UNIT A

1/4" = 1'-0"



1ST FLOOR PLAN UNIT A

1/4" = 1'-0"

LEGEND

() WINDOW CALL OUT	(N) 30"X30" ATTIC ACCESS W/30" MIN HEADROOM ABOVE
(D) DOOR CALL OUT	(D) 4" DIA DRYER VENT
(S) SMOKE ALARMS TO BE HARD WIRED W/VA BATTERY BACK UP TYP. AND LOW BATTERY SIGNAL. INTERCONNECTED SO THAT ACTIVATION OF ONE ALARM WILL ACTIVATE ALL THE ALARMS WITHIN THE INDIVIDUAL DWELLING UNIT.	(F) EXHAUST FAN W/ HUMIDISTAT CONTROL, CAPABLE OF PROVIDING 90 CFM. DUCTED TO TERMINATE TO THE OUTSIDE OF BUILDING. ENERGY STAR COMPLIANT.
(L) CEILING MOUNTED LIGHT	(E) 200 AMP ELECTRICAL PANEL
(M) WALL MOUNTED LIGHT	(D) DIMMER SWITCH
(P) POLE SWITCH	(C) CARBON MONOXIDE ALARMS SHALL BE INSTALLED IN DWELLING UNITS AND SLEEPING UNITS WITHIN EACH FUEL BURNING APPLIANCE ARE INSTALLED AND IN DWELLING THAT HAVE ATTACHED GARAGES.
(F) FLUORESCENT	(O) OUTLET 110 VOLTS (TEMPERED RESISTANT OUTLETS REQUIRED IN KITCHEN, BEDROOMS, DEN, FAMILY ROOMS, DINING ROOMS, LIVING ROOMS, PARLORS, LIBRARY, SUNROOMS AND RECREATION ROOMS)
(H.E.) HIGH EFFICACY	
(P.C.) PHOTOCELL	
(T) TEMPERED SAFETY GLAZING	
(E) WINDOW MEETS EMERGENCY EGRESS REQUIREMENTS. 44" MAX TO SILL, MIN 24" CLR HT. 20" CLR WIDTH, 5.7 SQ. FT. MIN NET CLEAR OPENING.	

WALL SCHEDULE

() NEW 2X STUD WALL	() 1 HOUR RATED WALL 5/8" GYP. BOARD, TYPE "X" FLOOR TO ROOF AND GARAGE CEILING
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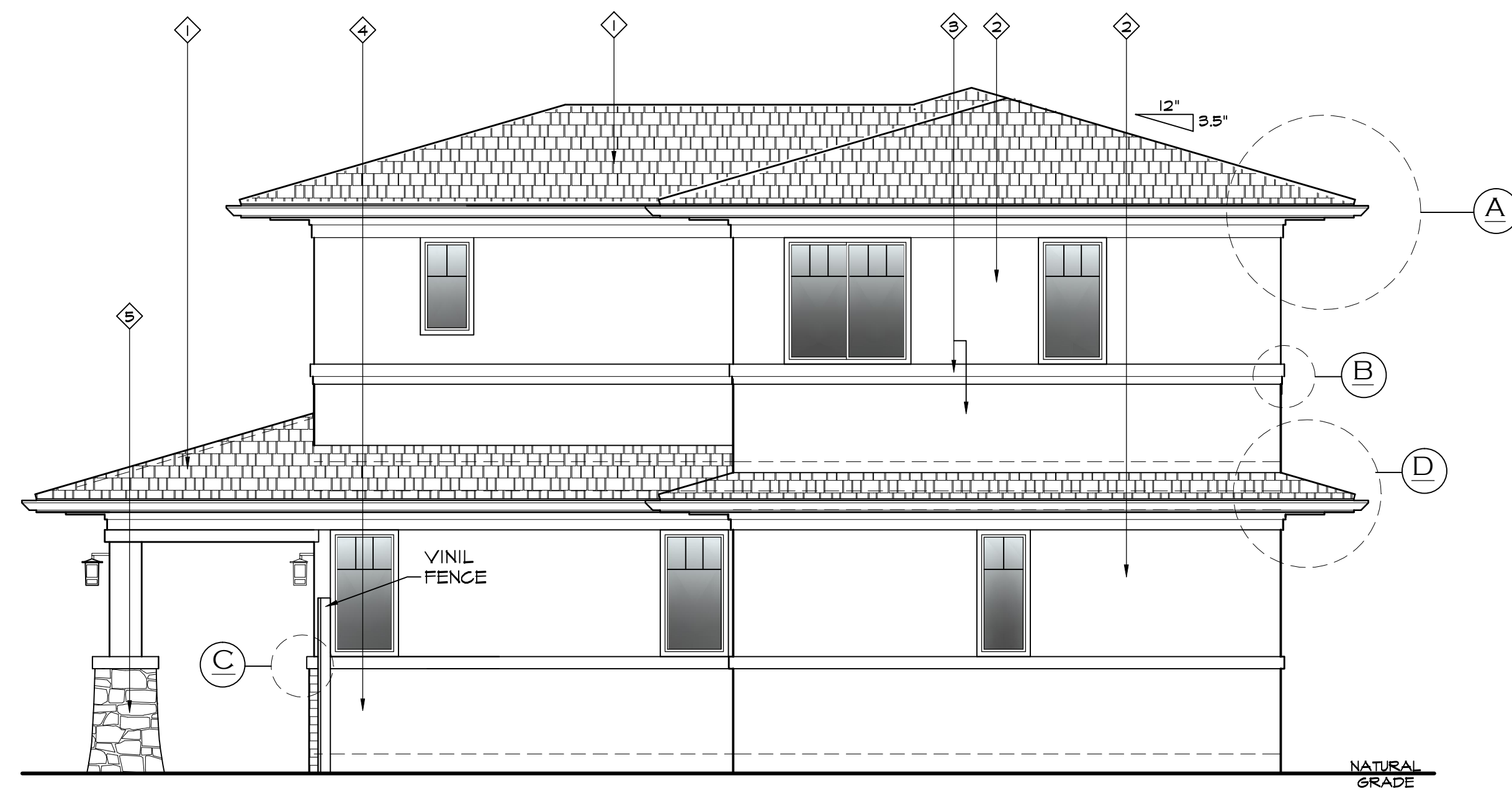
DOOR SCHEDULE

SYM.	QTY.	SIZE	THK	TYPE	MATERIAL	REMARKS
(1)	1	3'-0" X 6'-8"	1 3/4"	S.C.D W/ SIDE LITES & TRANSOM	WOOD	(2) 1'-0" SIDE LITES 1'-0" TRANSOM
(2)	10	2'-6" X 6'-8"	1 3/8"	SWING H.C.D.	WOOD	
(3)	1	2'-8" X 6'-8"	1 3/4"	SWING S.C.D.	WOOD	SELF CLOSE, SELF LATCHING, TIGHT FIT
(4)	1	8'-0" X 6'-8"	1 3/4"	SLIDING DOOR	VINYL/GLASS	
(5)	1	5'-6" X 6'-8"	1 3/8"	SWING DBL H.C.D.	WOOD	VENTED T4B @ LNDRY
(6)	1	2'-8" X 6'-8"	1 3/8"	SWING H.C.D.	WOOD	
(7)	1	16'-0" X 7'-0"	1 3/4"	GARAGE DOOR	ALUM	GLAZED
(8)	2	2'-4" X 6'-8"	1 3/8"	SWING H.C.D.	WOOD	

WINDOW SCHEDULE

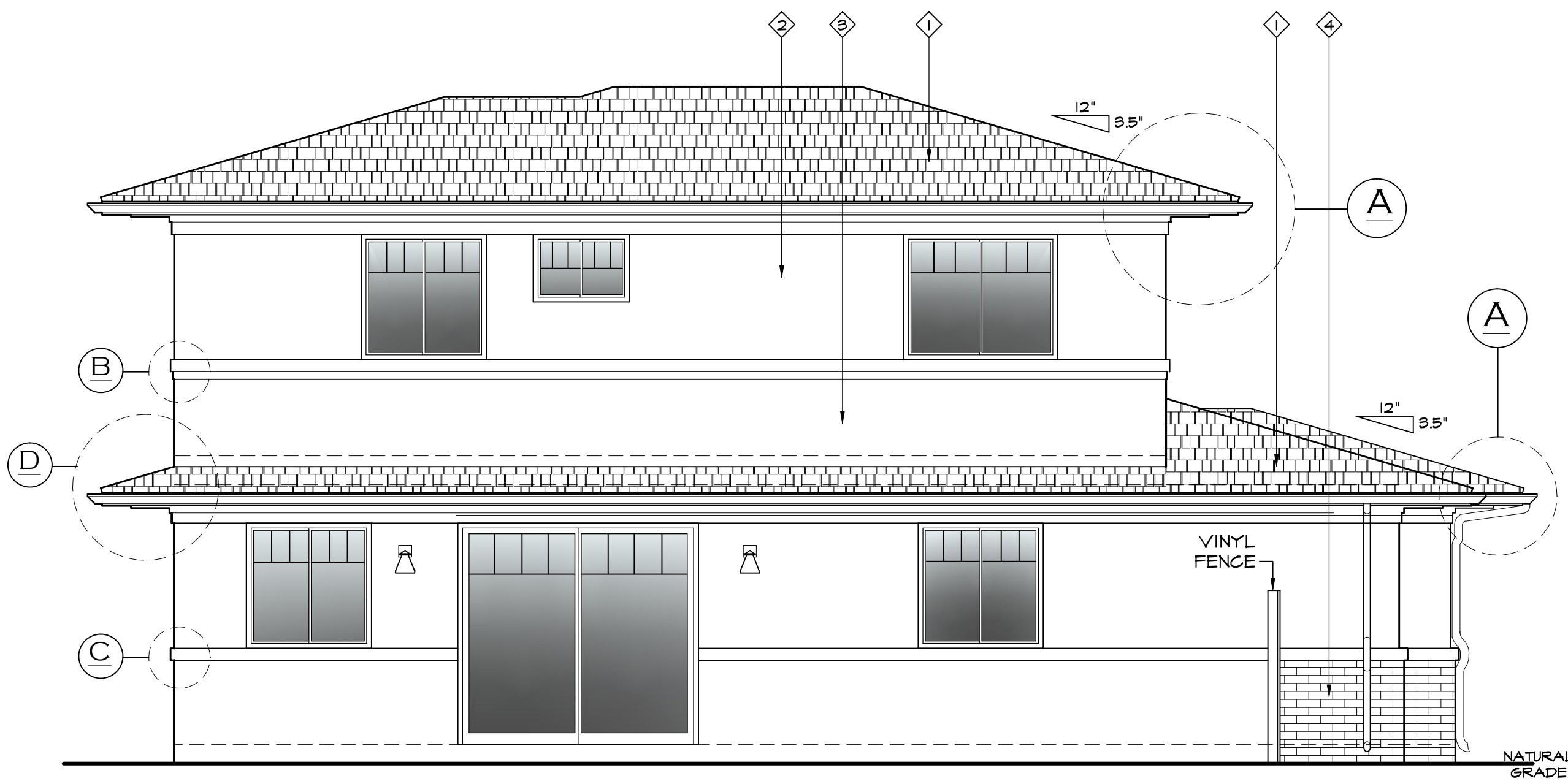
SYM.	QTY.	SIZE	TYPE	MATERIAL	U-FACTR	SHSC	REMARKS
(A)	1	6'-0" X 5'-0"	CASEMENT DBL XOX	VINYL	0.32	0.25	
(B)	4	4'-0" X 4'-0"	SLIDER	VINYL	0.32	0.25	
(C)	5	2'-0" X 4'-0"	CASEMENT	VINYL	0.32	0.25	
(D)	3	2'-0" X 3'-0"	CASEMENT	VINYL	0.32	0.25	
(E)	1	5'-0" X 4'-0"	SLIDER	VINYL	0.32	0.25	
(F)	3	1'-6" X 3'-0"	CASEMENT	VINYL	0.32	0.25	
(G)	1	2'-6" X 3'-0"	CASEMENT	VINYL	0.32	0.25	
(H)	1	2'-0" X 2'-6"	CASEMENT	VINYL	0.32	0.25	
(I)	1	4'-6" X 5'-0"	CASMT DBL	VINYL	0.32	0.25	
(J)	1	4'-6" X 4'-0"	CASMT DBL	VINYL	0.32	0.25	

- KEY NOTES**
- TEMPERED GLASS TYP. SAFETY GLAZING SHALL BE IN CONFORMANCE WITH THE APPLICABLE I.A.C.R.C. ALL EXTERIOR DOORS SHALL BE 1-3/8" (MIN) WITH TEMPERED GLASS UNO.
 - EMERGENCY EGRESS WINDOW PROVIDE THE FOLLOWING:
 - 5.7 SQ. FT. OF CLEAR OPENABLE AREA (5.0 AT GRADE)
 - NET OPENING HEIGHT SHALL BE 24" MIN.
 - NET OPENING WIDTH SHALL BE 20" MIN.
 - FINISHED SILL HEIGHT OF 44" MAX. ABOVE FLOOR.
 - 1-3/4" SOLID CORE, 20 MIN. FIRE AND SMOKE RATED SELF CLOSING, SELF LATCHING, TIGHT-FITTING DOOR.
 - TANKLESS WATER HEATER PER T-24 REPORT. MODEL: RHEEM RTG-85DVN -INDOOR DIRECT VENT -11,000 - 19,900 BTU MAX. -4.5 GAL./MIN. @ 55" F RISE MAX. T.4 GAL./MIN. AT 45" F RISE MAX.
 - REGENCY BELLAVISTA B36XTE MEDIUM GAS FIREPLACE - GAS FIREPLACE TO BE DIRECT VENT, SEALED COMBUSTION TYPE.
 - 35" CLR. DRYER SPACE. PROVIDE 4" DIA. MIN. SMOOTH METAL EXHAUST VENT TO OUTSIDE WITH AIR BACK-DRAFT DAMPER. DUCT IS LIMITED TO 14'-0" WITH TWO ELBOWS. (SHALL BE REDUCED 2'-0" FOR EVERY ELBOW IN EXCESS OF TWO).
 - 35" CLR. WASHER SPACE. PROVIDE RECESSED WATER / WASTE LINE HOOK UP AND GALV. SHT. METAL SMITTY PAN.
 - REFRIGERATOR SPACE. PROVIDE 36" MIN. CLR. WITH COLD WATER CONNECTION.
 - 24" WIDE DISHWASHER.
 - ONE LAYER 5/8" TYPE "X" GYPSUM BOARD AT WALLS, CEILING, AND SUPPORTING STRUCTURAL MEMBERS SEPARATING THE GARAGE AND THE LIVING AREAS. (1 HR. RATED CONST.)
 - PROVIDE ONE-HOUR FIRE RESISTIVE CONSTRUCTION W/ 5/8" TYP "X" GYP. BD. AT SIDE AND SOFFIT OF ENCLOSED AREA UNDERNEATH STAIR.
 - 30" X 30" GYPSUM BOARD ATTIC ACCESS PANEL. PROVIDE 24" WIDE UNOBSTRUCTED PASSAGE W/ SOLID CONT. FLRS. FROM ATTIC ACCESS TO F.L.V. EQUIP. PROVIDE 30" CLR. IN FRONT OF THE ATTIC ACCESS.
 - 32" X 60" ENAMELED CAST IRON TUB / SHOWER COMBINATION. SHOWER HEAD AT 80" AFF. PROVIDE SHOWER ROD. INSTALL PER MANUFACTURE SPECIFICATIONS.
 - WATER CLOSET. PROVIDE 30" MIN. CLR. WIDTH(S) FROM CENTER TO EACH SIDE, AND 24" CLR. SPACE IN FRONT. FLUSH VOLUMES FOR LOW-CONSUMPTION AND WATER SAVER WATER CLOSETS SHALL BE PROVIDED WITH A MAX. 1.20 GALLONS OF WATER PER FLUSH. (DPS-4021, 4022.)
 - 42" X 72" ACRYLIC TUB OR EQUAL ON A RAISED WOOD FRAMED PLATFORM WITH CERAMIC TILE / NATURAL STONE COVERING ABOVE TUB. ENCLOSURES MUST BE SAFETY GLAZING. INSTALL PER MANUFACTURE SPECIFICATIONS.
 - HOT-MOPPED SHOWER PAN WITH MUDSET CERAMIC TILE / NATURAL STONE FLOOR. FILL HEIGHT CERAMIC TILE / NATURAL STONE WALLS WITH 84" HEIGHT SHOWER HEAD. PROVIDE TEMPERED GLASS ENCLOSURE, 30" @ CLEARANCE.
 - FAU LOCATION IN ATTIC PROVIDE A MIN. 30"X30" ACCESS, 24" WIDE WALKWAY AND 30" DEEP WORK PLATFORM. PROVIDE ELEC. LIGHT OUTLET A.I.D. TO PURNAGE SWITCH BY ATTIC ACCESS OPENING. A/C CONDENSER PER T-24 REPORT.
 - SYSTEM SHALL HAVE A MIN. 14 SEER AND DUCT INSULATION OF R-8 -HEATER SHALL BE CAPABLE OF MAINTAINING A MIN. ROOM TEMP. OF 68°F AT A POINT 3 FEET ABOVE THE FLOOR AND 2 FEET FROM EXTERIOR WALLS IN ALL HABITABLE ROOMS AT THE DESIGN TEMP.
 - 24"X18" RETURN AIR REGISTER
 - RECESSED MEDICINE CABINET, 6" ABOVE CABINET
 - KITCHEN HOOD SHALL HAVE A MINIMUM CAPACITY OF 100 CFM



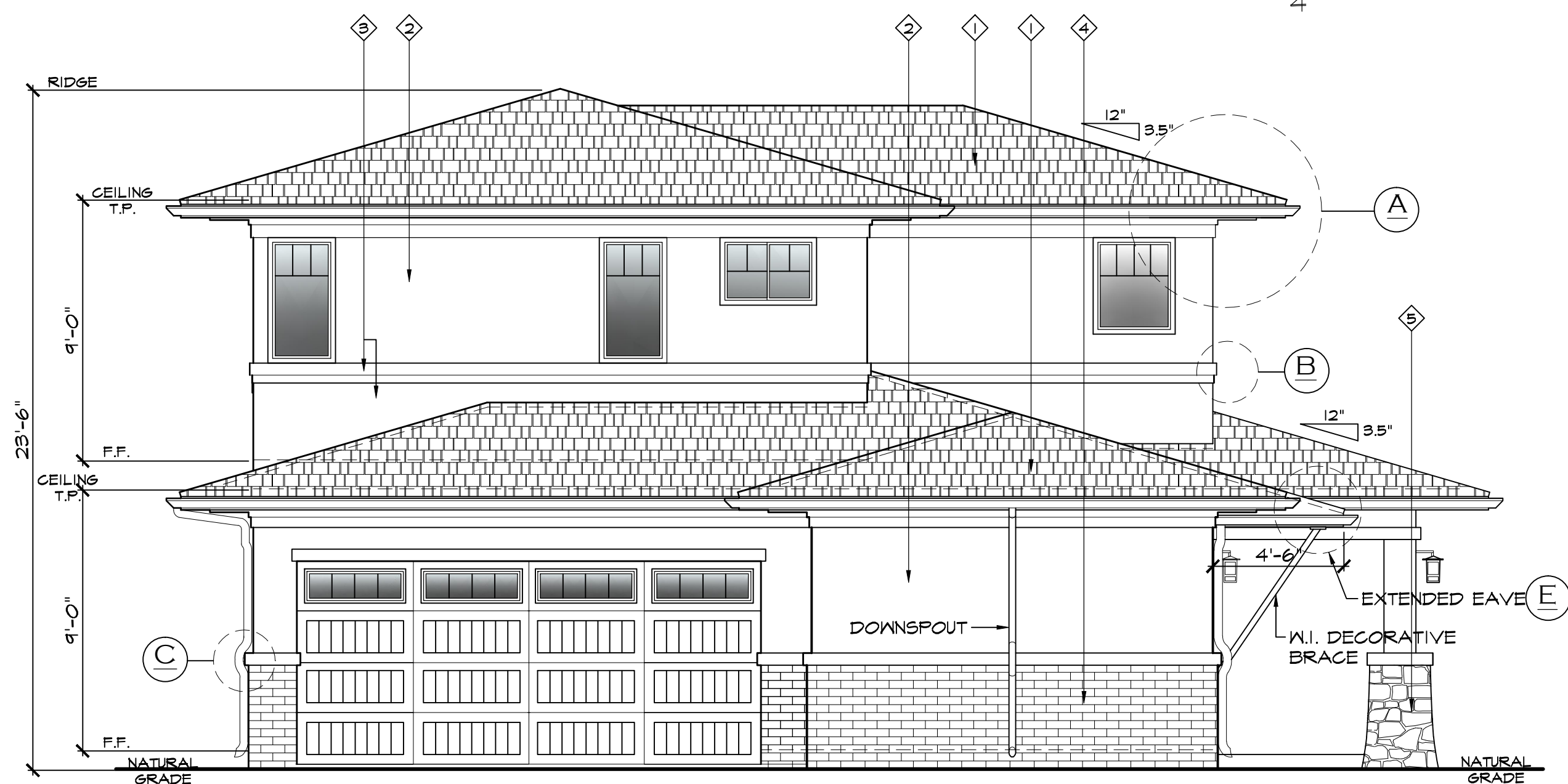
UNIT "A" RIGHT SOUTH ELEVATION

1/4" = 1'-0"



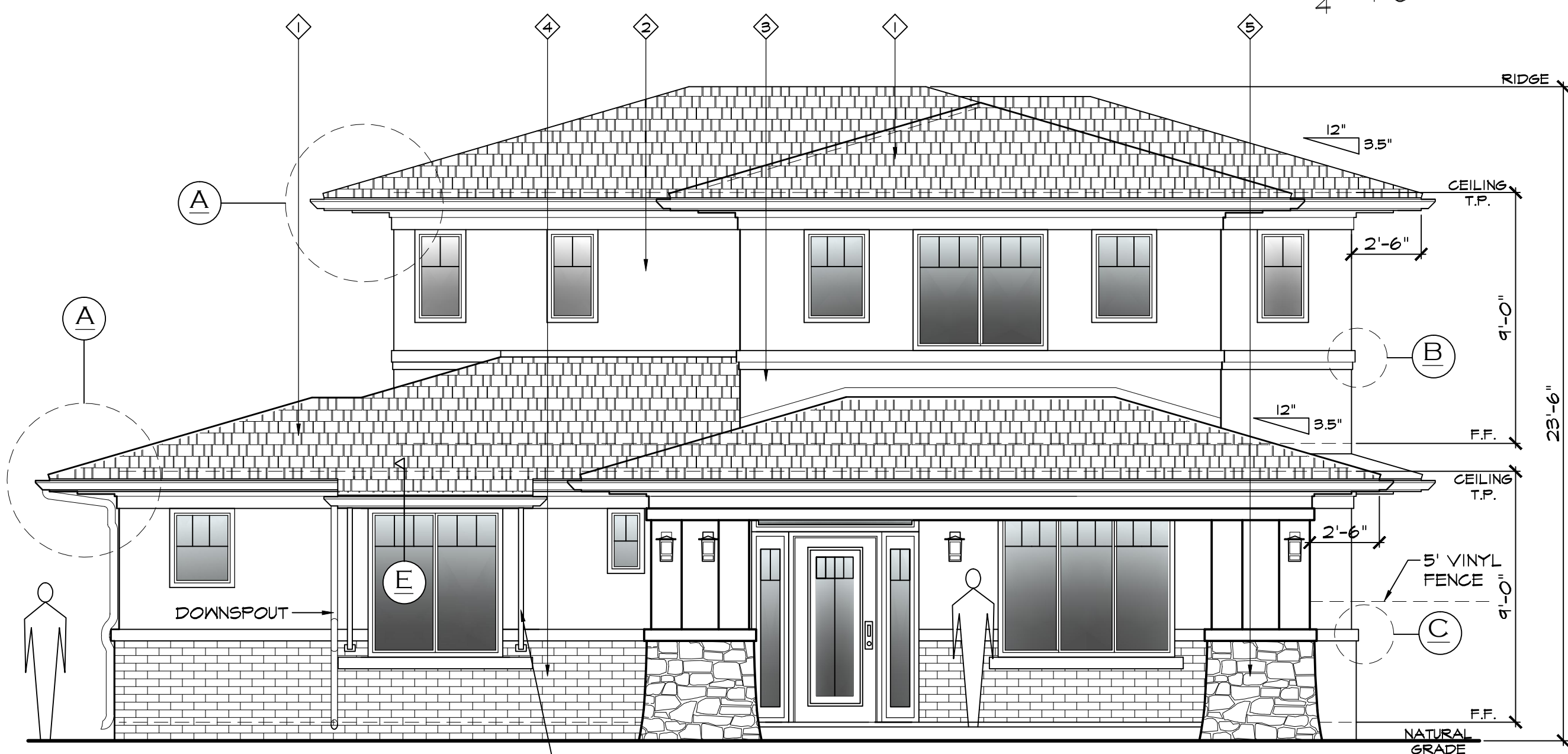
UNIT "A" REAR (EAST) ELEVATION

1/4" = 1'-0"



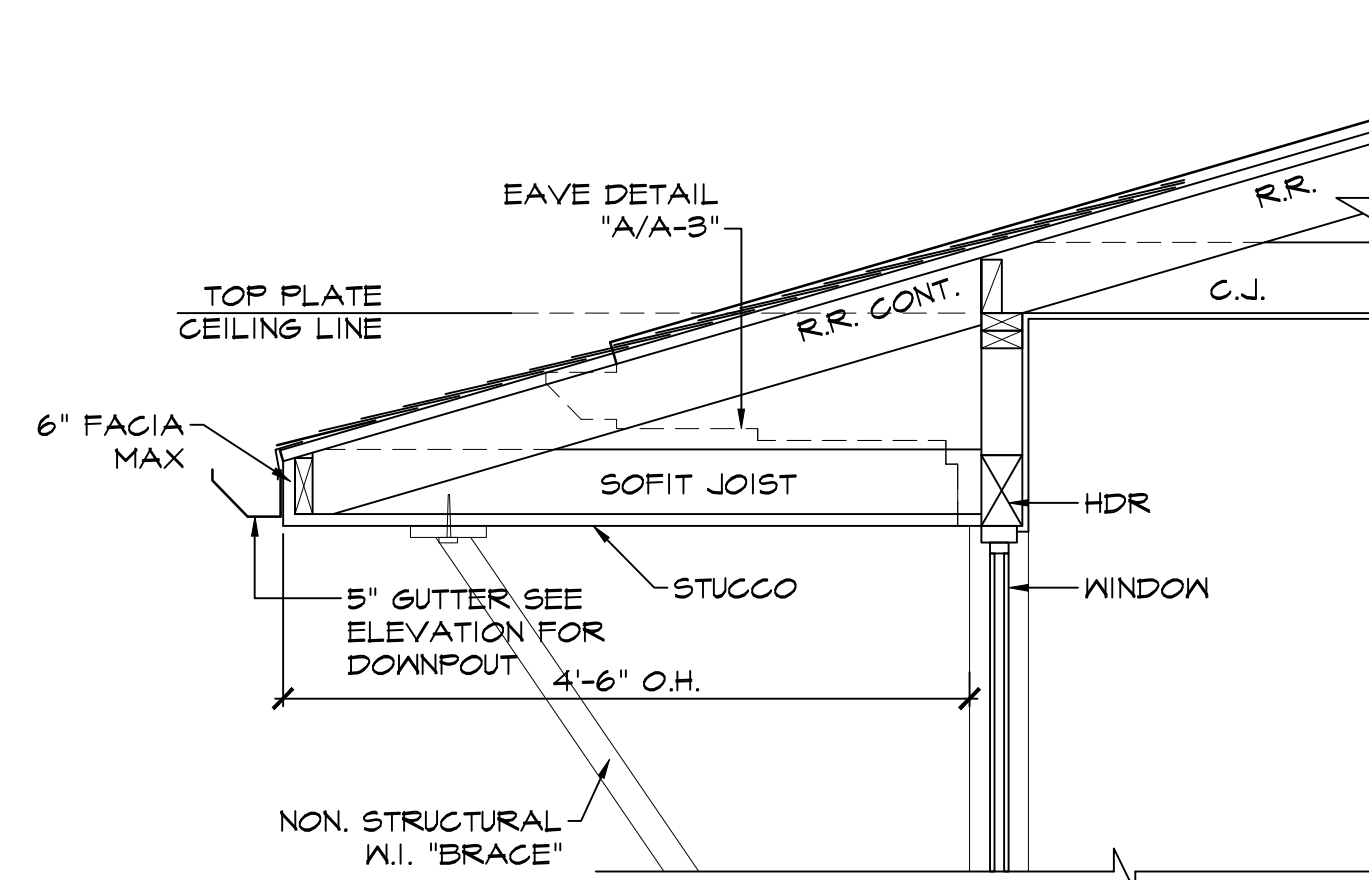
UNIT "A" LEFT (NORTH) ELEVATION

1/4" = 1'-0"

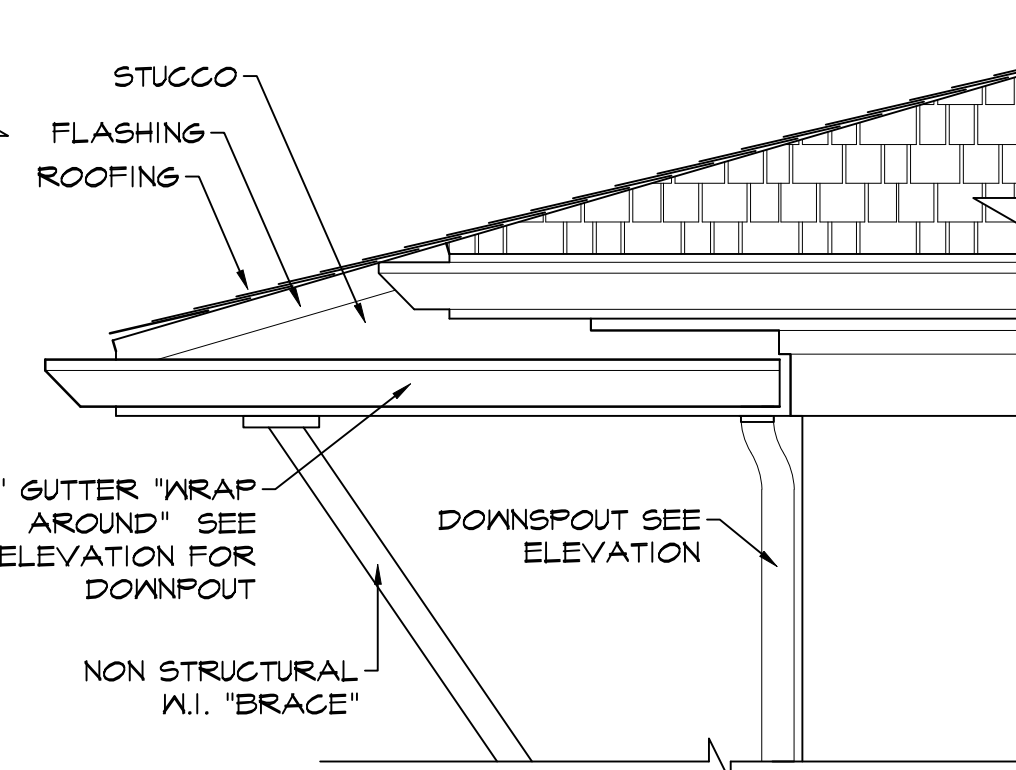


UNIT "A" FRONT (WEST) ELEVATION

1/4" = 1'-0"

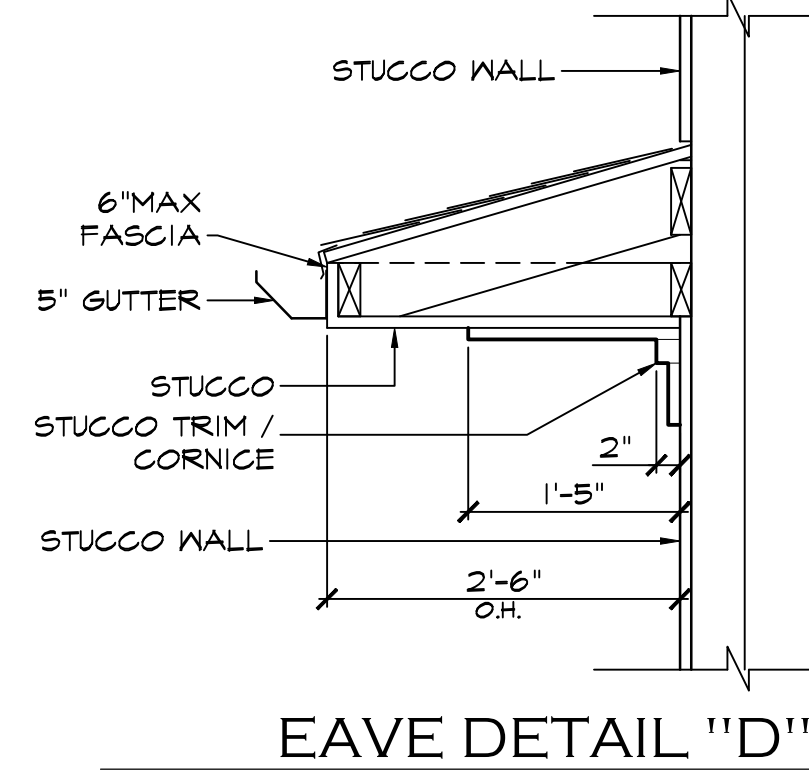


SECTION DETAIL "E"



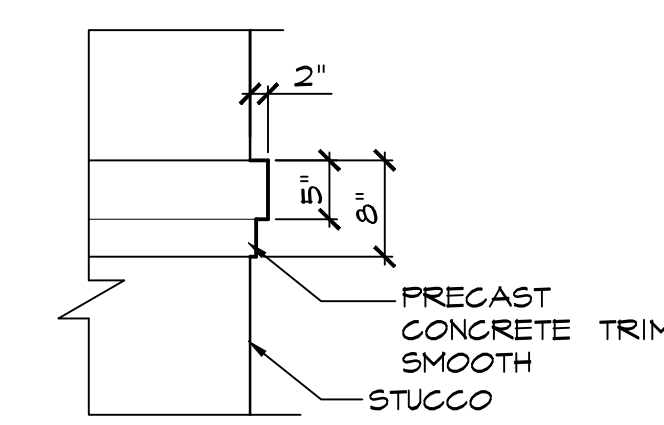
EAVE DETAIL "E"

NTS



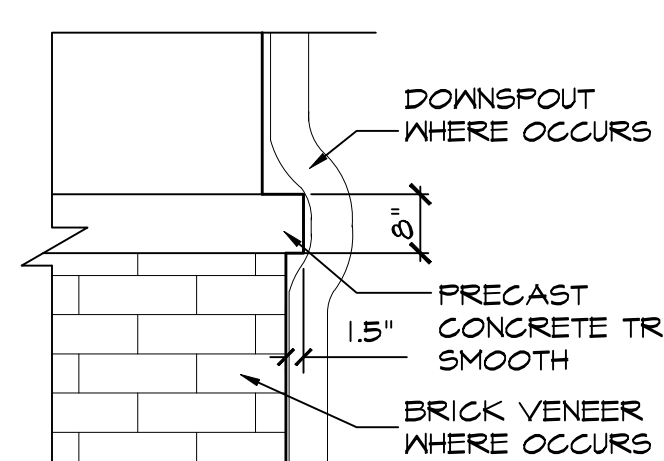
EAVE DETAIL "D"

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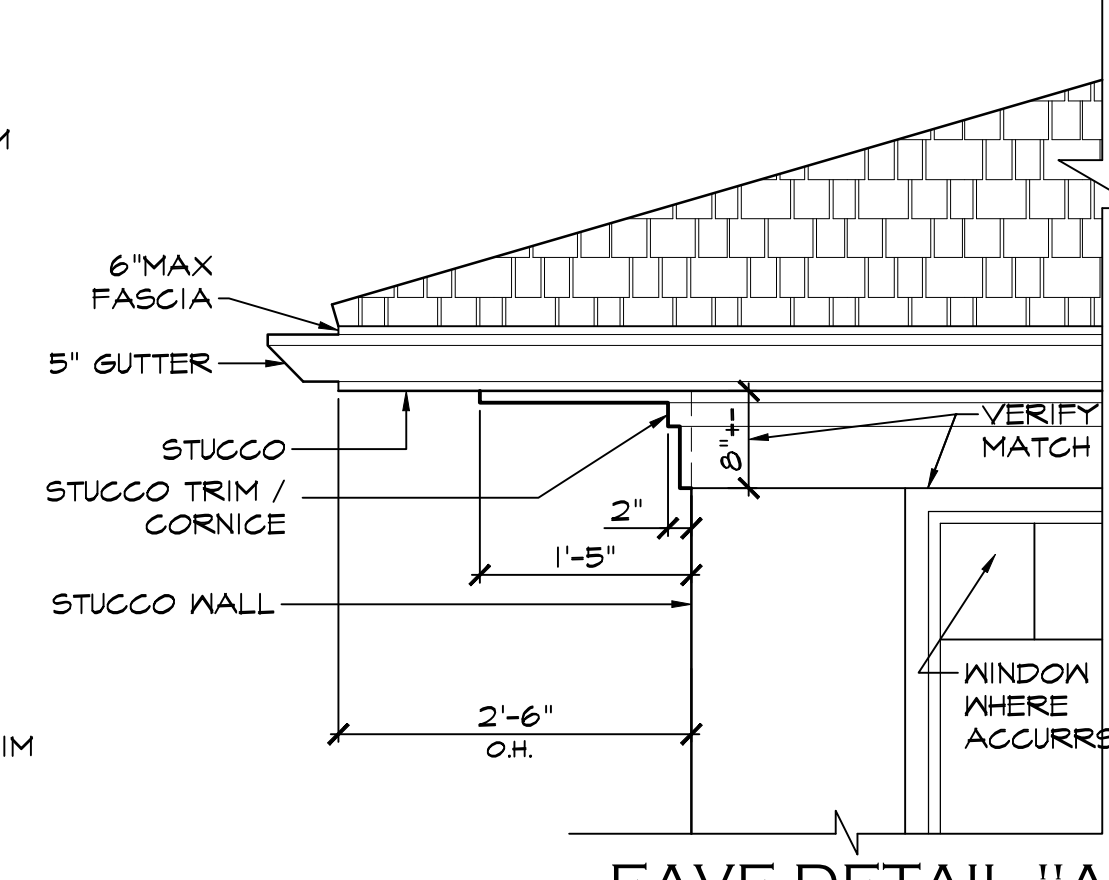
TRIM DETAIL "B"

NTS



TRIM DETAIL "C"

NTS

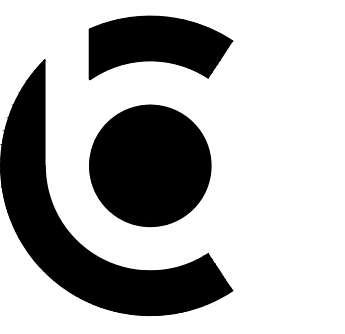


EAVE DETAIL "A"

NTS

KEY NOTES

- 1 (N) COMPOSITE SHINGLES, OWENS CORNING 220# 1/4" 150 FELT, CLASS A STYLE: PONDQUEST COLOR: GRANITE
- 2 LA HABRA 3/8" STUCCO W/ 2-LAYERS OF GRADE 'D' COLOR= OATMEAL, FINISH: 35 "SAND FINISH"
- 3 LA HABRA 3/8" STUCCO W/ 2-LAYERS OF GRADE 'D' COLOR= FALLBROOK, FINISH: 35 "SAND FINISH"
- 4 VENEER: CULTURED STONE BY BORAL STYLE/COLOR: HANDMADE BRICK/ MOROCCAN SAND
- 5 VENEER: CULTURED STONE BY BORAL STYLE/COLOR: ANCIENT VILLA LEDGESTONE / CHIANTI



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OWNER INFO:
CYNTHIA LI
86 N. LIMA ST.
SIERRA MADRE, CA. 91024

PROJECT ADDRESS:
PROPOSED (2) 2-STORY SINGLE FAMILY DWELLINGS
410 S 5TH AVE
MONROVIA, CA. 91016

JOB NUMBER:
CB15-086

DRAWN BY:
GC/JC/AO

SCALE:
1/4" = 1'-0"

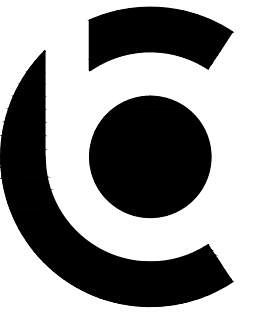
REVISIONS:

SHEET TITLE:
UNIT "A"
PROPOSED 1st.
FLOOR PLAN
& 2ND FLOOR PLAN

SHEET NO.:

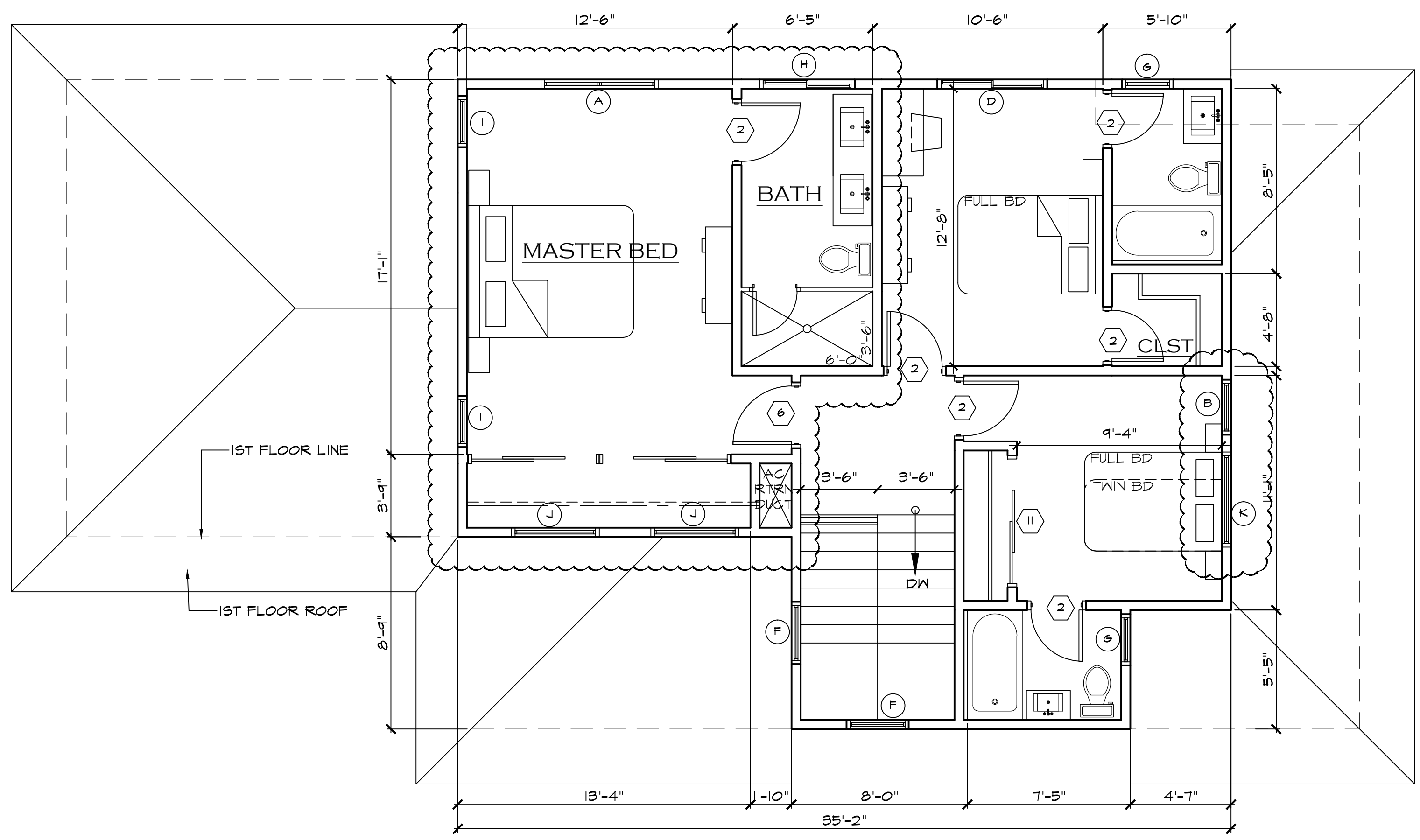
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3 of 5



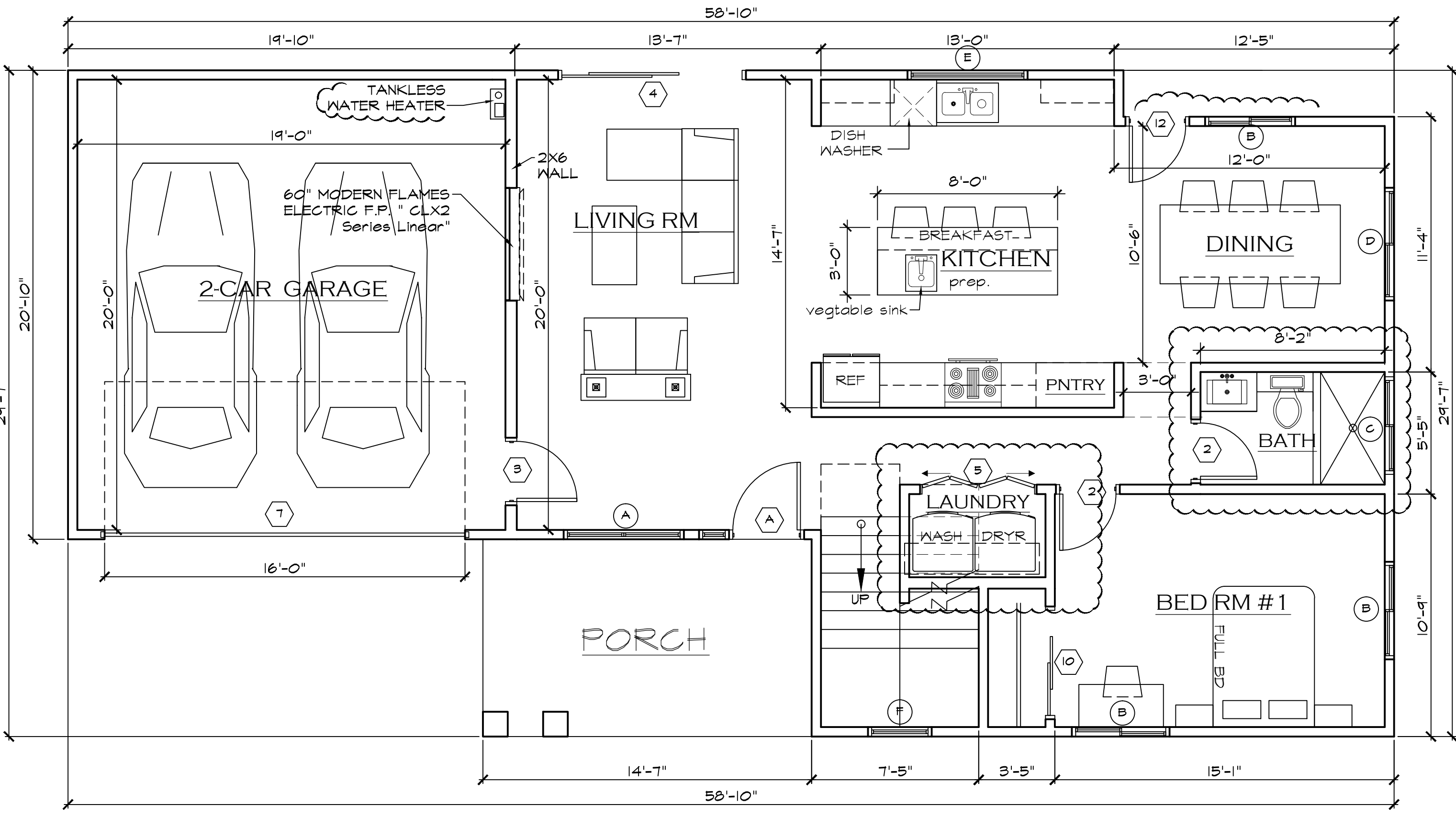
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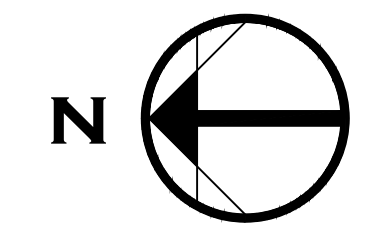
1ST FLOOR PLAN UNIT B

1/4" = 1'-0"



1ST FLOOR PLAN UNIT B

1/4" = 1'-0"



LEGEND

- (N) WINDOW CALL OUT
- (D) DOOR CALL OUT
- (S) SMOKE ALARMS TO BE HARD WIRED VIA BATTERY BACK UP TYPE AND LOW BATTERY SIGNAL. INTERCONNECTED SO THAT ACTIVATION OF ONE ALARM WILL ACTIVATE ALL THE ALARMS WITHIN THE INDIVIDUAL DWELLING UNIT.
- ☉ CEILING MOUNTED LIGHT
- ☉ WALL MOUNTED LIGHT
- ☉ POLE SWITCH
- ☉ CEILING MOUNTED RECESSED LIGHT
- F FLUORESCENT
- H.E. HIGH EFFICACY
- ☉ PHOTOCELL
- ☉ TEMPERED SAFETY GLAZING WINDOW MEETS EMERGENCY EGRESS REQUIREMENTS: 44" MAX TO SILL MIN 24" CLR HT, 20" CLR WIDTH, 5.7 SQ. FT. MIN. NET CLEAR OPENING.
- (N) 80"x80" ATTIC ACCESS 1/80" MIN HEADROOM ABOVE
- 4" DIA DRYER VENT
- 3 WAY SWITCH
- EXHAUST FAN IN KITCHEN, CAPABLE OF PROVIDING 50 CFM. DUCTED TO TERMINATE TO THE OUTSIDE OF BUILDING. ENERGY STAR COMPLIANT.
- 200 AMP ELECTRICAL PANEL
- DIMMER SWITCH
- CARBON MONOXIDE ALARMS SHALL BE INSTALLED IN DWELLING UNITS AND SLEEPING UNITS WITHIN HIGH FUEL BURNING APPLIANCES ARE INSTALLED AND IN DWELLING THAT HAVE ATTACHED GARAGES.
- OUTLET 110 VOLTS (TEMPERED RESISTANT OUTLETS REQUIRED IN KITCHEN, BEDROOMS, DEN, FAMILY ROOMS, DINING ROOMS, LIVING ROOMS, PARLORS, LIBRARY, SUNKROOMS AND RECREATION ROOMS)

WALL SCHEDULE

- NEW 2X STUD WALL
- 1 HOUR RATED WALL 5/8" GYP. BOARD TYPE "X" FLOOR TO ROOF AND GARAGE CEILING

KEY NOTES

- TEMPERED GLASS TYP. SAFETY GLAZING SHALL BE IN CONFORMANCE WITH THE APPLICABLE L.A.C.R.C. ALL EXTERIOR DOORS SHALL BE 1-3/8" (MIN) WITH TEMPERED GLASS UNO.
- EMERGENCY EGRESS WINDOW PROVIDE THE FOLLOWING:
 1. 57" SQ. FT. OF CLEAR OPENABLE AREA (50% AT GRADE)
 2. NET OPENING HEIGHT SHALL BE 24" MIN.
 3. NET OPENING WIDTH SHALL BE 20" MIN.
 4. FINISHED SILL HEIGHT OF 44" MAX. ABOVE FLOOR.
- 1-3/4" SOLID CORE, 20 MIN. FIRE AND SMOKE RATED SELF CLOSING, SELF LATCHING, TIGHT-FITTING DOOR.
- TANKLESS WATER HEATER PER T-24 REPORT.
 - MODEL: REEVE RTR-800V
 - INDOOR DIRECT VENT
 - 10,000 - 14,000 BTU MAX.
 - 8.5 GAL/MIN. @ 35' F RISE MAX. 7.4 GAL/MIN. AT 45' F RISE MAX
 - GAS FIREPLACE TO BE DIRECT VENT, SEALED COMBUSTION TYPE.
- 38" CLR. DRYER SPACE. PROVIDE 4" DIA. MIN. SMOOTH METAL EXHAUST VENT TO OUTSIDE WITH AIR BACK-DRAFT DAMPER. DUCT IS LIMITED TO 14'-0" WITH TWO ELBOWS. (SHALL BE REDUCED 2'-0" FOR EVERY ELBOW IN EXCESS OF TWO).
- 38" CLR. WASHER SPACE. PROVIDE RECESSED WATER / WASTE LINE HOOK UP AND GALV. SHT. METAL SMITTY PAN.
- REFRIGERATOR SPACE. PROVIDE 36" MIN. CLR. WITH COLD WATER CONNECTION.
- 24" WIDE DISHWASHER.
- ONE LAYER 5/8" TYPE "X" GYPSUM BOARD AT WALLS, CEILING, AND SUPPORTING STRUCTURAL MEMBERS SEPARATING THE GARAGE AND THE LIVING AREAS. (1 HR. RATED CONST.)
- PROVIDE ONE-HOUR FIRE RESISTIVE CONSTRUCTION IN 5/8" TYP "X" GYP. BD. AT SIDE AND SOFFIT OF ENCLOSED AREA UNDERNEATH STAIR.
- 30" X 80" GYPSUM BOARD ATTIC ACCESS PANEL. PROVIDE 24" WIDE UNOBSTRUCTED PASSAGE IN SOLID CONT. FLRS. FROM ATTIC ACCESS TO FLOOR. PROVIDE 30" CLR. IN FRONT OF THE EQUIP. AND 30" CLR. HEAD ROOM. PROVIDE LIGHT AT EQUIP. WITH SWITCH TO ATTIC ACCESS.
- 32" X 60" ENAMELED CAST IRON TUB / SHOWER COMBINATION. SHOWER HEAD AT 5' A.F.F. PROVIDE SHOWER ROD. INSTALL PER MANUFACTURE SPECIFICATIONS.
- WATER CLOSET. PROVIDE 30" MIN. CLR. WIDTH (9" FROM CENTER TO EACH SIDE) AND 24" CLR. SPACE IN FRONT. FLUSH VALVES FOR LOW-CONSUMPTION AND WATER SAVER WATER CLOSETS SHALL BE PROVIDED WITH A MAX. 1.28 GALLONS OF WATER PER FLUSH. (CFC 402.1, 402.2)
- 42" X 12" ACRYLIC TUB OR EQUAL ON A RAISED WOOD FRAMED PLATFORM WITH CERAMIC TILE / NATURAL STONE COVERINGS ABOVE TUB. ENCLOSURES MUST BE SAFETY GLAZING. INSTALL PER MANUFACTURER'S SPECIFICATIONS.
- NOT-MORPHED SHOWER PAN WITH MURSET CERAMIC TILE / NATURAL STONE FLOOR. FULL HEIGHT CERAMIC TILE / NATURAL STONE WALLS WITH 84" HEIGHT SHOWER HEAD. PROVIDE TEMPERED GLASS ENCLOSURE. 30" Ø CLEARANCE.
- FAU LOCATION IN ATTIC PROVIDE A MIN. 80"x80" ACCESS, 24" WIDE WALKWAY AND 30" DEEP WORK PLATFORM. PROVIDE ELEC. LIGHT OUTLET A.I.D. TO FURNACE SWITCH BY ATTIC ACCESS OPENING. A/C CONDENSER PER T-24 REPORT.
 - SYSTEM SHALL HAVE A MIN. 14" BEER AND DUCT INSULATION OF R-6
 - HEATER SHALL BE CAPABLE OF MAINTAINING A MIN. ROOM TEMP. OF 68°F AT A POINT 3 FEET ABOVE THE FLOOR AND 2 FEET FROM EXTERIOR WALLS IN ALL HABITABLE ROOMS AT THE DESIGN TEMP.
- 24"x18" RETURN AIR REGISTER
- RECESSED MEDICINE CABINET, 6" ABOVE CABINET
- KITCHEN HOOD SHALL HAVE A MINIMUM CAPACITY OF 100 CFM

DOOR SCHEDULE

SYM.	QTY.	SIZE	THK	TYPE	MATERIAL	REMARKS
1	1	3'-0" X 6'-8"	1 3/4"	S.C.D. W/ SIDE LITE & TRANSOM	MOOD	(1) 1'-0" SIDE LITE 1'-0" TRANSOM
2	8	2'-6" X 6'-8"	1 3/8"	SWING H.C.D.	MOOD	
3	1	2'-8" X 6'-8"	1 3/4"	SWING S.C.D.	MOOD	SELF CLOSE, SELF LATCHING, TIGHT FIT
4	1	8'-0" X 6'-8"	1 3/4"	SLIDING DOOR	VINYL/GLASS	
5	1	5'-0" X 6'-8"	1 3/8"	BIFOLD'S DBL	MOOD	VENTED T4B @ LNDRY
6	1	2'-8" X 6'-8"	1 3/8"	SWING H.C.D.	MOOD	
7	1	16'-0" X 7'-0"	1 3/4"	GARAGE DOOR	ALUM	GLAZED
8	2	2'-4" X 6'-8"	1 3/8"	SWING H.C.D.	MOOD	
9	1	2'-6" X 6'-8"	1 3/8"	POCKET	MOOD	
10	1	5'-0" X 6'-8"	1 3/8"	SLIDING	MOOD	
11	1	6'-0" X 6'-8"	1 3/8"	SLIDING	MOOD	
12	1	2'-8" X 6'-8"	1 3/8"	SWING S.C.D.	MOOD	

WINDOW SCHEDULE

SYM.	QTY.	SIZE	TYPE	MATERIAL	U-FCR	SHGC	REMARKS
A	2	5'-0" X 4'-0"	CASEMENT DBL	VINYL	0.32	0.25	
B	3	4'-0" X 4'-0"	SLIDER	VINYL	0.32	0.25	
C	1	4'-0" X 1'-6"	SLIDER	VINYL	0.32	0.25	
D	2	5'-0" X 4'-0"	SLIDER	VINYL	0.32	0.25	
E	1	6'-0" X 4'-6"	HOPPER	VINYL	0.32	0.25	
F	2	2'-6" X 4'-0"	FIXED	VINYL	0.32	0.25	
G	2	2'-0" X 3'-0"	CASEMENT	VINYL	0.32	0.25	
H	1	4'-0" X 3'-0"	SLIDING	VINYL	0.32	0.25	
I	1	2'-6" X 4'-0"	CASEMENT	VINYL	0.32	0.25	
J	1	4'-0" X 1'-0"	FIXED	VINYL	0.32	0.25	
K	1	4'-0" X 1'-6"	FIXED	VINYL	0.32	0.25	

OWNER INFO:

CYNTHIA LI
 86 N. LIMA ST.
 SIERRA MADRE, CA. 91024

PROJECT ADDRESS:

PROPOSED (2) 2-STORY SINGLE FAMILY DWELLINGS
 410 S. 5TH AVE
 MONROVIA, CA. 91016

JOB NUMBER:

CS15-086

DRAWN BY:

GC/JC/AG

SCALE:

1/4" = 1'-0"

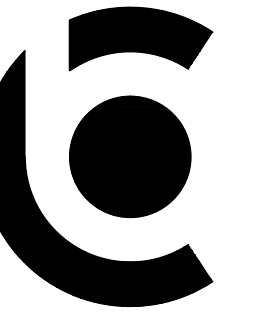
REVISIONS:

SHEET TITLE:

UNIT "B"
 PROPOSED 1st.
 FLOOR PLAN
 & 2nd FLOOR PLAN

SHEET NO.:

A-4



C.B. HOME DESIGN INC.
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DRAWN BY:

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SCALE:

1/4" = 1'-0"

REVISIONS:

...

SHEET TITLE:

UNIT "B" ELEVATIONS

SHEET NO.:

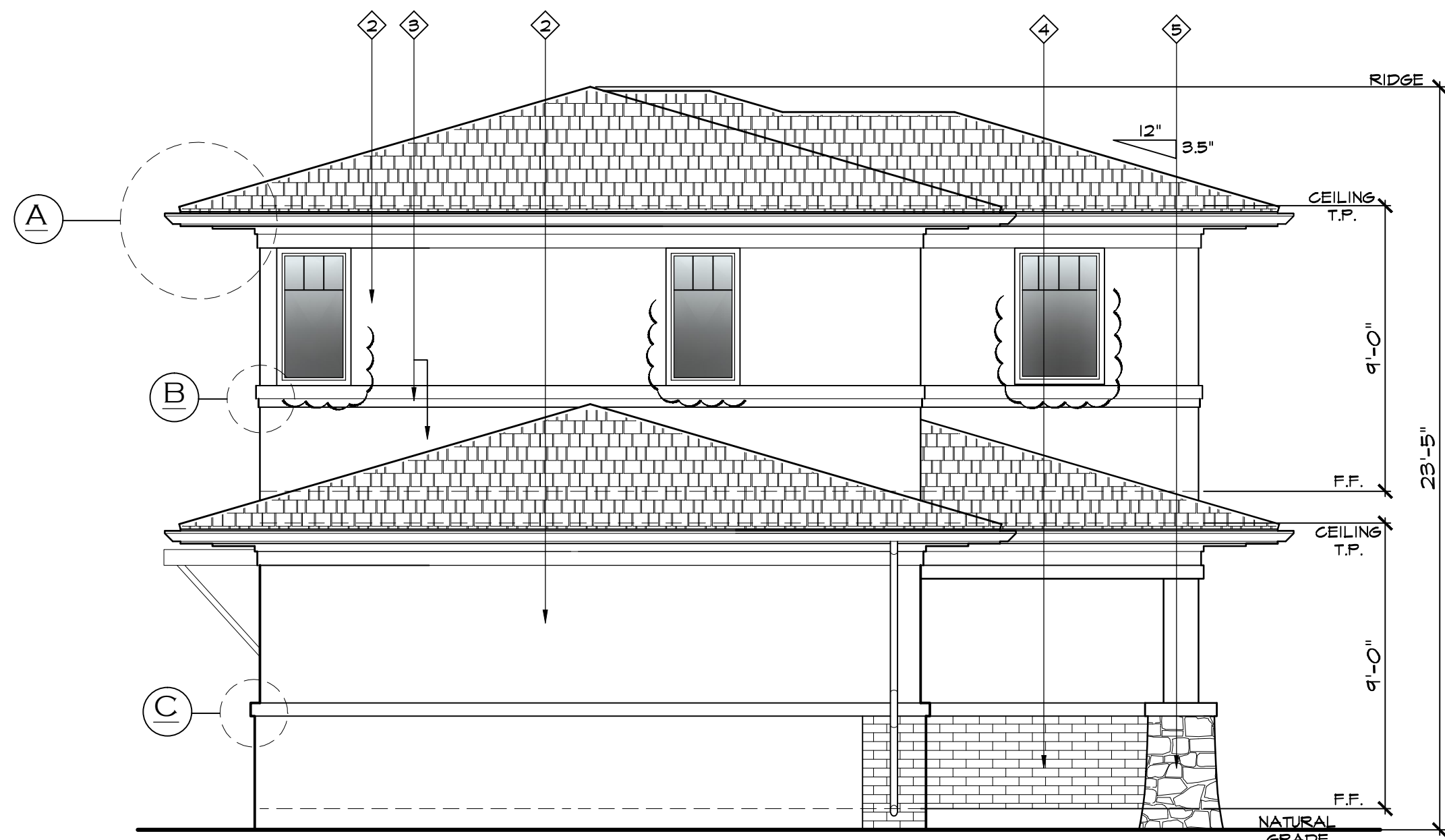
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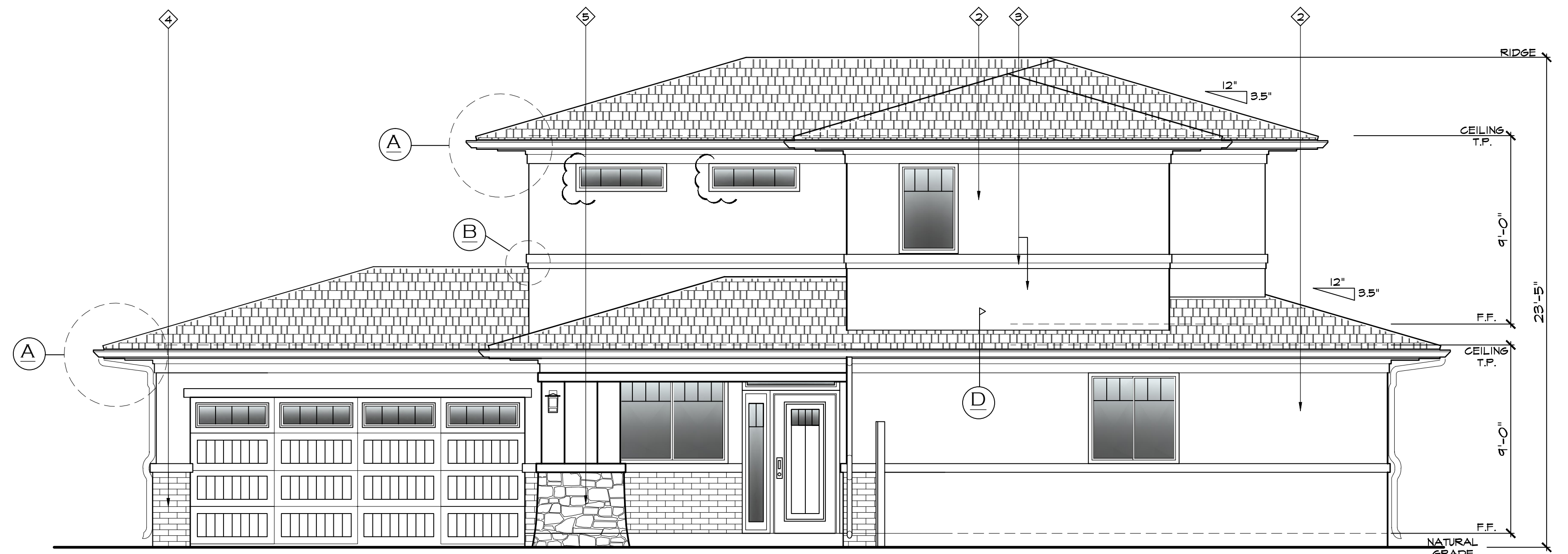
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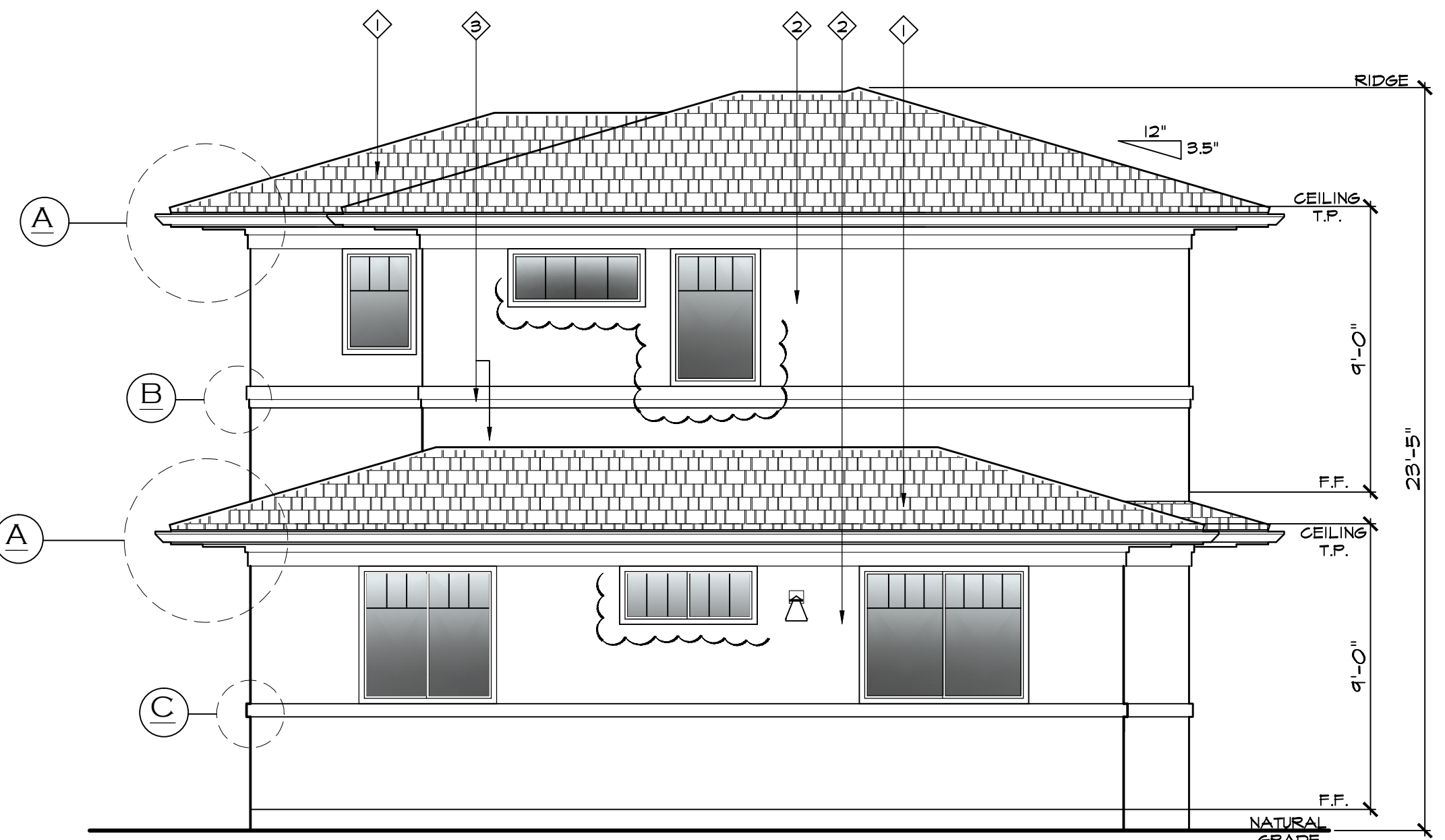
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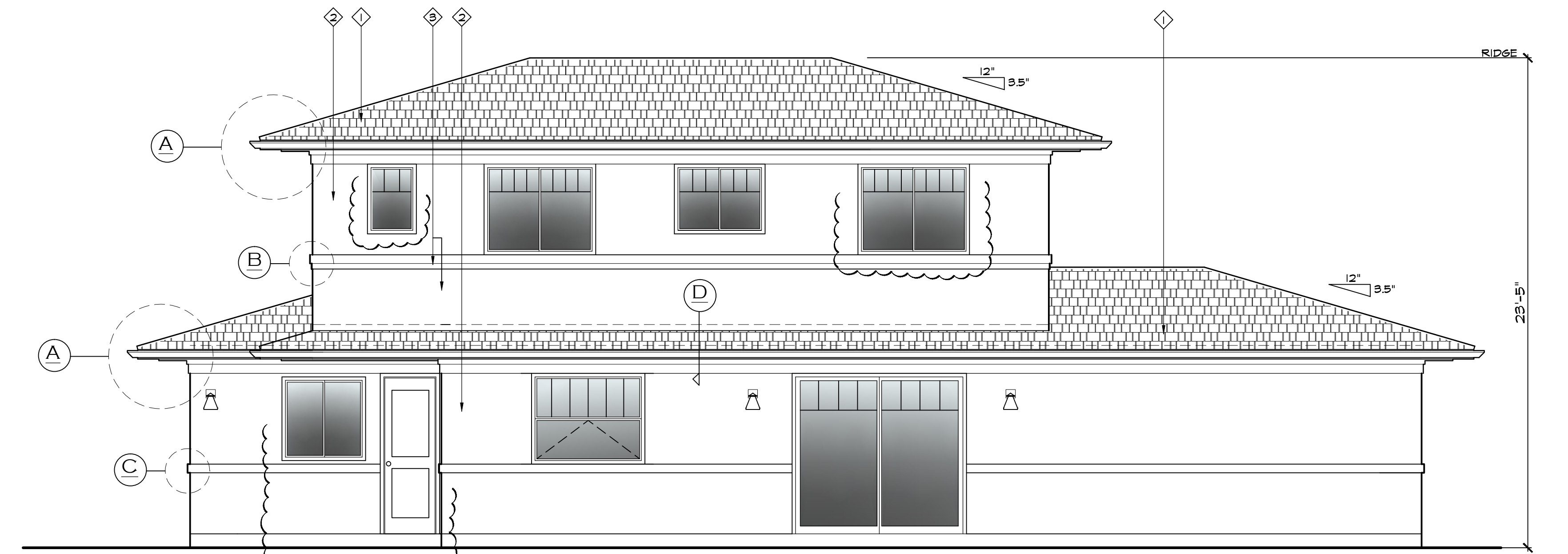
UNIT "B" LEFT (NORTH) ELEVATION
 NTS" = 1'-0"



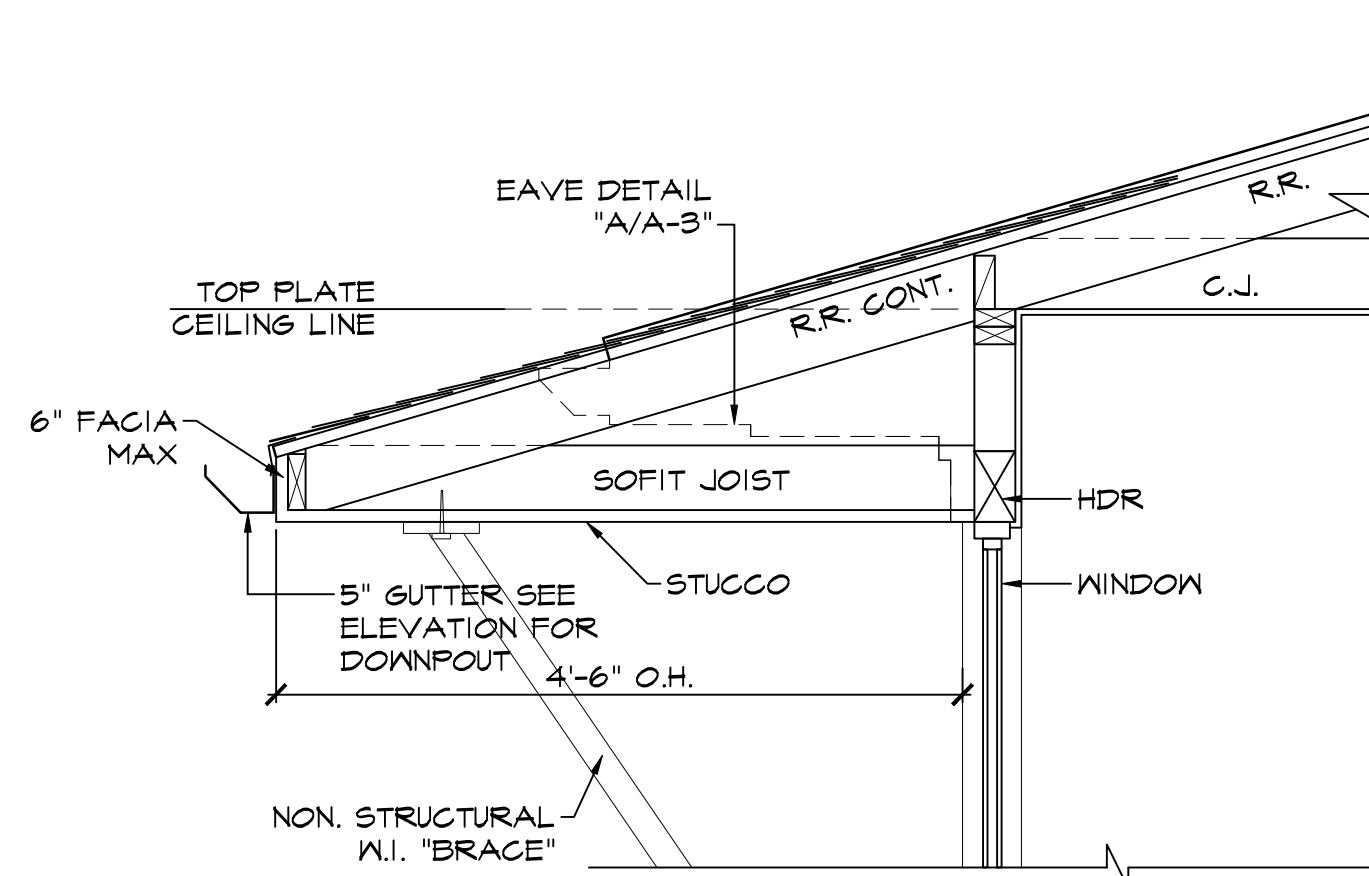
UNIT "B" FRONT (WEST) ELEVATION
 NTS" = 1'-0"



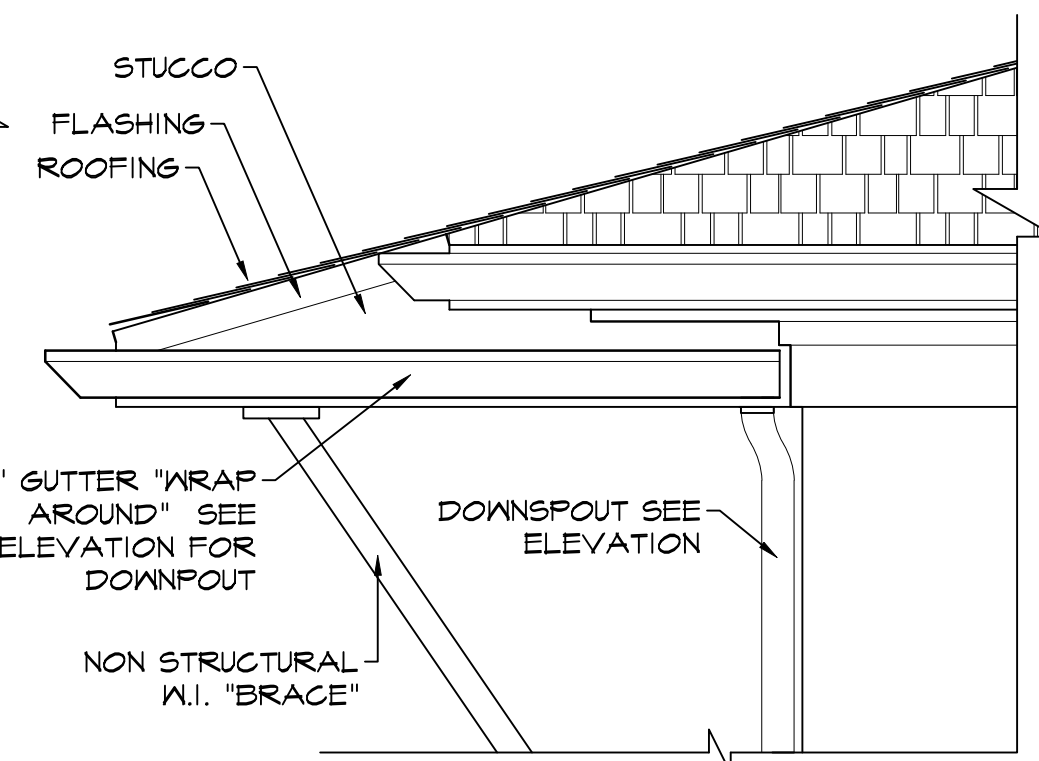
UNIT "B" RIGHT (SOUTH) ELEVATION
 NTS" = 1'-0"



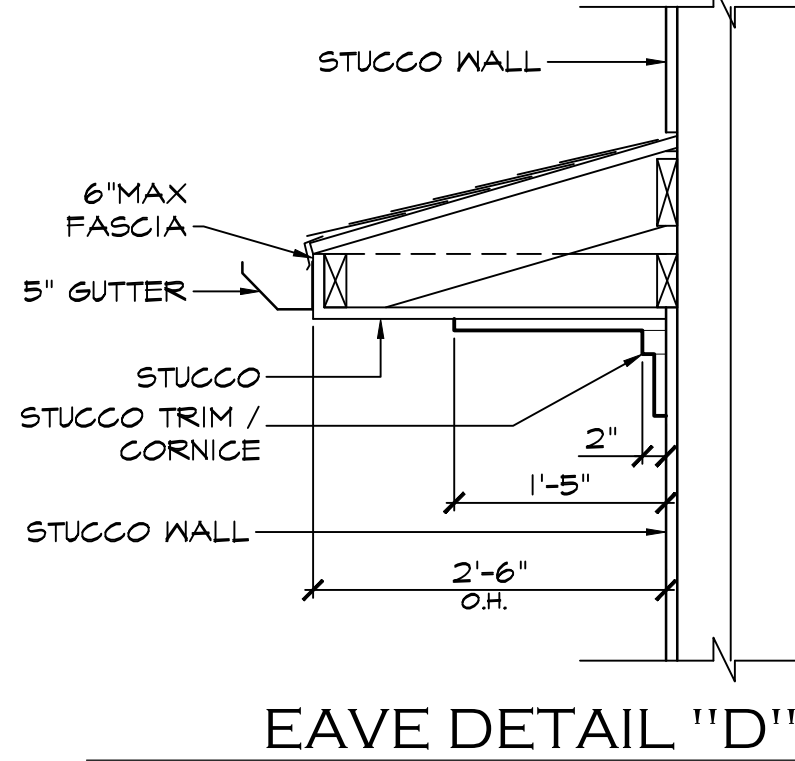
UNIT "B" REAR (EAST) ELEVATION
 NTS" = 1'-0"



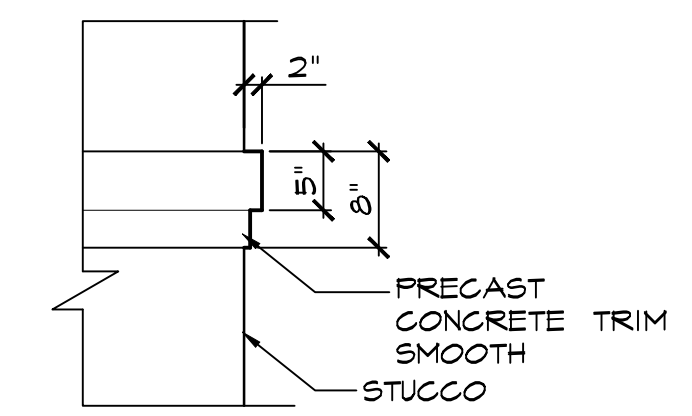
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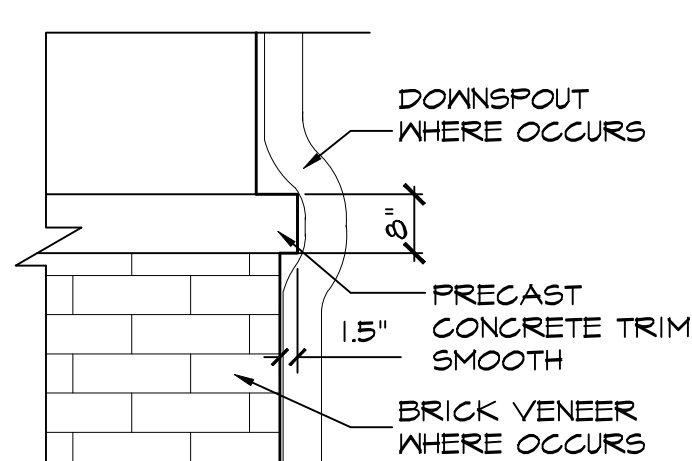
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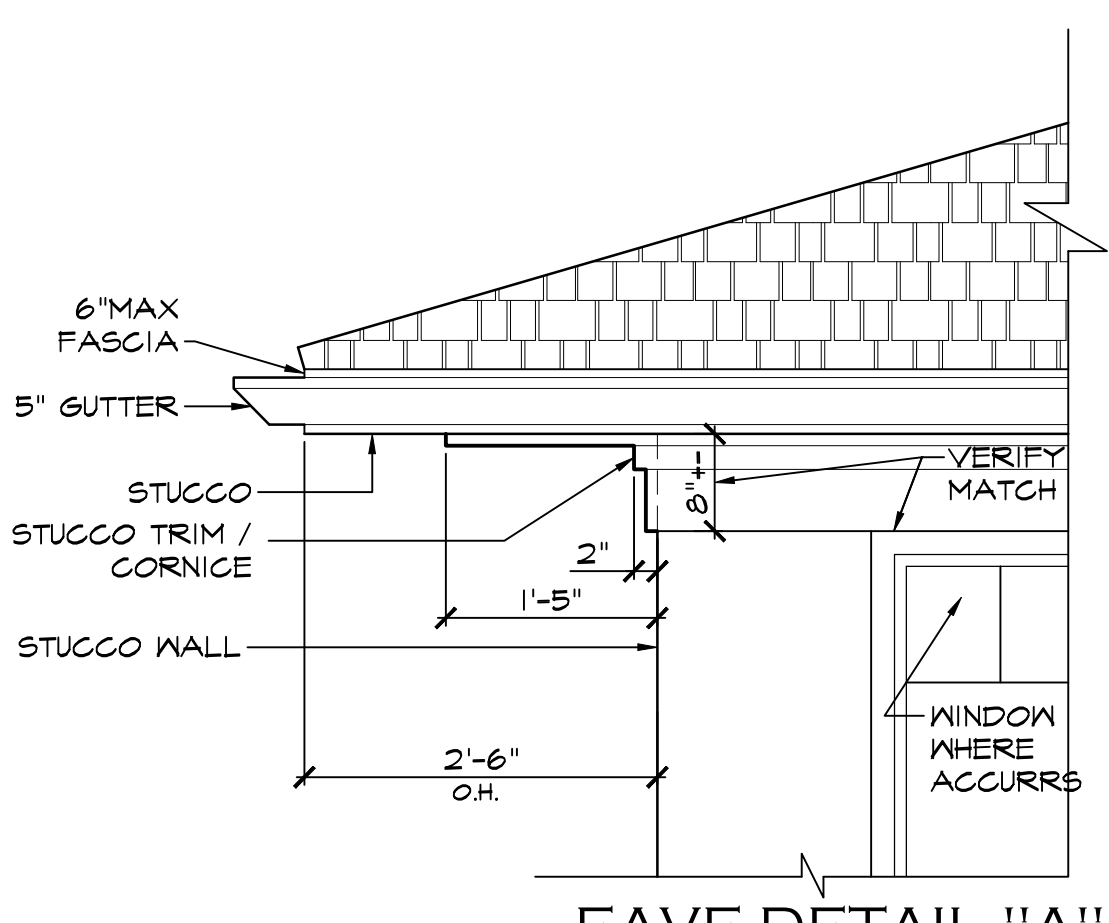
EAVE DETAIL "D"
 NTS



TRIM DETAIL "B"
 NTS



TRIM DETAIL "C"
 NTS



EAVE DETAIL "A"
 NTS

KEY NOTES

- 1. (N) COMPOSITE SHINGLES, OWENS CORNING 220# 1/2" 480 FELT, CLASS A STYLE: PONDQUEST COLOR: GRANITE
- 2. LA HABRA 3/8" STUCCO W/ 2-LAYERS OF GRADE 'D' COLOR= OATMEAL, FINISH: 35 "SAND FINISH"
- 3. LA HABRA 3/8" STUCCO W/ 2-LAYERS OF GRADE 'D' COLOR= FALLBROOK, FINISH: 35 "SAND FINISH"
- 4. VENEER: CULTURED STONE BY BORAL STYLE/COLOR: HANDMADE BRICK/ MOROCCAN SAND
- 5. VENEER: CULTURED STONE BY BORAL STYLE/COLOR: ANCIENT VILLA LEDGESTONE / CHIANTI