



PLANNING COMMISSION STAFF REPORT

APPLICATION: CUP2019-0004, GPC2019-0001 **AGENDA ITEM:** PH-2
PREPARED BY: Austin Arnold, Assistant Planner **MEETING DATE:** June 12, 2019

SUBJECT: Conditional Use Permit CUP2019-0004, General Plan Conformity
GPC2019-0001
518 East Olive Avenue

REQUEST: Construct three (3), two-story, detached residential units in the RM2500 (Residential Medium Density) Zone.

APPLICANT: Alberto Cisneros, Applicant
5318 East Wardlow Road
Long Beach, CA 90808

ENVIRONMENTAL DETERMINATION: Categorical Exemption (Class 3-New Construction)

BACKGROUND: The applicant is requesting approval to construct three, new two-story detached residential units on a 13,201 square foot parcel in the RM2500 (Residential Medium Density) zone. In accordance with Monrovia Municipal Code (MMC) Section 17.44.050, the construction of more than two units on a single parcel in a multi-family zone requires approval of a Conditional Use Permit (CUP).

SUBJECT PROPERTY: The subject parcel is located on the southeast corner of East Olive Avenue and Gladys Avenue. The rectangular shaped property has approximately 59.2' of frontage on East Olive Avenue and 223' of depth on Gladys Avenue. The property is currently improved with a single-family residence and an attached garage.

Given that the existing residential structure was built within the historic period (50 years of age or older) and is proposed for demolition to make way for new development, the application was subject to the City's demolition permit review regulations set forth in Ordinance 2016-10. In compliance with these standards, the applicant submitted a professional historic assessment and DPR Form prepared by Sapphos Environmental, finding that the residential structures do not have architectural or known historic values. The Historic Preservation Commission reviewed the assessment at their meeting on March 28, 2018, and approved the DPR Form with a California Historic Status Code (CHRS) of 6Z, a status code that is assigned to properties that do not meet any of the criteria required for landmark designation.

Site and Surrounding Land Uses

The project site is designated Residential Medium Density (maximum 17.4 du/acre) in the General Plan and is zoned RM2500. The site is surrounded by the following land uses:

North (across East Olive Avenue):

General Plan: Residential Medium Density (17.4 du/acre)
Zoning: RM 3500 (Residential Medium Density)
Land Use: Multi-family Residential (14 units)

South (across alleyway):

General Plan: Residential Medium Density (17.4 du/acre)
Zoning: RM3000 (Residential Medium Density)
Land Use: Multi-family Residential (3 units)

East:

General Plan: Residential Medium Density (17.4 du/acre)
Zoning: RM 2500 (Residential Medium Density)
Land Use: Multi-family Residential (2 units)

West (across Gladys Avenue):

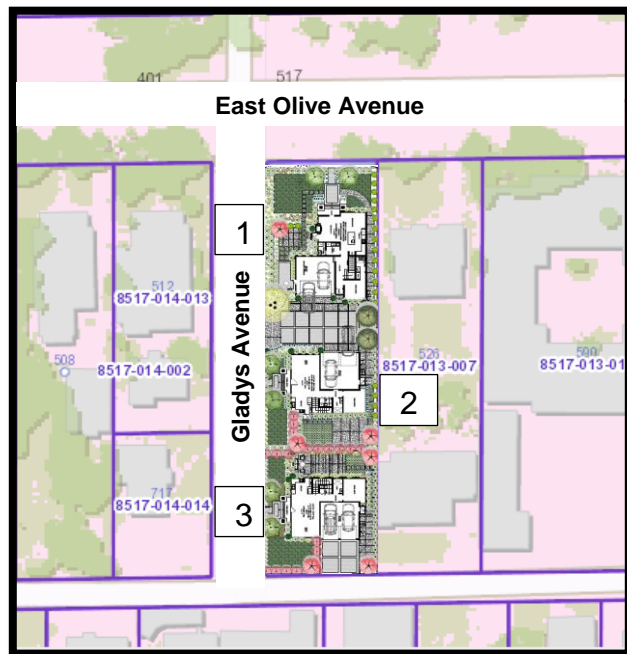
General Plan: Residential Medium Density (17.4 du/acre)
Zoning: RM 3500 (Residential Medium Density)
Land Use: Multi-family Residential (2 units)

DISCUSSION/ANALYSIS:

Site Plan

The proposed development of three, detached, two-story residential units will be located on a single lot. A subdivision is not proposed. Therefore, the units will exist under a single ownership and may be leased individually.

The proposed site plan illustrates that the applicant considered neighborhood compatibility design principles to provide appropriate orientation of the buildings in relation to the surrounding property improvements including building entrances, driveways, landscape areas, and setbacks. Since this project site is located on a corner, all three of the units propose front entries oriented toward the street frontages. Units 2 and 3 are proposed facing Gladys Avenue while unit 1 (front unit) will have a front entrance oriented toward East Olive Avenue.



Noting that the east side of Gladys Avenue has only one drive approach on the subject block, the applicant is proposing to keep the new drive approach in the same location. This approach will provide interior access to units 1 and 2 and their attached two-car garages. Unit 3 also has an attached two-car garage, which is accessed from the alley. The proposed driveway access and garage placement on the site will ensure the neighborhood maintains its “minimally visible garage” appearance.

As shown in Table 1.0, the development meets or exceeds all zoning code requirements.

TABLE 1.0 DEVELOPMENT STANDARD COMPLIANCE REVIEW

Development Standard	Required	Proposed
Density (1 du/2,500SF)	Maximum 5 units	3 units
Floor Area Ratio (FAR) (40% Dwelling Unit / 20% Accessory Structure)	Maximum 40% / 20%	40% / 10.6%
Front Setback (25 FT or Average Setback, whichever is greater)	26'-0"	26'-0"
Side Setback – First Story 10% of lot width (5ft min. – 15ft max.) (east) 10ft min. on corner lot (west)	6'-0"	6'-0" (east) 10'-0" (west)
Side Setback – Second Story	8'-0"	8'-0" (Front unit) 14'-5" (Rear units)
Rear Setback	20'-0"	20'-0"
Building Height	27'-0"	23'-6"
Private Recreation Space 40% of gross dwelling unit floor area	698 SF (Unit 1) 620 SF (Unit 2) 620 SF (Unit 3)	698 SF (Unit 1) 990 SF (Unit 2) 792 SF (Unit 3)
Parking	2-car garage/dwelling	2-car garage/dwelling

Floor Plans/Building Elevations

Two floor plans are proposed. Unit 1 has been designed with 1,745 square feet of living area and contains four bedrooms and four bathrooms. Units 2 and 3 are 1,549 square feet in size and each have four bedrooms and three bathrooms.

In keeping with the established residential development in the area, the applicant is proposing a Craftsman inspired architectural design. The proposed homes will incorporate low-pitched hip and gable roofs with exposed rafter tails, decorative braces, and partial-width porches at each front entry. The exteriors will be clad in a combination of shingle and 4" wide fiber-glass cement siding. The roof material will consist of a lightweight concrete roof tile that simulates wood shake. Additional architectural details include divided light windows, a chimney with a decorative cap, and porch supports consisting of decorative tapered columns resting on concrete bases which will be finished in a Parkside Clay Brick by McNear. The applicant has selected an earth tone color palette consisting of green and brown (dark and light) for the exterior walls, and white for the trim, which is appropriate for the Craftsman inspired architecture.

To address privacy concerns, the second story of each unit will be set back further than the first floor adjacent to the east property line. The second story side yard setbacks range from 8' for unit 1 and 15' for units 2 and 3. The applicant also indicated that mature landscaping would be planted (several 24" and 36" box trees) to help reduce privacy concerns.

Lastly, the applicant has provided a conceptual landscape plan that incorporates quality landscape materials which will be proportional to the size of the development. The plan contains 24" Arbutus Strawberry trees, as well as 36" box Thornless Palo Verde trees, Wilson Olive trees, Sweet Bay trees, and Purple Leafed Hopseed Bushes, in addition to a variety of plants, shrubs, and groundcover that will be planted throughout the site. Conditions of approval also require the applicant to provide landscaping along any unimproved city right-of-way contiguous with the property. Finally, the driveway will utilize decorative interlocking pavers, and a new decorative block wall is proposed along the east and south property lines.

General Plan Conformity GPC2019-0001

This portion of Gladys Avenue terminates at an alleyway. It is currently underutilized, it does not provide ADA access, and it has no sidewalk. In order to provide ADA access to units 2 and 3, which face Gladys Avenue, the City Engineer has recommended a sidewalk to be installed along the east side of Gladys. The existing parkway is currently 3 feet in width; however, the minimum width for a sidewalk is 5 feet. To meet this minimum requirement, the property owner must dedicate a 2-foot wide easement along the length of the property.

Prior to considering the entire project, the Planning Commission must first make a finding that the dedication of a public easement across the length of the property (2' by 223') adjacent to Gladys Avenue conforms to the provisions of the City's General Plan pursuant to Section 65402 of the Government Code.

Gladys Avenue is identified as a local street per the General Plan and the dedication of the public easement would conform to the provisions of the City's Circulation Element of the General Plan. Policies 1.1 through 1.15 support Goal 1 to minimize traffic congestion on arterial and collector streets during peak hours in order to ensure a safe and efficient movement of people and goods in the City by providing a pedestrian-oriented development. The easement also conforms to Policy 2.13 of the Circulation Element of the General Plan, which specifies that the City needs to "require future dedication for widening of streets and alleys as new development occurs." The subject easement is in conformity with the General Plan because it will widen the City's right-of-way in conjunction with new development.

Development Review Committee Advisory Review

As part of the Advisory Review by the Development Review Committee (DRC), Staff sent out a courtesy notice to property owners within 300 feet of the subject property. The courtesy notice was provided to further encourage and allow for public input regarding the project prior to any public hearings. At the DRC meeting held on May 8, 2019, the property owner to the east of the subject site attended and expressed concerns related to increased traffic, potential impacts to the availability of off-street parking in the neighborhood, as well as light and privacy impacts. He also expressed concern regarding the amount of mature trees being removed from the site and the potential for reduced oxygen in the neighborhood.

In response to the concerns expressed at DRC, Staff and the applicant met with the neighbor at the site to discuss the issues. It was explained that each unit would have a two-car garage in compliance with zoning requirements and that there were only 3 units proposed instead of the possible 5 unit maximum based on the zoning (one unit for every 2,500 square feet of lot area). Staff also explained that the availability of on-street parking would not be reduced because no additional driveway approaches are proposed on Olive Avenue. The project site will be served by the existing driveway approach on Gladys Avenue where on-street parking has never been allowed due to its narrow width.

It was also agreed that instead of constructing a 6' high block wall, the applicant would reduce it to 5' height to alleviate the light and ventilation concerns of the neighbor. This would allow for additional light into the neighbor's covered patio area.

Conclusion

The proposed development at 518 East Olive Avenue has demonstrated compliance with the objective standards outlined in the City's General Plan and Zoning Codes. Furthermore, the applicant's project would not create a "specific, adverse impact" to public health and safety if constructed in conformance with the proposed conditions of approval.

The proposed development will result in three new homes that will be attractive additions to the neighborhood and community. The existing property is zoned for multi-family development, and there are several multi-family developed properties within this block of East Olive Avenue. The new units will offer a Craftsman design and display various quality building materials to convey a sense of permanence in an existing multi-family residential neighborhood. The project meets or exceeds all the development guidelines for this multi-family zoned property and the proposed development is fitting with the character of the neighborhood.

RECOMMENDATION: Staff and the Development Review Committee recommend approval of the application presented in the staff report. If the Planning Commission concurs with this recommendation then following the public hearing, the appropriate actions would be:

1. Pursuant to the California Environmental Quality Act ("CEQA") and the City's local CEQA Guidelines, the Planning Commission in the exercise of its independent judgment, finds that CUP2019-0004 and GPC2019-0001 are categorically exempt from CEQA under Class 3.
2. The Planning Commission finds that the custodian of records for all other materials that constitute the record of the proceeding upon which this decision is based, is the Planning Division Manager. Those documents are available for public review in the Planning Division located at 415 South Ivy Avenue, Monrovia, California, 91016.
3. The Planning Commission hereby finds that the proposed dedication of an easement for additional public right-of-way to accommodate a sidewalk that will provide ADA-compliant access to the units on the property is in conformity with the City of Monrovia General Plan. This finding shall be reported to the City Council.
4. The Planning Commission in the exercise of its independent judgment hereby makes the findings listed on attached Data Sheet No. 3 for CUP2019-0004 which are incorporated herein by this reference.
5. The Planning Commission hereby approves CUP2019-0004, subject to the attached Planning Conditions on Data Sheet No. 1, Public Works Conditions on Data Sheet No. 2, and recommendations in the Staff Report, all of which are incorporated herein by this reference.

MOTION:

Find that the proposed easement is in conformance with the City of Monrovia General Plan and Approve CUP2019-0004 as presented in the Staff Report.



Development of the subject property and operations on the site must remain in substantial conformance at all times with the request and application forms and plans for a Conditional Use Permit for a residential development, consisting of three (3) two-story, detached units on a 13,124 square foot parcel submitted by the applicant, as approved by the Planning Commission and placed on file in the office of the Planning Division, except as modified by the conditions imposed by the Planning Commission and by subsequent modifications determined by the Planning Division Manager to be in substantial compliance with the conditions of approval. The term "Applicant" as used herein shall include the applicant, the property developer and all successors in interest to this conditional use permit.

DEVELOPMENT STANDARDS

1. A final materials board shall be submitted to the Planning Division Manager for review and approval prior to building permit issuance. The final materials board shall include a breakdown by unit of materials to be used and samples/examples of siding, stucco, stone veneers, windows, exterior doors, garage doors, roofing, color schemes and exterior light fixtures.
2. A decorative block wall shall be provided by the Applicant adjacent to the rear (south) and side (east) property lines but outside of the front setback. The front yard setback is taken from the north property line. The property line wall must be a minimum of five feet above the subject property's finished grade and a maximum of five feet above the adjacent property's grade, measured in accordance with the Monrovia Municipal Code. The walls shall be installed before building construction begins.
3. All private recreation areas must be enclosed by 5' to 6' high wood fence or approved alternative. All proposed fences shall be shown and indicated on the submitted site plan.
4. The second story windows along the side (east) and rear (south) property lines shall be located in a manner to preserve the privacy of the properties to the south and east, subject to review and approval by the Planning Division Manager.
5. All garages shall be used for the storage of vehicles to minimize the parking impact within the neighborhood.
6. The Applicant shall make a good faith effort to work with adjacent property owners (that have existing walls/fences) to avoid a double wall condition, and provide a single wall along the project's perimeter. The applicant shall notify by mail all contiguous property owners at least 30 days prior to the removal of any existing walls/fences along the project's perimeter.

7. An area for storage of individual trashcans shall be provided on a paved surface and screened to the satisfaction of the Planning Division Manager and shall be shown and indicated on the submitted site plan.
8. A level concrete patio shall be provided for each unit in the private recreation area and shall be indicated on the grading plan and approved by the Development Review Committee prior to the start of grading.
9. Placement and design of mailboxes shall be reviewed and approved by both the U.S. Postal Service and the Planning Division prior to installation.
10. No roof mounted mechanical equipment shall be permitted.
11. Ground level mechanical equipment shall be placed a minimum of 5' from the interior property lines and shall be completely screened with landscaping. Ground level mechanical equipment shall not be located within the front setback. The front yard setback is taken from the north property line.
12. Electrical power lines, telephone lines, and any other transmission lines (including, without limitation, cable television lines, data transmission lines, communication lines, other utility lines, etc.) to and from the development, and within the development, shall be placed underground and provided to each unit.
13. Placement of the electrical transformer and fire standpipe shall be shown on a site plan and shall be reviewed and approved by the Development Review Committee.
14. All utilities and structures such as gas meters, electrical meters, telephone pedestal-mounted terminal boxes, surface mounted electrical transformers, or other potential obstructions shall be noted on the plans with provisions for appropriate screening.
15. Plans showing all exterior lighting shall be submitted to the Planning Division for review prior to building permit issuance and no exterior lighting shall be installed without the approval of the Planning Division Manager. All exterior lighting shall be designed, arranged, and installed so as to confine direct rays onto the premises and to direct light away from adjacent structures.

LANDSCAPING

16. A Landscape and Irrigation Plan prepared by a Landscape Architect shall be submitted to the Planning Division for plan check showing the size, type, and location of all planting areas and shall incorporate the following conditions of approval:
 - a. Mature landscaping shall be placed along the side (east) property line to preserve privacy of the properties to the north and west.
 - b. Landscaping shall be a combination of 24" and 36" box trees, shrubs, groundcover, and turf.
 - c. All landscaping shall be maintained by a permanent automatic irrigation sprinkler system.

- d. Any unimproved City right-of-way contiguous with the property shall be landscaped by the Applicant and incorporated into the required landscape plan.
 - e. Hardscape improvements shall be provided in common areas.
17. A landscape documentation package pursuant to the requirements of the State Model Water Efficient Landscape Ordinance shall be submitted to the Planning Division for approval prior to landscape construction. A Landscape Certificate of Completion shall be submitted to the Planning Division at the completion of the installation, prior to request for a final inspection and Certificate of Occupancy.

PARKING

18. All paved parking and driveway areas shall be surfaced with Portland cement concrete (3-1/2" minimum thickness) or approved alternative.
19. All driveway surface areas shall incorporate accent treatment throughout the design. Accent treatment shall include stamped concrete or other approved treatment.

FIRE DEPARTMENT CONDITIONS

20. New structures shall be fully fire sprinklered per NFPA 13D and local amendments

CONSTRUCTION SITE REQUIREMENTS

21. Provide temporary perimeter fencing with view obscuring material during construction. If graffiti is painted or marked in any way upon the premises or on an adjacent area under the control of the Applicant (including without limitation, any temporary perimeter construction fencing or the permanent wall), the graffiti shall be removed or painted over by Applicant within twenty-four hours, unless any law in effect imposes a shorter time period. Fencing may be removed prior to landscape installation with Planning Division approval.
22. One waterproof sign (36" x 48") in both English and Spanish noting construction hours and a phone number for contact shall be posted at the front of the site prior to grading or construction.

GENERAL REQUIREMENTS

23. In addition to Planning (Data Sheet No. 1) and Public Works (Data Sheet No. 2) conditions of approval the Applicant shall also comply with all requirements of the Monrovia Municipal Code, Building Division and Fire Department that are directly applicable to the project.
24. This project may be subject to the provisions of the City's Public Art Ordinance (MMC §15.44.050).
25. Any violation of these conditions of approval or the Monrovia Municipal Code may be subject to the Administrative Fine Ordinance, other available remedies

and/or revocation or modification of this permit at the discretion of the City Attorney and City Prosecutor.

26. The Applicant shall, within 30 days after approval by the Planning Commission, submit to the Community Development Department his/her written consent to all of the conditions of approval contained in Data Sheet Numbers 1 and 2. The Conditional Use Permit CUP2019-0004 shall be void and of no force or effect unless such written consent is submitted to the City within the 30 day period.
27. All of the above conditions shall be complied with prior to issuance of the Certificate of Occupancy, unless an earlier compliance period is specified as part of a condition.
28. Indemnification. As a condition of approval, Applicant agrees to defend, indemnify, protect and hold harmless City, its officers, officials, employees, agents and volunteers from and against any and all claims, actions, or proceeding against the City, its officers, officials, employees, agents and/or volunteers to attack, set aside, void or annul, an approval of the City, Planning Commission or City Council concerning these permits and the project. Such indemnification shall include damages, judgments, settlements, penalties, fines, defensive costs or expenses (including, but not limited to, interest, attorneys' fees and expert witness fees), or liability of any kind related to or arising from such claim, action, or proceeding. The City shall promptly notify the Applicant of any claim, action, or proceeding. Nothing contained herein shall prohibit City from participating in a defense of any claim, action or proceeding, including selecting the attorneys who will defend the City.



Public Works Conditions

CUP2019-0004

518 East Olive Avenue

Development shall be subject to the conditions of approval listed below. The term "Applicant" shall include, without limitation, the applicant, the property developer, the property owner, and all subsequent owners of each parcel.

Engineering Conditions

a) Site Plan showing: survey monuments, boundaries, easements and right-of-ways

- i) Submit existing site plan, topographic map of the project site, grading, drainage and utility plan to Public Works Department for review and approval. The plans shall indicate existing and proposed structures, miscellaneous facilities if applicable and all utilities applicable within the project site. The plans shall be prepared on a 24" x 36" sheets with City standard title block stamped and signed by a Registered Professional Civil Engineer in the State of California.
- ii) All site plans, grading plans, drainage plans and street improvement plans shall be coordinated for consistency prior to the issuance of any permits.

b) Water Improvements

- i) The Applicant shall install additional water services to Monrovia's water system to serve the entire development for domestic and fire usage within the City of Monrovia to the specifications of the City Engineer
- ii) All water lines within the project site shall be a private systems maintained by the project and not the City of Monrovia's responsibility. The project shall provide adequate backflow at the transition from right of way to the private/public utility easement. The City of Monrovia shall not be responsible for any utility after the backflow and meters.
- iii) All backflow devices will be reduced pressure double check valves from the state approved list. Developer/owner will provide testing of all state approved devices prior to operation and on an annual basis. If testing is not provided, city has the right to test at the owner's expense for said testing. If test fails owner shall replace approved device at their cost with approval from city water personnel.
- iv) The applicant will be responsible for all costs to connect to the City water system and installation of all new fire hydrants off the City system, if required by the Fire Department. The developer shall prepare engineered plans, approved by the City Engineer, and pay for all construction, equipment, testing and inspection for the connections, hydrants and services. These plans to be on separate improvement plans and submitted to Public Works for approval and construction/encroachment permits
- v) The project water usage and standby charges will be per the newly adopted rate schedule: Monrovia ordinance 2018-01 (See attached).

c) Waste Water Improvements

- i) The Applicant shall install additional sanitary sewers or use existing laterals to Monrovia's sewer system to serve the development to the specifications of the City Engineer.
- ii) **The applicant shall provide evidence of payment and approval for connection of sewer units to LA County Waste Water System.**

d) Geotechnical Investigation and Report

- i) Prior to issuance of a grading permit or encroachment permit, Applicant shall provide geotechnical report that addresses earthwork and foundation recommendations, including but not limited to, earthwork, retaining walls and foundation construction adjacent to the existing structures located on the property, pavement structural sections and recommendations. The geotechnical report shall include data regarding the nature, distribution and strengths of existing soils, conclusions and recommendations for grading procedures, design criteria for and identified corrective measures, and opinions and recommendations regarding existing conditions and proposed grading. The report shall also include subsurface geology of the site, degree of seismic hazard if any, conclusions and recommendations regarding the effect of geologic conditions on the proposed development, opinions and recommended design criteria to mitigate any identified geologic hazards including locations of surface and subsurface fault lines in the area as applicable.

e) Hydrology Report and Hydraulic Calculations

None required, based on lot size.

f) Grading Plan

- i) Grading plan shall conform to MMC Chapter 15.28 and be prepared on a 24" x 36" sheets with City title block. Required improvements may be shown on the grading plan along with site drainage.
- ii) Applicant shall provide an analysis and construct required infiltration and/or treatment of storm water from impervious surfaces prior to reaching direct connections leading to the main storm drainage system or the city street.
- iii) All required mitigation measures identified in the soils engineer's and geologist's reports shall be incorporated into the grading/drainage plans and a made a part thereof.
- iv) Grading plan to provide a scaled detail section at each property line where the project is in cut or fill greater than 0.5 feet. Provide in relation to the adjacent property existing conditions: set back dimensions, retaining wall dimensions and encroachments, ground and finish surface elevations, cut and fill slopes including code setbacks, and direction of flow indicators.
- v) ***Site drainage shall be mitigated with gravity drainage systems. The use of sump pumps and pressure systems is highly discouraged. If a sump pump/pressure system is proposed, a backup underground storage and percolation system is required to hold the one hour point rainfall of a 100 year storm event times the entire surface area draining to the sump location.***

g) Utility Coordination Plan

- i) Applicant shall submit a utility plan showing all proposed utility cuts for services such as Water, Sewer, Fire Department Stand Pipe, Gas, Edison, Telephone, Cable TV, etc. The Utility plan shall be submitted and approved prior to issuance of grading permits. Private utility plans including

sewer, water, gas, including all abandoned, or to be removed facilities, etc. for the proposed development shall be submitted for review and approval by the City Engineer. Pay all applicable fees for Engineering Division services for issuance of Public Works permits.

ii) Applicant shall underground all electrical and communication service lines to the buildings.

h) Off-site Street Improvement Plans

i) ***Applicant shall build 5 foot wide sidewalk per standard plans along frontage of Gladys and dedicate the needed right of way to contain this sidewalk. Sidewalk improvements shall include the modification of the ADA ramp on the Southwest corner of Olive and Gladys.***

ii) Applicant shall grant to the City of Monrovia an easement for the public sidewalk and driveway approaches containing the ADA paths of travel. This easement will be in lieu of an offer of dedication to allow for setbacks from the current property lines.

iii) Remove and replace any curb, gutter, sidewalk, driveway approach or street pavement found by the City Engineer to be broken, uplifted, damaged or not meeting current ADA standards. Construct improvements as required, per City standard drawings to match existing improvements on adjacent properties. All ADA requirements shall be satisfied by the Applicant. These conditions apply on public right-of-way along property frontage.

iv) All work such as but not limited to demolition, construction and improvements within the public right-of-way shall be subject to review and approval of the Public Works Department, and will require construction and encroachment permit from the City's Public Works Department, prior to start of any construction. All work within the public right-of-way shall be in accordance with applicable standards of the City of Monrovia, Standard Specifications for Public Works Construction ("Green Book", latest edition) and the Manual on Uniform Traffic Control Devices (MUTCD, latest edition), and further that construction equipment ingress and egress be controlled by a plan approved by the City Engineer.

v) Applicant shall obtain applicable permits for all work to be done within the public right-of-way from the Public Works Department, **including all new driveway approaches**, and shall pay all applicable fees for Engineering Division services such as plan check fee and construction inspection fee as applicable.

vi) The City requires the restoration of the existing pavement after utility installation. Restoration is required from the outer limits of the area covering and encompassing all the utility cuts as shown on the plans, but actual limits shall be determined out in the field by City Engineer. Restoration of asphalt pavement may be up to 2-inch pavement grind and 2-inch asphalt overlay and slurry seal type II.

i) Off-site Utility Extension/Connection Plans

i) Applicant shall connect all buildings to the public sewer. The sewer is to be constructed in the common driveways through new lateral(s) (sized per the current plumbing code and engineered calculations, minimum 6 inches) with clean-out(s) at property line per City standard drawing S-215 and S-225. Cap off all abandoned laterals at the connection point from the main line to the satisfaction of the City Engineer. Indicate on the Site/Utility Plan the work to be done by the Applicant

A CCTV video of the existing/proposed sewer lateral connecting to the City mainline is required for

the project; a copy of the video shall be submitted to Public Works. Prior to CCTV please notify the Department of Public Works requesting to have the Public Works Inspector on-site to witness the inspection.

j) Off-site landscaping improvements to be maintained by the Applicant.

- i) Any off-site landscaping improvements along the frontage of this project are to be the responsibility of the project for maintenance and upkeep. The watering of this landscaping in the right of way is to be supplied by the projects water service for irrigation.

k) Traffic Engineering Conditions

- i) None required, based on size of project and trip generation.

l) Environmental Conditions

- i) Project is under 10,000 impervious Square feet and should meet the minimum standards as outlined on page 6 of our City of Monrovia flow Chart for LOW IMPACT DEVELOPMENT STANDARDS (Attached)

m) Demolition of Existing Structures

- i) The project demolition activities shall comply with the City's Construction and Demolition Recycling Program (C&D Recycling Program) by filing an application and submitting a deposit to Public Works Environmental Services prior to issuance of permits. Building, demolition, and grading permits will not be issued until the applicant provides the City with the required forms and the waste management plan has been reviewed and approved by the Environmental Services. If the Applicant chooses not to participate in the C&D Recycling Program, then the hauler must be identified on the demolition, building and grading plans.
- ii) Building demolition permit will not be issued until the applicant provides copy of Air Quality Management District (AQMD) permit.

n) As-built Plans

- i) Applicant shall provide to the City of Monrovia revised plans of the original size, on mylar, showing all as-built conditions for the off-site and on-site improvements prior to the final Certificate of Occupancy

Questions or comments: Brad S. Merrell, P E
City Engineer
Cell # 760-900-7526
bmerrell@ci.monrovia.ca.us



CONDITIONAL USE PERMIT

As required by Section 17.52.290 of the Monrovia Municipal Code, the decision for granting Conditional Use Permit No. CUP2019-0004 for the development of a 3-unit two-story residential development located at 518 East Olive Avenue is based on the following findings:

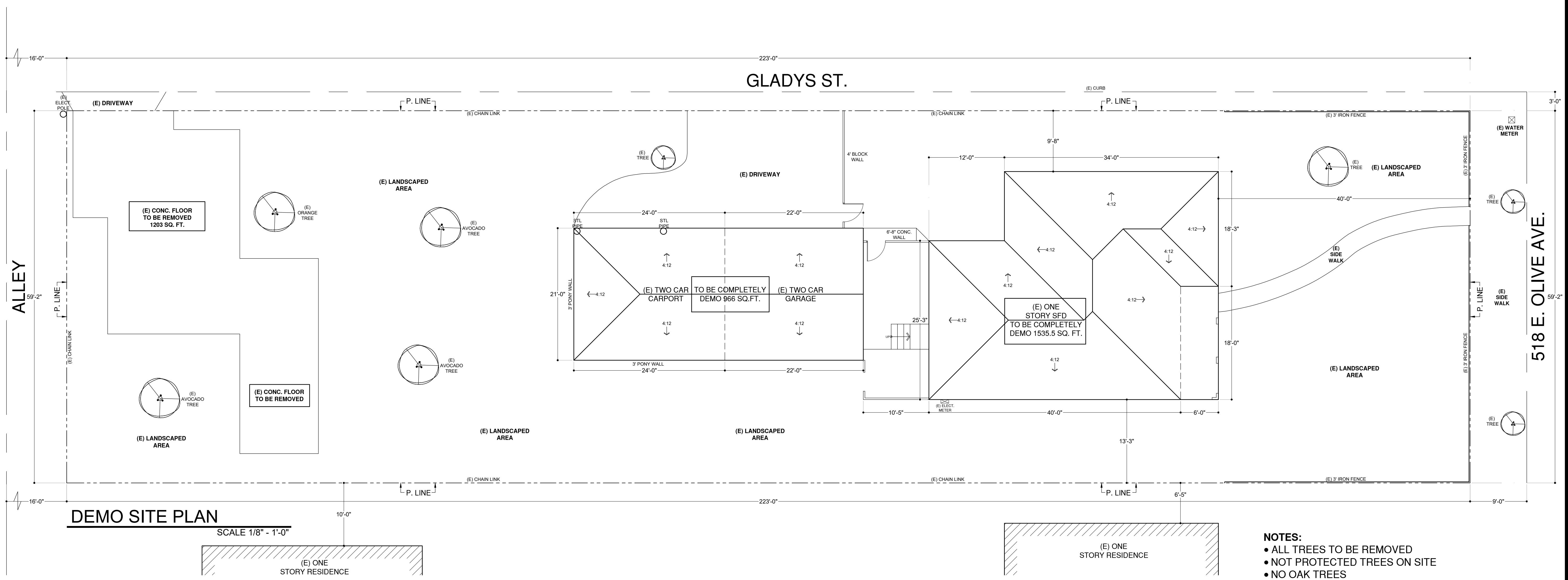
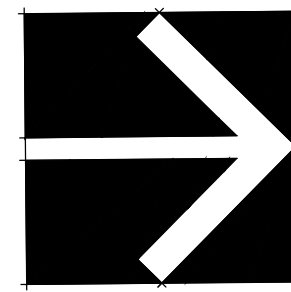
- A. The project site is adequate in size, shape and topography for the development of three units. *The site has sufficient width, depth and lot area to accommodate this type of development. The site is rectangular and relatively flat and of sufficient size to accommodate the proposed three units.*
- B. The project site has sufficient access to streets and highways, adequate in width and pavement type to carry the quantity and quality of traffic generated by this 3-unit development. *The project will be accessed by one ingress and egress access driveway on Gladys Avenue for units 1 and 2 while unit 3 (rear unit) will be accessible from the rear alleyway. The project provides the required residential parking spaces of two-car garages for each unit.*
- C. The 3-unit residential development will be compatible with the General Plan and will not adversely impact the objectives of the General Plan, *specifically the Residential Medium designation allows a density of up to five detached units on this 13,201 square foot site and while the proposal is only 3 units in a Craftsman architectural style that is compatible with the neighborhood. Furthermore, Goal 4.1 of the General Plan states, "new developments in established neighborhoods to consider the established architectural styles, development patterns, building materials, and scale of buildings within the vicinity of the proposed project.*
- D. The 3-unit residential development will comply with the applicable provisions of the Zoning Ordinance. *The project is zoned RM2500 (Residential Medium Density) and meets or exceeds all development standards, including density, setbacks, height, parking, and recreation space.*
- E. The proposed location of the 3-unit residential development and the conditions under which it will be operated or maintained will not be detrimental to the public health, safety or welfare, nor will it be materially injurious to properties or improvements in the vicinity, *as the site will be upgraded to include new landscaping, perimeter walls, and driveway access. It is on a residential block developed with both single and multifamily residences. The development is consistent with the existing development patterns in the vicinity. There are several multifamily developed parcels within this block of East Olive Avenue. The*

new units will offer a Craftsman design, which is compatible with the existing architecture of the neighborhood, and an application of various quality building materials to convey a sense of permanence in an existing multifamily residential neighborhood.

- F. The proposed project will not result in the demolition of a residential structure built prior to January 1, 1940, with architectural or know historic value. *The property located at 518 East Olive Avenue is currently developed with one primary residence that was built in 1951, as well as one attached garage that was built in 1952. Given that the existing residential structures were built within the historic period (50 years of age or older) and are proposed for demolition to make way for new development, the project was required to be reviewed by the Historic Preservation Commission to determine if the property meets the criteria for listing in the California Register of Historical Resources or the local landmark criteria and is not a “historic resource” for the purposes of the California Environmental Quality Act. The Historic Preservation Commission found that the existing residence on site did not have architectural or known historic value and Department of Parks and Recreation (DPR) Forms prepared by McKenna et al., found that the existing development does not have architectural or known historic value. The DPR Forms were formally approved with a California Historic Status Code of 6Z, a status code that is assigned to properties that do not meet any of the criteria required for landmark designation, by the Historic Preservation Commission on March 28, 2018.*

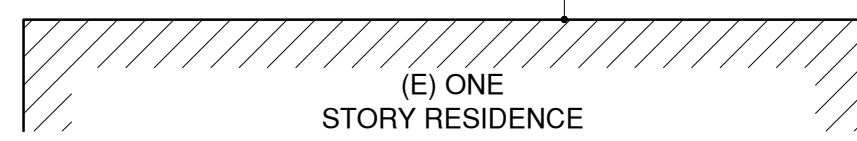
HOUSING ACCOUNTABILITY ACT

- A. The proposed development is subject to the approval requirements of the state Housing Accountability Act because the development meets or exceeds all of the applicable objective development standards contained within the Monrovia General Plan and the Monrovia Zoning Ordinance, including the density requirements, lot coverage requirements, setback requirements, and the Floor Area Ratio (FAR) requirements.



DEMO SITE PLAN

SCALE 1/8" = 1'-0"



- NOTES:**
- ALL TREES TO BE REMOVED
 - NOT PROTECTED TREES ON SITE
 - NO OAK TREES

GENERAL NOTES

NOTES:
 ROOF- MOUNTED VENTS SHALL BE PAINTED TO MATCH ROOFING MATERIAL.
 VERIFY DRAINAGE 2% AWAY FROM ADDITION.
 VERIFY THAT THE CONSTRUCTION WILL NOT BUILT OVER ON EXISTING SEWER.
 ALL WORKS SHALL COMPLY WITH THE FOLLOWING CODES INCLUDING LOCAL AMENDMENTS.
 * UTILITIES SHALL BE UNDERGROUND
 * BUILDING ADDRESS SHALL BE PROVIDED ON THE BUILDING IN SUCH A POSITION AS TO BE PLAINLY VISIBLE AND LEGIBLE FROM THE STREET
 2016 CALIFORNIA BUILDING, RESIDENTIAL, MECHANICAL, PLUMBING AND ELECTRICAL CODE (I.E. 2016 IBC, IRC, UMC, UPC AND 2016 NEC AS AMENDED BY THE STATE OF CALIFORNIA).
 2016 CALIFORNIA ENERGY CODE, AND THE 2016 CALIFORNIA GREEN BUILDING STANDARDS CODE, AS APPLICABLE, UNLESS OTHERWISE NOTED.

PROJECT IS TO COMPLY WITH 2016 CBC/CGBC/CRC ON THE TITLE PAGE IN ADDITION TO THE OTHER CODE STANDARDS LISTED.
 ADDRESS NUMBERS ARE TO BE 4" TALL WITH 1/2" STROKE PER CRC R319.
CONSTRUCTION GENERAL
 THE CONSTRUCTION SHALL NOT RESTRICT A FIVE-FOOT CLEAR AND UNOBSTRUCTED ACCESS TO ANY WATER OR POWER DISTRIBUTION FACILITIES (POWE POLES, PULL-BOXES, TRANSFORMERS, VAULTS, PUMPS, VALVES, METERS, APPURTENANCES, ETC.) OR TO THE LOCATION OF THE HOOK-UP.
 THE CONSTRUCTION SHALL NOT BE WITHIN TEN FEET OF ANY POWER LINES-WHETHER OR NOT THE LINES ARE LOCATED ON THE PROPERTY. FAILURE TO COMPLY MAY CAUSE CONSTRUCTION DELAYS AND/OR ADDITIONAL EXPENSES.
 SITE DRAINAGE: SHOW ON PLANS HOW CONCENTRATED DRAINAGE IS BEING CONVEYED TO THE STREET VIA NON-EROSIVE DEVICES.
 *PROVIDE RAIN GUTTERS AND CONVEY RAIN WATER TO THE STREET.

CONSULTANTS

PROJECT DATA

ZONE: RM 2500
 CONSTRUCTION TYPE: V-B FIRE SPRINKLERED NFPA 13D
 LOT SIZE: 59.2 X 223
 LOT AREA: 13,124 SF

SCOPE OF WORK

- DEMOLISH EXISTING SINGLE FAMILY DWELLING. BUILT 1951= 1535 SF
- DEMOLISH EXISTING GARAGE= 966 SF

Design
 Alberto Cisneros
 custom residential design
 5318 E. Wardlow Rd., Long Beach, California 90805
 Phone (562) 254-3009 E-mail: cisneros53@hotmail.com

Owner Name:
 PROSPECT QUALITY LLC

1005 E. LAS TUNAS DR. #155
 SAN GABRIEL CA. 91776

Project Title:
 3 FAMILY DWELLING
 TWO STORY

Address Project:
 518 E. OLIVE AVE.
 MONROVIA CA. 91016

Revisions:

Number	Description	Date

Designed: Alberto Cisneros
 Drawn: Oscar Ivan Cisneros

Checked:
 Approved:

Date:
 FEB- 2019

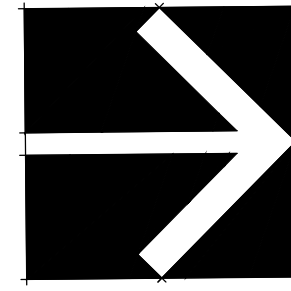
Submittal:

Scale:
 1/8" = 1'-0"

Sheet Title:
 DEMO SITE PLAN.

Sheet Number:

A-1

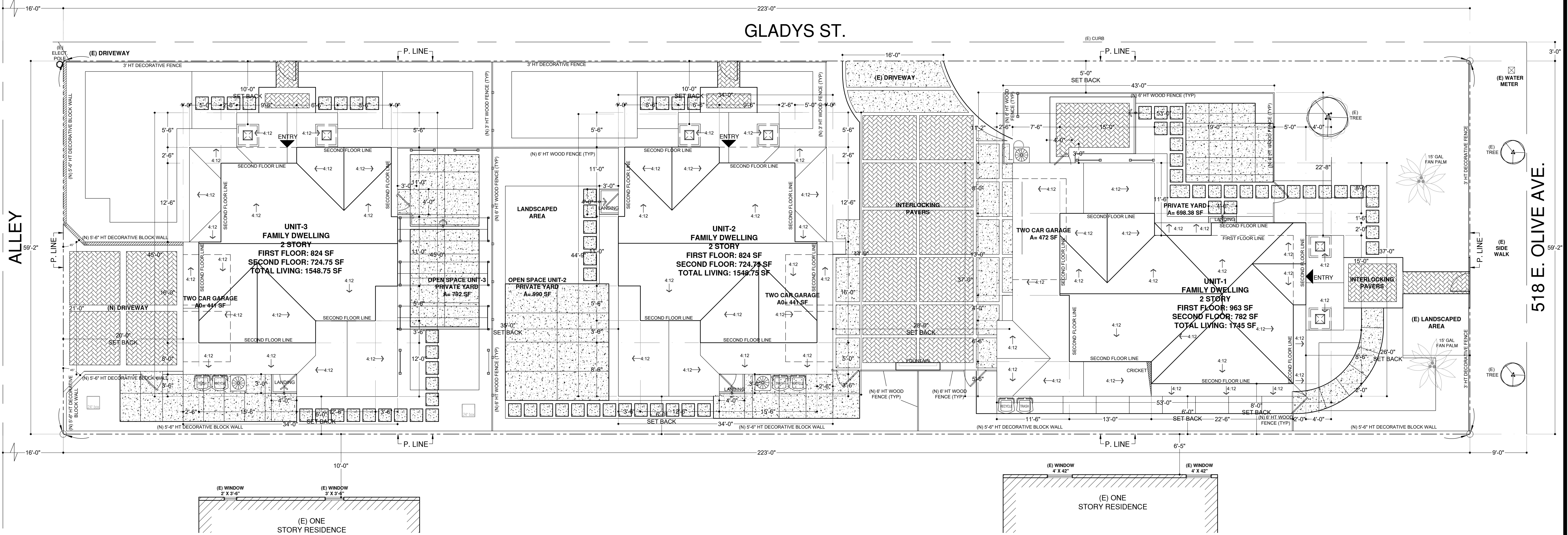


OPEN SPACE REQUIREMENT (40% MIN. OF LIVING AREA)		
BUILDING	REQUIRED	PROVIDED
1	1745 X 40% = 698 SF	698.38 SF
2	1548.75 X 40% = 619.5 SF	990 SF
3 (REVERSE)	1548.75 X 40% = 619.5 SF	792 SF

*NEW STRUCTURES SHALL BE FULLY FIRE SPRINKLERED PER NFPA 13D AND LOCAL AMENDMENTS.

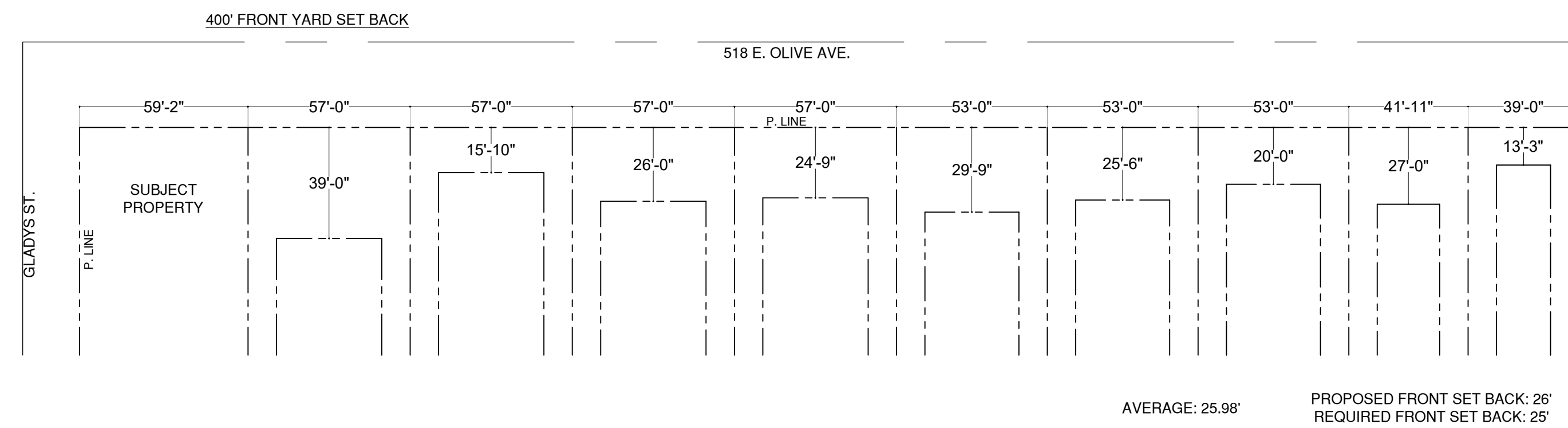
FLOOR AREA SUMMARY					
BUILDING TYPE	1ST FLOOR (SF)	2ND FLOOR (SF)	LIVING (SF)	GARAGE (SF)	PORCH (SF)
1	963	782	1745	472	83
2	824	724.75	1548.75	441	88
3 (REVERSE)	824	724.75	1548.75	441	88
TOTAL			4842.5	1354	259

DENSITY: 13124/2500= 5.2 UNIT
 PARKING: 2-CAR GARAGE/UNIT
 DWELLING UNIT F.A.R. (MAX 40%): 4842.5/13124= 36.89 (36.89% < 40%)
 ACCESSORY BLDG. F.A.R. (MAX 20%): 1354/13124= 0.103% (0.103% < 20%)
 LOT COVERAGE: 963 + 824 + 824 + 1354 + 259= 4224 < 5249.6 (40%)

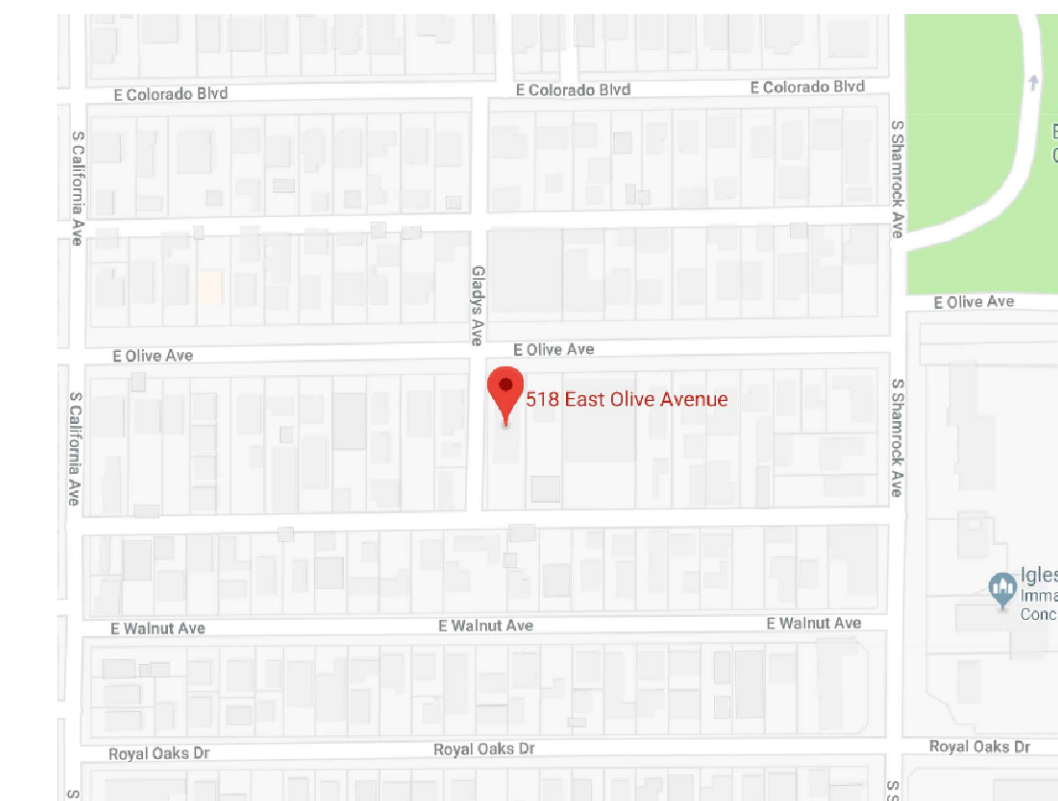


SITE PLAN

SCALE 1/8" = 1'-0"



VICINITY MAP



Owner Name:
PROSPECT QUALITY LLC

1005 E. LAS TUNAS DR. #155
SAN GABRIEL CA. 91776

Project Title:
3 FAMILY DWELLING
TWO STORY

Address Project:
518 E. OLIVE AVE.
MONROVIA CA. 91016

Revisions:

Number	Description	Date

 Designed: Alberto Cisneros
 Drawn: Oscar Ivan Cisneros
 Checked:
 Approved:

Date:
FEB - 2019

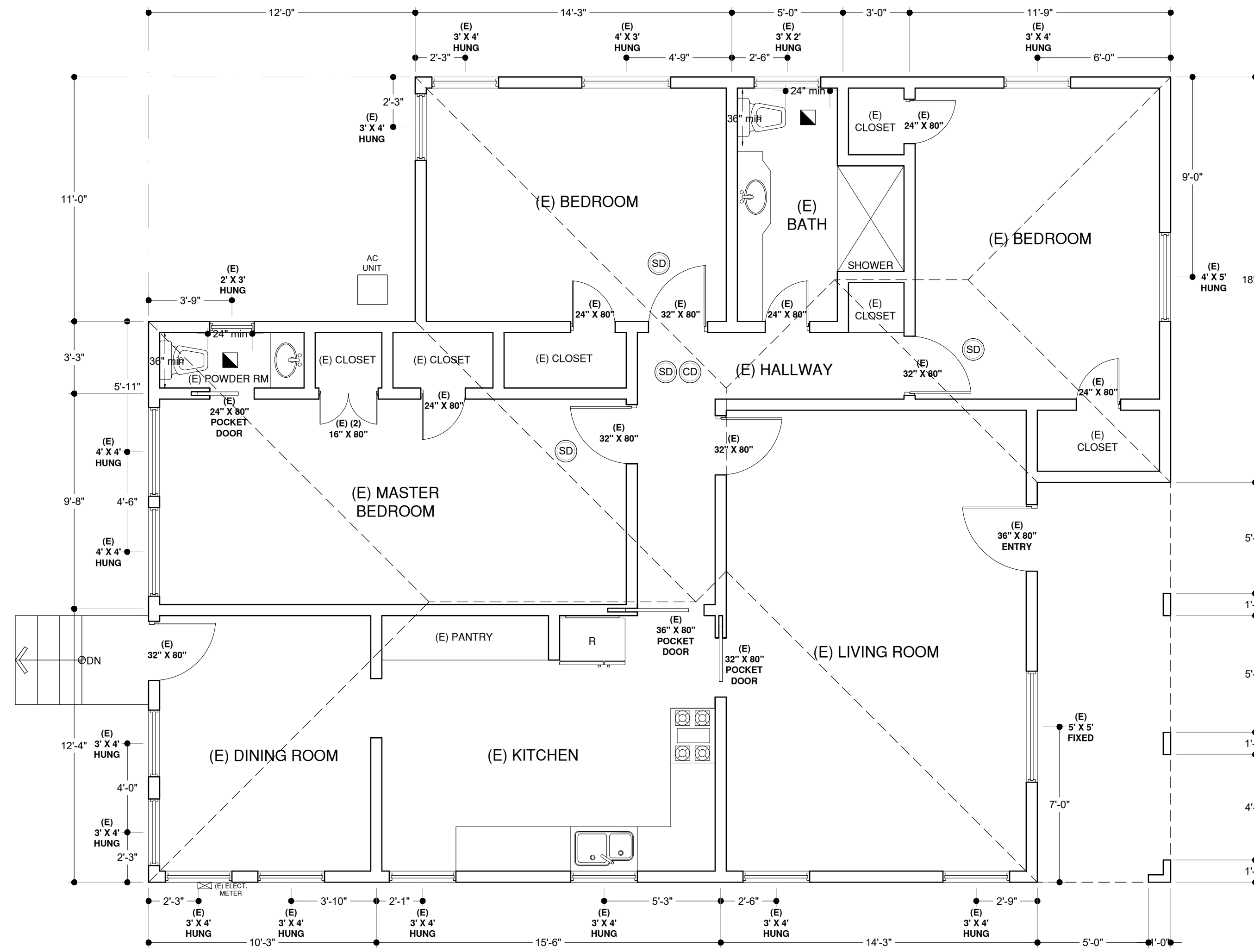
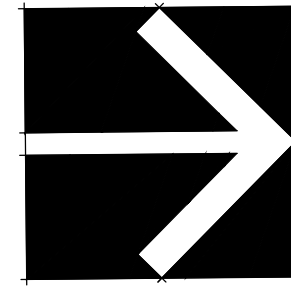
Submittal:

Scale:
1/8" = 1'-0"

Sheet Title:
SITE PLAN.

Sheet Number:

A-2



(E) FLOOR PLAN
SCALE 1/4" = 1'-0"

Owner Name:
 PROSPECT QUALITY LLC

1005 E. LAS TUNAS DR. #155
 SAN GABRIEL CA. 91776

Project Title:
 3 FAMILY DWELLING
 TWO STORY

Address Project:
 518 E. OLIVE AVE.
 MONROVIA CA. 91016

Revisions:

Number	Description	Date

Designed: Alberto Cisneros
 Drawn: Oscar Ivan Cisneros
 Checked:
 Approved:

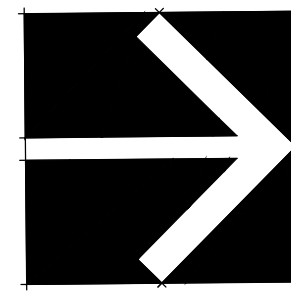
Date:
 FEB - 2019

Submittal:

Scale:
 1/4" = 1'-0"

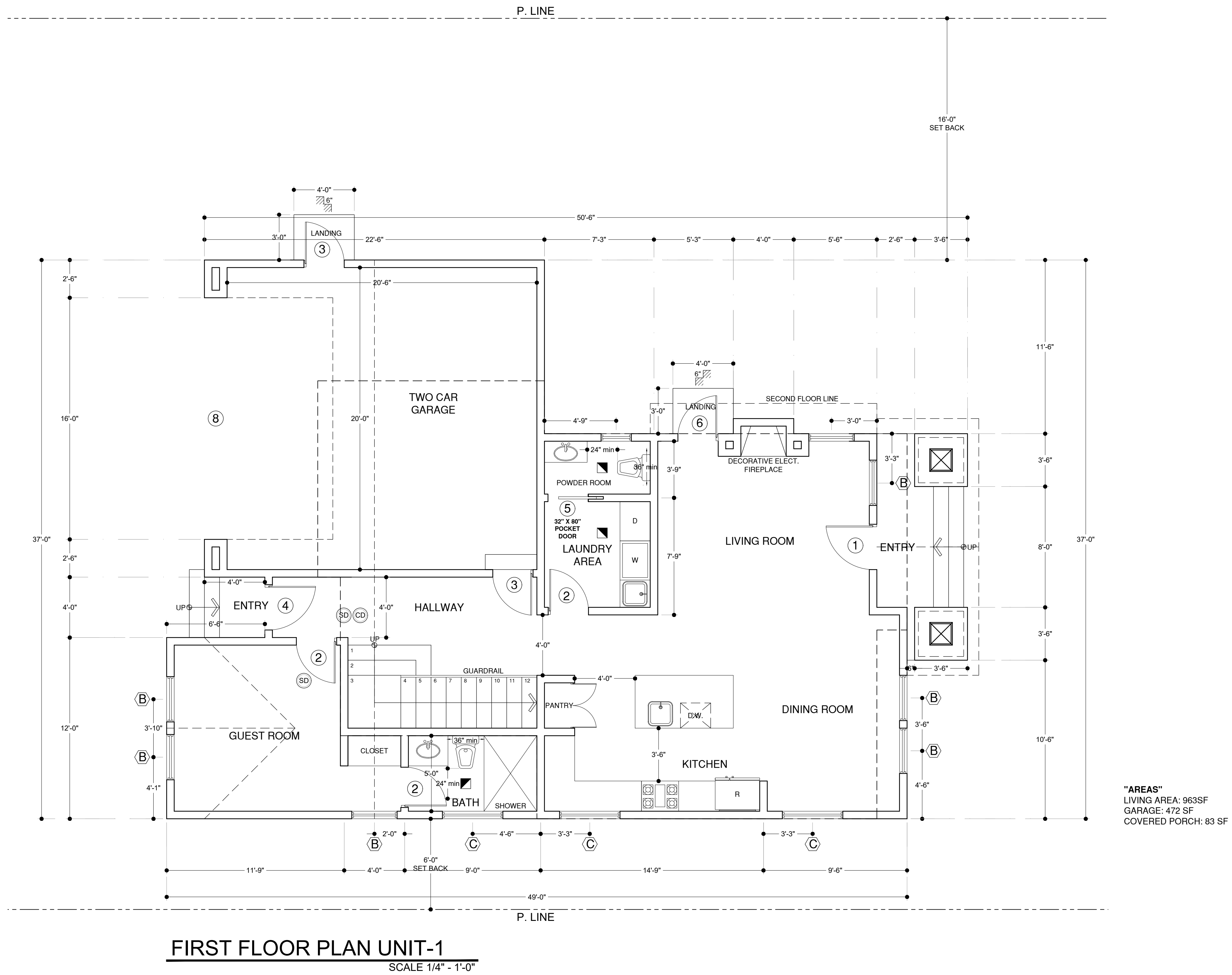
Sheet Title:
 (E) FLOOR PLAN.

Sheet Number:



PLAN KEY NOTES:

- 1 ONE-HOUR PROTECTION REQUIRED. PROVIDE 5/8" TYPE "X" GYPSUM BD. ON ALL GARAGE WALLS, CEILING, POSTS AND BEAMS SUPPORTING DWELLING AND SHALL EXTEND FROM TOP OF CONCRETE TO, AND INCLUDE GARAGE CEILING. PROVIDE SELF-CLOSING DEVICE ON 20 MIN. DOOR (SEE DOOR SCHEDULE).
- 2 ONE-HOUR GARAGE ACCESS DOOR - SELF CLOSING
- 3 GARAGE DOOR OPENER PUSH BUTTON SHALL BE PRE-WIRED BEFORE GYPSUM BOARD IS INSTALLED.
- 4 PROVIDE STATE FIRE MARSHALL APPROVED SMOKE/ CARBONMONOXIDE ALARMS (DETECTORS).
- 5 EXHAUST OR REMOTE FAN: SWITCHED TO LIGHT, 50 CFM MIN. SHALL BE ENERGY STAR COMPLIANT; VENT TO OUTSIDE AIR- SEE SPECIFICATIONS ON REFLECTED CEILING PLAN. FOR BASEMENT EACH UNIT WILL BE CONTROLLED BY HUMIDISTAT SWITCH
- 6 WATER HEATER: PROVIDE 18" HIGH WOOD FRAMED PLATFORM WITH "SMITTY PAN" WITH DRAIN TO EXTERIOR LOCATION TO BE APPROVED BY ARCHITECT. SEE T24 FOR WATER HEATER TYPE
- 7 WASHER- PROVIDE RECESSED HOT AND COLD WATER AND DRAIN STANDPIPE. PROVIDE SELF PRIMING FLOOR DRAIN UNDER WASHER.
- 8 DRYER: PROVIDE WEATHER HOOD VENT WITH DAMPER TO OUTSIDE AIR. DUCT TO BE 4" FOR 14' LENGTH MAX WITH (2) ELBOWS. PROVIDE BLOWER IF REQUIRED
- 9 HANGING ROD AND SHELVES, SEE INTERIOR ELEVATIONS
- 10 BUILT-IN CABINET -- SEE INTERIOR ELEVATIONS AND CABINET DETAILS
- 11 PROVIDE TEMPERED GLASS AT SHOWER ENCLOSURE
- 12 PROVIDE ACCESS (12" SQ) MINIMUM FOR BATHTUB SLIP JOINT CONNECTION
- 13 WALL NICHE -- SEE INTERIOR ELEVATIONS FOR FRAMING CONDITION
- 14 MEDICINE CABINET; SEE INTERIOR ELEVATIONS
- 15 SOAP NICHE; SEE INTERIOR ELEVATIONS
- 16 FLUSH OR RAISED HEARTH 20" DEEP (MINIMUM) WITH 12" (MINIMUM) FROM SIDES OF FIREBOX; SEE INTERIOR ELEVATION FOR HEIGHTS
- 17 HANDRAIL @ 36" A.F.F.; SEE INTERIOR/ EXTERIOR ELEVATION AND DETAILS FOR TYPE
- 18 GUARDRAIL 42" A.F.F.; SEE INTERIOR OR EXTERIOR ELEVATION AND DETAILS FOR TYPE
- 19 20" x 30" ROOF ACCESS
- 20 FIRE RATED 12X24 DORMER ROOF VENT; MODEL # DV2041 FROM "BRANDGUARD VENTS". SEE ROOF PLAN FOR CALC.
- 21 EXCELEVATOR FROM "WAUPACA"- 54"X40" CODE 3 BC
- 22 PLASTER COAT AT INTERIOR GARAGE WALLS; FINAL FINISH T.B.D.
- 23 STUCCO COAT AT EXTERIOR DRIVEWAY WALLS; FINAL FINISH T.B.D.
- 24 PROVIDE ONE-HOUR AT ALL WALLS AND CEILING UNDER STAIRS
- 25 LINE OF EXHAUST HOOD ABOVE; VENT TO OUTSIDE W/ EXHAUST FANS VERIFY VENTING REQUIREMENTS WITH MANUFACTURER
- 26 ALL HOUSE WATER FILTER
- 27 HVAC UNIT
- 28 LOCATION OF DOWNSPOUTS ABOVE; PENETRATE & WATERPROOF THROUGH CONC. DECK AND GARAGE WALL WHERE OCCURS. CONNECT TO DOWNSPOUT DRAIN SYSTEM
- 29 CONNECT BASEMENT FLOOR DRAINS TO SEWER EJECTOR
- 30 2'-0" x 2'-0" PIT WITH METAL GRATE COVER OVER SUMP PUMP. SEE CIVIL PLANS
- 31 "ISOKERN" IBV SERIES PREFAB GAS ONLY FIREPLACE, INSTALL PER MANUFACTURER SPECS. PROVIDE FUEL GAS LOOSE KEY VALVE. UL# 127 SHALL BE DIRECT VENT, CLOSED COMBUSTION PER GREEN CODE SEC. 9503.1
- 32 BASEMENT LIGHT WELL W/ DRAIN
- 33 PERMANENTLY AFFIXED LADDER, 12" MIN WIDTH, 3" MIN OFF WALL, STEPS 18" O.C. MAX.
- 34 PROVIDE ONE 208/240V 40 AMP, GROUNDED AC OUTLET FOR FUTURE ELECTRIC VEHICLE CHARGING STATION
- 35 STONE DECKING OVER MORTAR WITH WATER PROOFING MEMBRANE
- 36 FLINTLASC GTA COOLSTAR ROOF SYSTEM BY "CERTAINTEED"; INSTALL PER MANUF. SPEC.



"AREAS"
LIVING AREA: 963SF
GARAGE: 472 SF
COVERED PORCH: 83 SF

Owner Name:
PROSPECT QUALITY LLC

1005 E. LAS TUNAS DR. #155
SAN GABRIEL CA. 91776

Project Title:
**3 FAMILY DWELLING
TWO STORY**

Address Project:

518 E. OLIVE AVE.
MONROVIA CA. 91016

Revisions:

Number	Description	Date

Designed: Alberto Cisneros
 Drawn: Oscar Ivan Cisneros
 Checked:
 Approved:

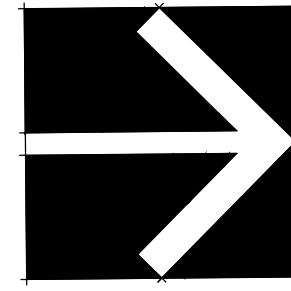
Date:
FEB - 2019

Submittal:

Scale:
1/4" = 1'-0"

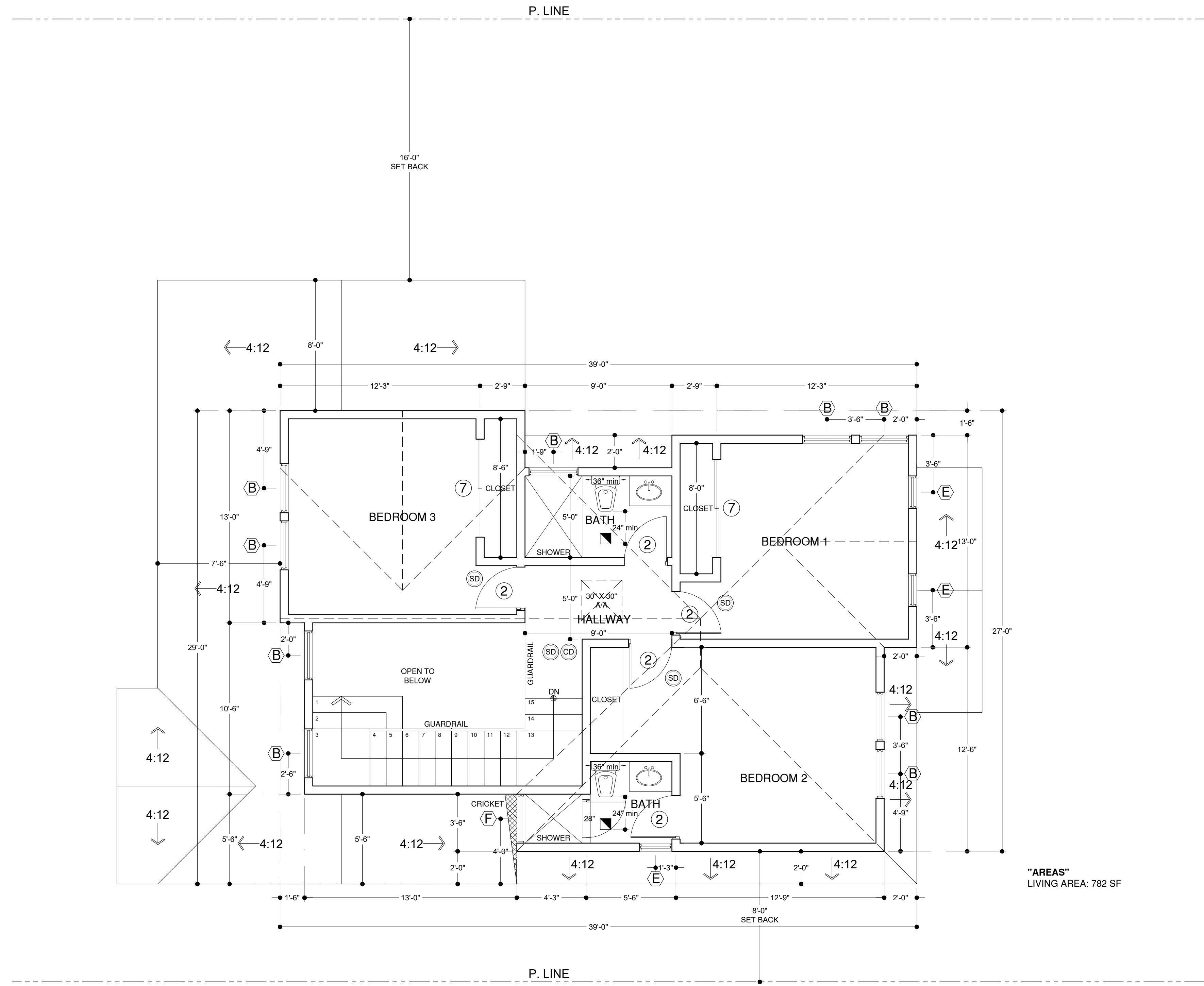
Sheet Title:
FIRST FLOOR PLAN
UNIT-1.

Sheet Number:



PLAN KEY NOTES:

- 1 ONE-HOUR PROTECTION REQUIRED- PROVIDE 5/8" TYPE "X" GYPSUM BD. ON ALL GARAGE WALLS, CEILING, POSTS AND BEAMS SUPPORTING DWELLING AND SHALL EXTEND FROM TOP OF CONCRETE TO, AND INCLUDE GARAGE CEILING. PROVIDE SELF-CLOSING DEVICE ON 20 MIN. DOOR (SEE DOOR SCHEDULE).
- 2 ONE-HOUR GARAGE ACCESS DOOR - SELF CLOSING
- 3 GARAGE DOOR OPENER PUSH BUTTON SHALL BE PRE-WIRED BEFORE GYPSUM BOARD IS INSTALLED.
- 4 PROVIDE STATE FIRE MARSHALL APPROVED SMOKE/ CARBONMONOXIDE ALARMS (DETECTORS).
- 5 EXHAUST OR REMOTE FAN: SWITCHED TO LIGHT, 50 CFM MIN. SHALL BE ENERGY STAR COMPLIANT; VENT TO OUTSIDE AIR- SEE SPECIFICATIONS ON REFLECTED CEILING PLAN. FOR BASEMENT EACH UNIT WILL BE CONTROLLED BY HUMIDISTAT SWITCH
- 6 WATER HEATER: PROVIDE 18" HIGH WOOD FRAMED PLATFORM WITH "SMITTY PAN" WITH DRAIN TO EXTERIOR LOCATION TO BE APPROVED BY ARCHITECT. SEE T24 FOR WATER HEATER TYPE
- 7 WASHER- PROVIDE RECESSED HOT AND COLD WATER AND DRAIN STANDPIPE. PROVIDE SELF PRIMING FLOOR DRAIN UNDER WASHER.
- 8 DRYER: PROVIDE WEATHER HOOD VENT WITH DAMPER TO OUTSIDE AIR. DUCT TO BE 4" FOR 14' LENGTH MAX WITH (2) ELBOWS. PROVIDE BLOWER IF REQUIRED
- 9 HANGING ROD AND SHELVES. SEE INTERIOR ELEVATIONS
- 10 BUILT-IN CABINET -- SEE INTERIOR ELEVATIONS AND CABINET DETAILS
- 11 PROVIDE TEMPERED GLASS AT SHOWER ENCLOSURE
- 12 PROVIDE ACCESS (12" SQ) MINIMUM FOR BATHTUB SLIP JOINT CONNECTION
- 13 WALL NICHE -- SEE INTERIOR ELEVATIONS FOR FRAMING CONDITION
- 14 MEDICINE CABINET; SEE INTERIOR ELEVATIONS
- 15 SOAP NICHE; SEE INTERIOR ELEVATIONS
- 16 FLUSH OR RAISED HEARTH 20" DEEP (MINIMUM) WITH 12" (MINIMUM) FROM SIDES OF FIREBOX; SEE INTERIOR ELEVATION FOR HEIGHTS
- 17 HANDRAIL @ 36" A.F.F.; SEE INTERIOR/ EXTERIOR ELEVATION AND DETAILS FOR TYPE
- 18 GUARDRAIL 42" A.F.F.; SEE INTERIOR OR EXTERIOR ELEVATION AND DETAILS FOR TYPE
- 19 20" x 30" ROOF ACCESS
- 20 FIRE RATED 12X24 DORMER ROOF VENT; MODEL # DV2041 FROM 'BRANDGUARD VENTS'. SEE ROOF PLAN FOR CALC.
- 21 EXCELELEVATOR FROM 'WAUPACA'- 54"x40" CODE 3 BC
- 22 PLASTER COAT AT INTERIOR GARAGE WALLS; FINAL FINISH T.B.D.
- 23 STUCCO COAT AT EXTERIOR DRIVEWAY WALLS; FINAL FINISH T.B.D.
- 24 PROVIDE ONE-HOUR AT ALL WALLS AND CEILING UNDER STAIRS
- 25 LINE OF EXHAUST HOOD ABOVE; VENT TO OUTSIDE W/ EXHAUST FANS VERIFY VENTING REQUIREMENTS WITH MANUFACTURER
- 26 ALL HOUSE WATER FILTER
- 27 HVAC UNIT
- 28 LOCATION OF DOWNSPOUTS ABOVE; PENETRATE & WATERPROOF THROUGH CONC. DECK AND GARAGE WALL WHERE OCCURS. CONNECT TO DOWNSPOUT DRAIN SYSTEM
- 29 CONNECT BASEMENT FLOOR DRAINS TO SEWER EJECTOR
- 30 2'-0" x 2'-0" PIT WITH METAL GRATE COVER OVER SUMP PUMP, SEE CIVIL PLANS
- 31 'ISOKERN' IBV SERIES PREFAB GAS ONLY FIREPLACE, INSTALL PER MANUFACTURER SPECS. PROVIDE FUEL GAS LOOSE KEY VALVE. UL# 127 SHALL BE DIRECT VENT, CLOSED COMBUSTION PER GREEN CODE SEC. 9503.1
- 32 BASEMENT LIGHT WELL W/ DRAIN
- 33 PERMANENTLY AFFIXED LADDER, 12" MIN WIDTH, 3" MIN OFF WALL, STEPS 18" O.C. MAX.
- 34 PROVIDE ONE 208/240V 40 AMP, GROUNDED AC OUTLET FOR FUTURE ELECTRIC VEHICLE CHARGING STATION
- 35 STONE DECKING OVER MORTAR WITH WATER PROOFING MEMBRANE
- 36 FLINTLASTIC GTA COOLSTAR ROOF SYSTEM BY 'CERTANTEED'; INSTALL PER MANUF. SPEC.



SECOND FLOOR PLAN UNIT-1
SCALE 1/4" = 1'-0"

Owner Name:
PROSPECT QUALITY LLC

1005 E. LAS TUNAS DR. #155
SAN GABRIEL CA. 91776

Project Title:
3 FAMILY DWELLING
TWO STORY

Address Project:
518 E. OLIVE AVE.
MONROVIA CA. 91016

Revisions:

Number	Description	Date

Designed: Alberto Cisneros
Drawn: Oscar Ivan Cisneros
Checked:
Approved:

Date:
FEB - 2019

Submittal:

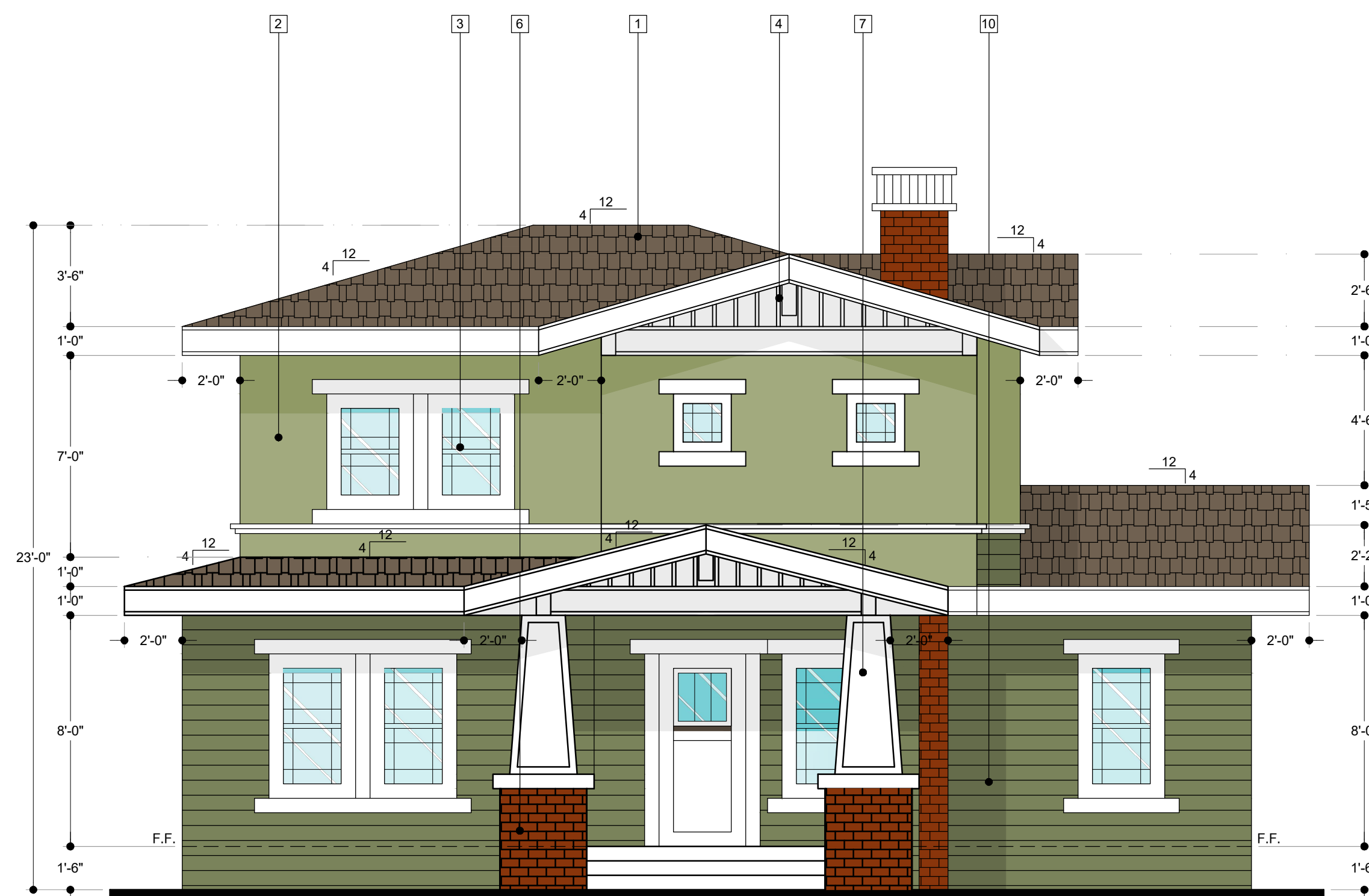
Scale:
1/4" = 1'-0"

Sheet Title:
SECOND FLOOR
PLAN UNIT-1.

Sheet Number:

MATERIAL LEGEND

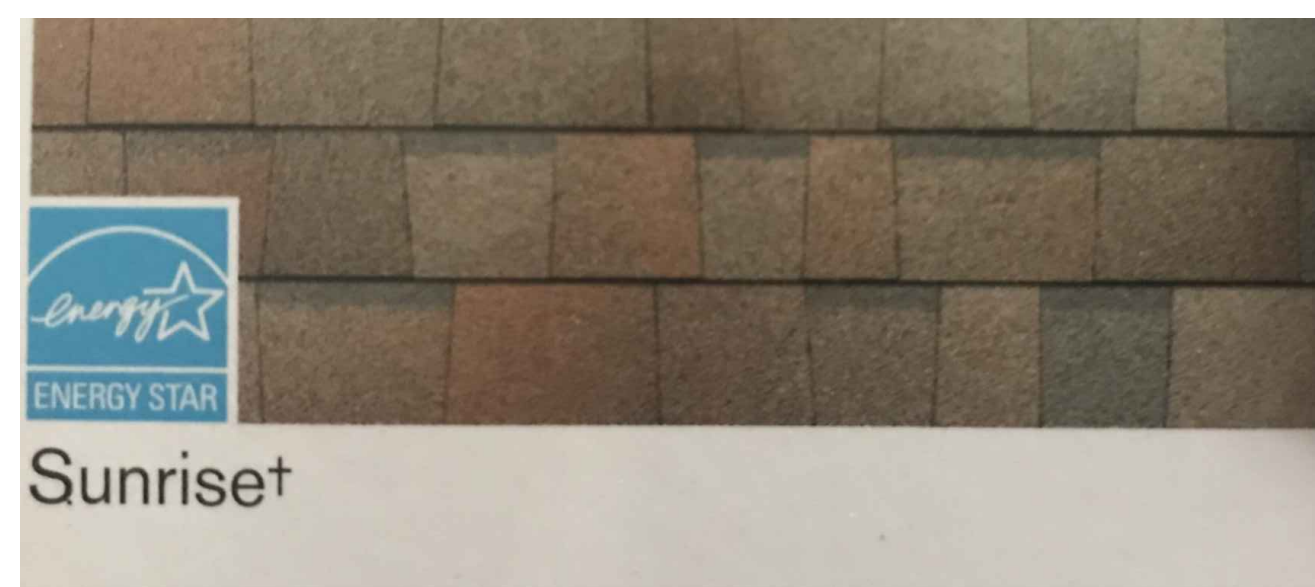
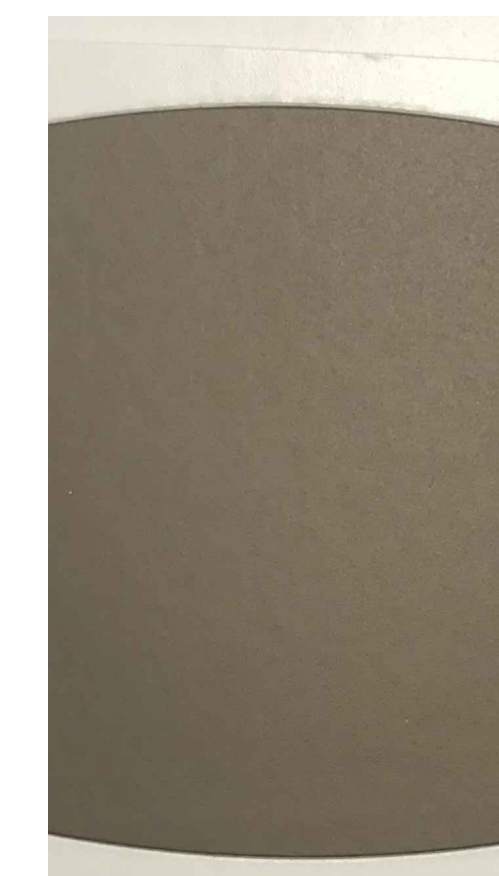
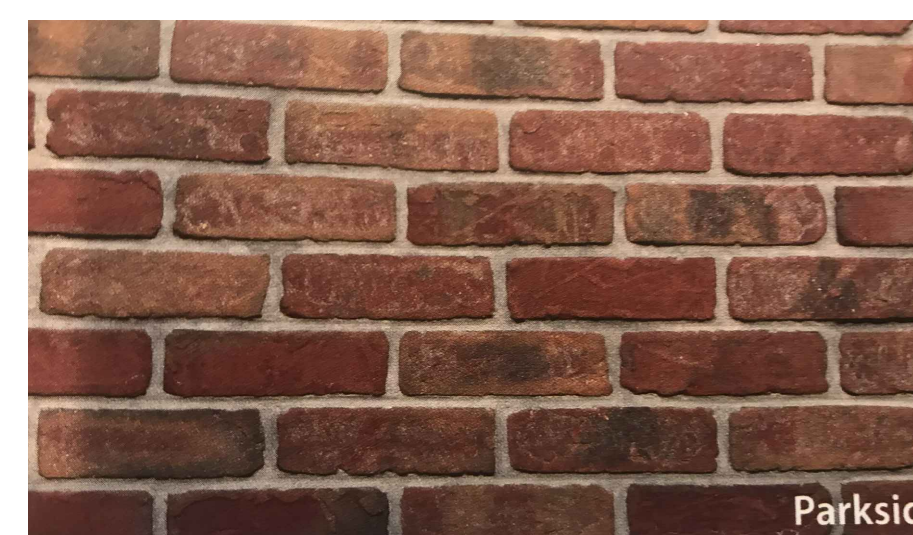
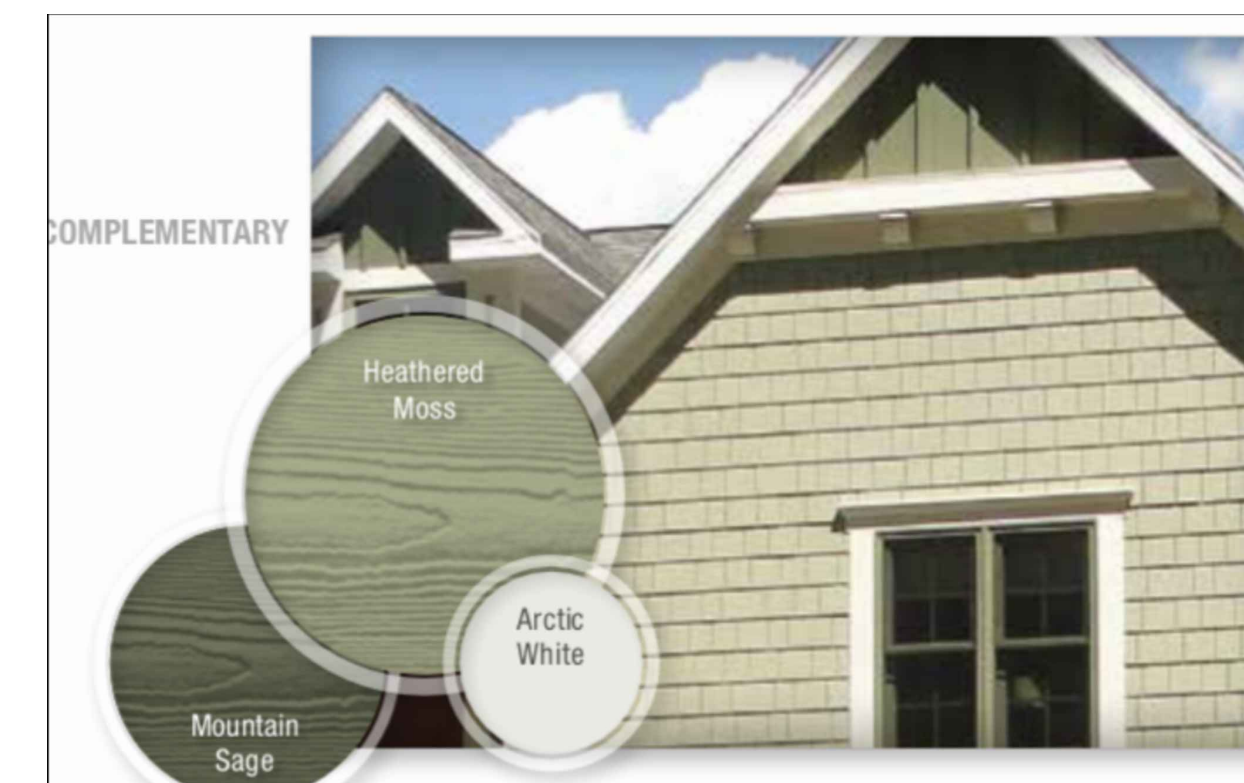
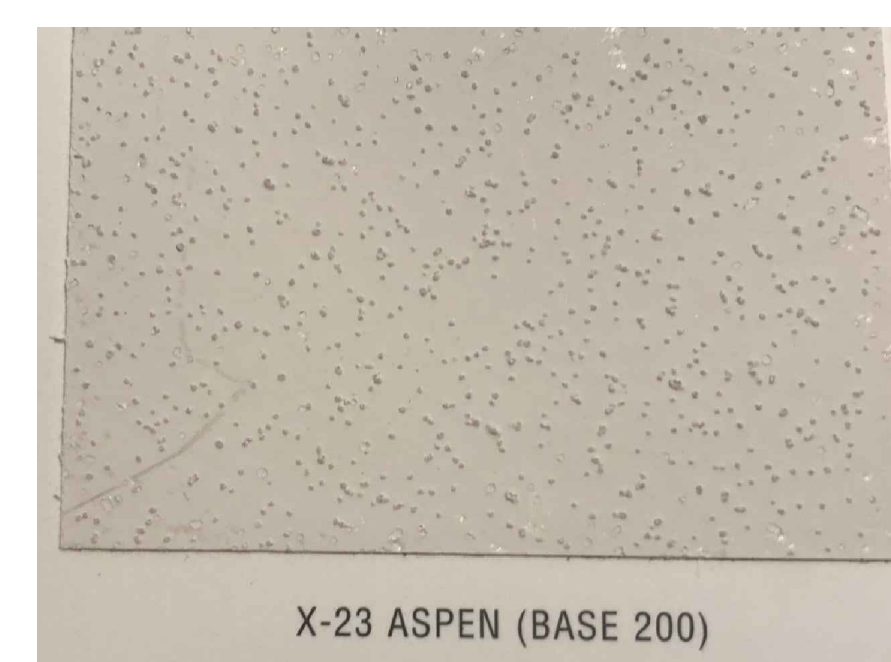
- 1 COOL ROOF (OWENS CORNING) 1#15 FELT CLASS "A" COLOR: SUNRISE
- 2 LA HABRA 7/8" STUCCO W/2 LAYERS OF GRADE "1" SAND FINISH COLOR: TIMBER BARK (BENJAMIN MOORE)
- 3 SINGLE HUNG WINDOW WHITE
- 4 HARDIE SHINGLE 7 IN STAGGERED EDGE PANEL IRON GRAY
- 5 HARDIE PLANK (CEDARMILL) 7.25 IN COLOR: MONTEREY TAUPE
- 6 CLAY BRICK SANDMOLE SERIES "PARKSIDE" BY MC. NEAR
- 7 LA HABRA 7/8" STUCCO W/2 LAYERS OF GRADE "1" COLOR WHITE FINISH SMOOTH



NORTH ELEVATION UNIT-1
SCALE 1/4" = 1'-0"



WEST ELEVATION UNIT-2
SCALE 1/4" = 1'-0"



Owner Name:
PROSPECT QUALITY LLC

1005 E. LAS TUNAS DR. #155
SAN GABRIEL CA. 91776

Project Title:
3 FAMILY DWELLING
TWO STORY

Address Project:
518 E. OLIVE AVE.
MONROVIA CA. 91016

Revisions:
Number Description Date

Designed: Alberto Cisneros
Drawn: Oscar Ivan Cisneros
Checked:
Approved:

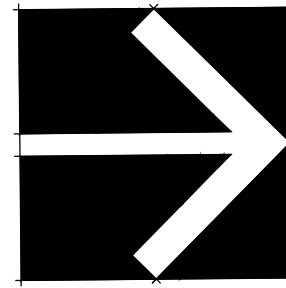
Date:
FEB - 2019

Submittal:

Scale:
1/4" = 1'-0"

Sheet Title:
COLOR NORTH
ELEVATION UNIT-1
COLOR WEST
ELEVATION UNIT-2

Sheet Number:



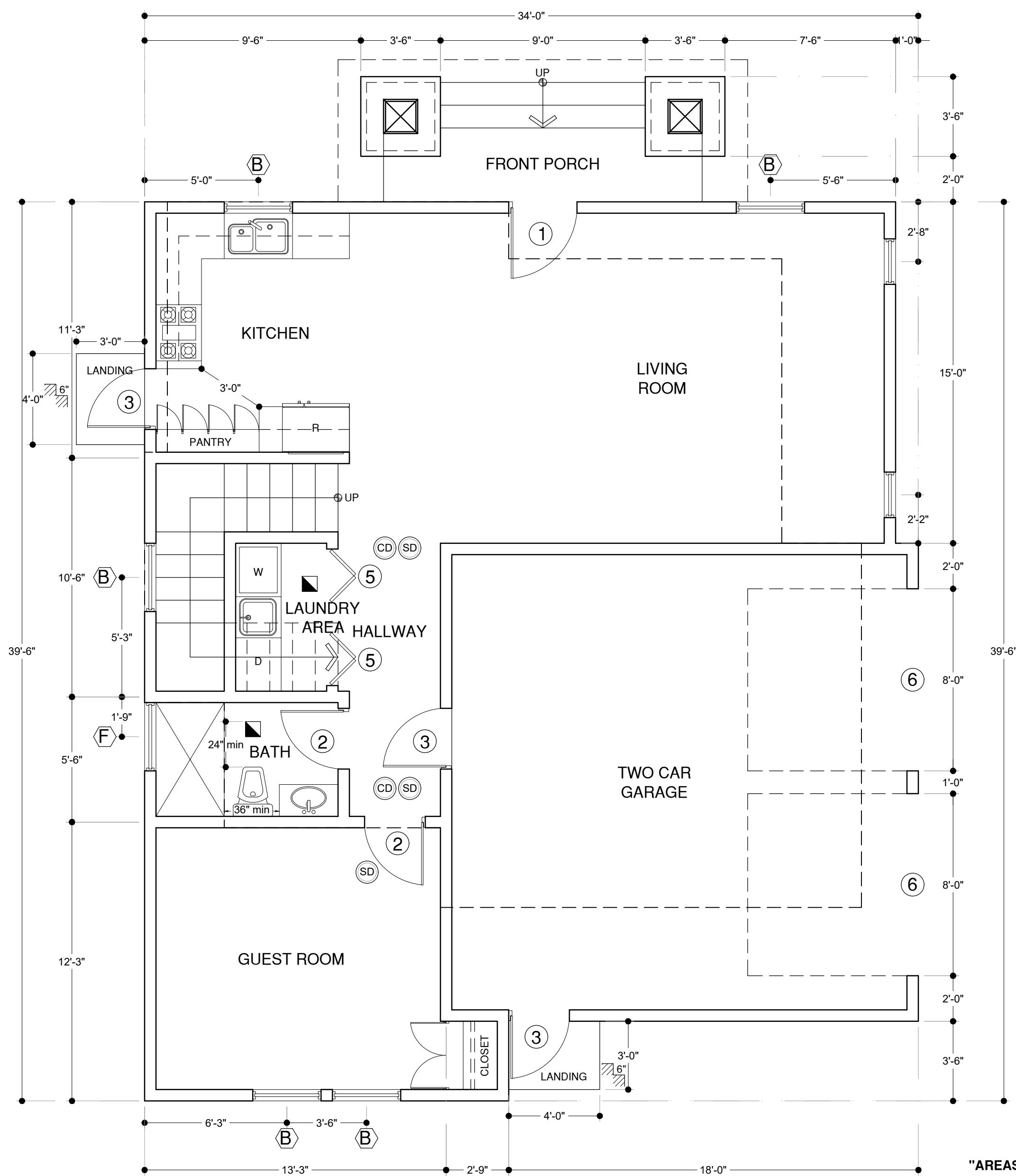
PLAN KEY NOTES:

- 1 ONE-HOUR PROTECTION REQUIRED: PROVIDE 5/8" TYPE "X" GYPSUM BD. ON ALL GARAGE WALLS, CEILING, POSTS AND BEAMS SUPPORTING DWELLING AND SHALL EXTEND FROM TOP OF CONCRETE TO, AND INCLUDE GARAGE CEILING. PROVIDE SELF-CLOSING DEVICE ON 20 MIN. DOOR (SEE DOOR SCHEDULE).
- 2 ONE-HOUR GARAGE ACCESS DOOR - SELF CLOSING
- 3 GARAGE DOOR OPENER PUSH BUTTON SHALL BE PRE-WIRED BEFORE GYPSUM BOARD IS INSTALLED.
- 4 PROVIDE STATE FIRE MARSHALL APPROVED SMOKE/ CARBONMONOXIDE ALARMS (DETECTORS).
- 5 EXHAUST OR REMOTE FAN: SWITCHED TO LIGHT, 50 CFM MIN. SHALL BE ENERGY STAR COMPLIANT; VENT TO OUTSIDE AIR- SEE SPECIFICATIONS ON REFLECTED CEILING PLAN. FOR BASEMENT EACH UNIT WILL BE CONTROLLED BY HUMIDISTAT SWITCH
- 6 WATER HEATER: PROVIDE 18" HIGH WOOD FRAMED PLATFORM WITH "SMITTY PAN" WITH DRAIN TO EXTERIOR LOCATION TO BE APPROVED BY ARCHITECT. SEE T24 FOR WATER HEATER TYPE
- 7 WASHER- PROVIDE RECESSED HOT AND COLD WATER AND DRAIN STANDPIPE. PROVIDE SELF PRIMING FLOOR DRAIN UNDER WASHER.
- 8 DRYER: PROVIDE WEATHER HOOD VENT WITH DAMPER TO OUTSIDE AIR. DUCT TO BE 4" FOR 14' LENGTH MAX WITH (2) ELBOWS. PROVIDE BLOWER IF REQUIRED

- 9 HANGING ROD AND SHELVES. SEE INTERIOR ELEVATIONS
- 10 BUILT-IN CABINET -- SEE INTERIOR ELEVATIONS AND CABINET DETAILS
- 11 PROVIDE TEMPERED GLASS AT SHOWER ENCLOSURE
- 12 PROVIDE ACCESS (12" SQ) MINIMUM FOR BATHTUB SLIP JOINT CONNECTION
- 13 WALL NICHE -- SEE INTERIOR ELEVATIONS FOR FRAMING CONDITION
- 14 MEDICINE CABINET; SEE INTERIOR ELEVATIONS
- 15 SOAP NICHE; SEE INTERIOR ELEVATIONS
- 16 FLUSH OR RAISED HEARTH 20" DEEP (MINIMUM) WITH 12" (MINIMUM) FROM SIDES OF FIREBOX; SEE INTERIOR ELEVATION FOR HEIGHTS
- 17 HANDRAIL @ 36" A.F.F. ; SEE INTERIOR/ EXTERIOR ELEVATION AND DETAILS FOR TYPE
- 18 GUARDRAIL 42" A.F.F.; SEE INTERIOR OR EXTERIOR ELEVATION AND DETAILS FOR TYPE
- 19 20" x 30" ROOF ACCESS

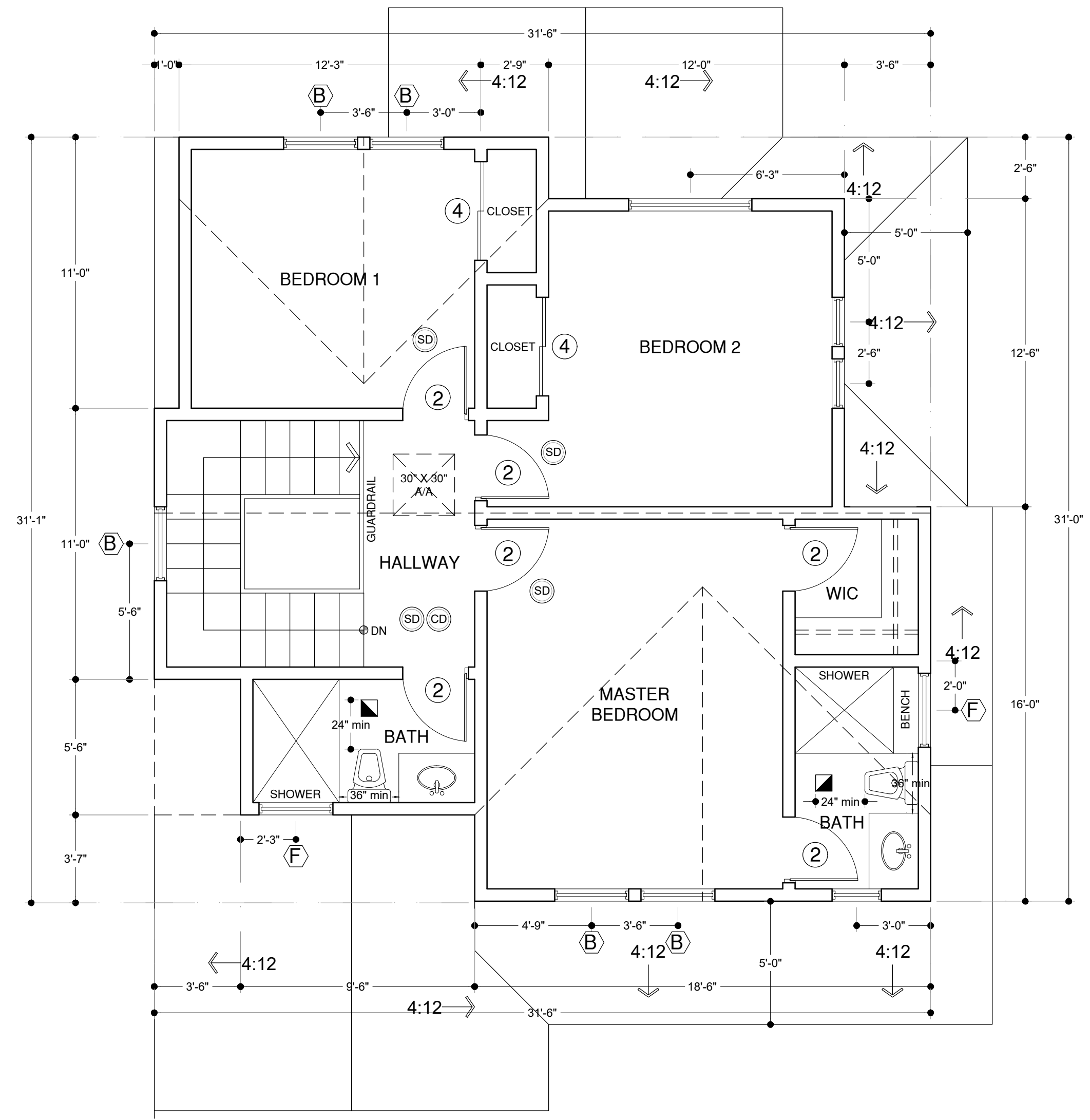
- 20 FIRE RATED 12X24 DORMER ROOF VENT; MODEL # DV2041 FROM 'BRANDGUARD VENTS'. SEE ROOF PLAN FOR CALC.
- 21 EXCELEVATOR FROM 'WAUPACA'- 54"x40" CODE 3 BC
- 22 PLASTER COAT AT INTERIOR GARAGE WALLS; FINAL FINISH T.B.D.
- 23 STUCCO COAT AT EXTERIOR DRIVEWAY WALLS; FINAL FINISH T.B.D.
- 24 PROVIDE ONE-HOUR AT ALL WALLS AND CEILING UNDER STAIRS
- 25 LINE OF EXHAUST HOOD ABOVE; VENT TO OUTSIDE W/ EXHAUST FANS VERIFY VENTING REQUIREMENTS WITH MANUFACTURER
- 26 ALL HOUSE WATER FILTER
- 27 HVAC UNIT
- 28 LOCATION OF DOWNSPOUTS ABOVE; PENETRATE & WATERPROOF THROUGH CONC. DECK AND GARAGE WALL WHERE OCCURS. CONNECT TO DOWNSPOUT DRAIN SYSTEM
- 29 CONNECT BASEMENT FLOOR DRAINS TO SEWER EJECTOR
- 30 2'-0"x 2'-0" PIT WITH METAL GRATE COVER OVER SUMP PUMP. SEE CIVIL PLANS

- 31 'ISOKERN' IBV SERIES PREFAB GAS ONLY FIREPLACE. INSTALL PER MANUFACTURER SPECS. PROVIDE FUEL GAS LOOSE KEY VALVE. UL# 127 SHALL BE DIRECT VENT. CLOSED COMBUSTION PER GREEN CODE SEC. 9503.1
- 32 BASEMENT LIGHT WELL W/ DRAIN
- 33 PERMANENTLY AFFIXED LADDER, 12" MIN WIDTH, 3" MIN OFF WALL, STEPS 18" O.C. MAX.
- 34 PROVIDE ONE 208/240V 40 AMP, GROUNDED AC OUTLET FOR FUTURE ELECTRIC VEHICLE CHARGING STATION
- 35 STONE DECKING OVER MORTAR WITH WATER PROOFING MEMBRANE
- 36 FLINTLASTIC GTA COOLSTAR ROOF SYSTEM BY 'CERTAINTED'; INSTALL PER MANUF. SPEC.



FIRST FLOOR PLAN UNIT-2
SCALE 1/4" = 1'-0"

"AREAS"
LIVING AREA: 824 SF
GARAGE: 441 SF
FRONT PORCH: 88 SF



SECOND FLOOR PLAN UNIT-2
SCALE 1/4" = 1'-0"

"AREAS"
LIVING AREA: 724.75 SF

Owner Name:
PROSPECT QUALITY LLC

1005 E. LAS TUNAS DR. #155
SAN GABRIEL CA. 91776

Project Title:
3 FAMILY DWELLING
TWO STORY

Address Project:
518 E. OLIVE AVE.
MONROVIA CA. 91016

Revisions:

Number	Description	Date

Designed: Alberto Cisneros
 Drawn: Oscar Ivan Cisneros
 Checked:
 Approved:

Date:
FEB - 2019

Submittal:

Scale:
1/4" = 1'-0"

Sheet Title:
FIRST & SECOND
FLOOR PLAN
UNIT-2.

Sheet Number:

Owner Name:
PROSPECT QUALITY LLC

1005 E. LAS TUNAS DR. #155
 SAN GABRIEL CA. 91776

Project Title:
**3 FAMILY DWELLING
 TWO STORY**

Address Project:
 518 E. OLIVE AVE.
 MONROVIA CA. 91016

Revisions:

Number	Description	Date

Designed: Alberto Cisneros
 Drawn: Oscar Ivan Cisneros
 Checked:
 Approved:

Date:
 FEB - 2019

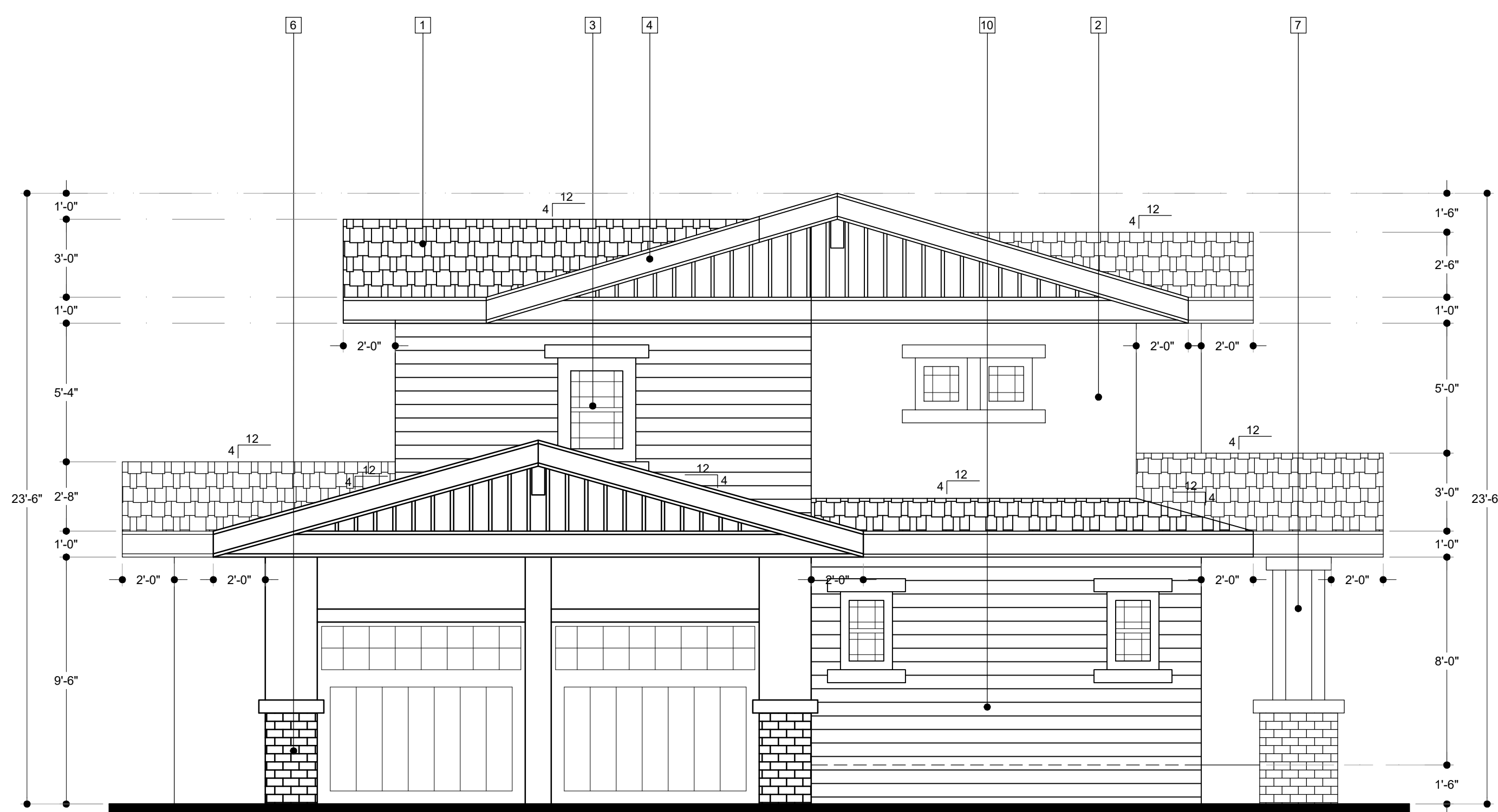
Submittal:

Scale:
 1/4" = 1'-0"

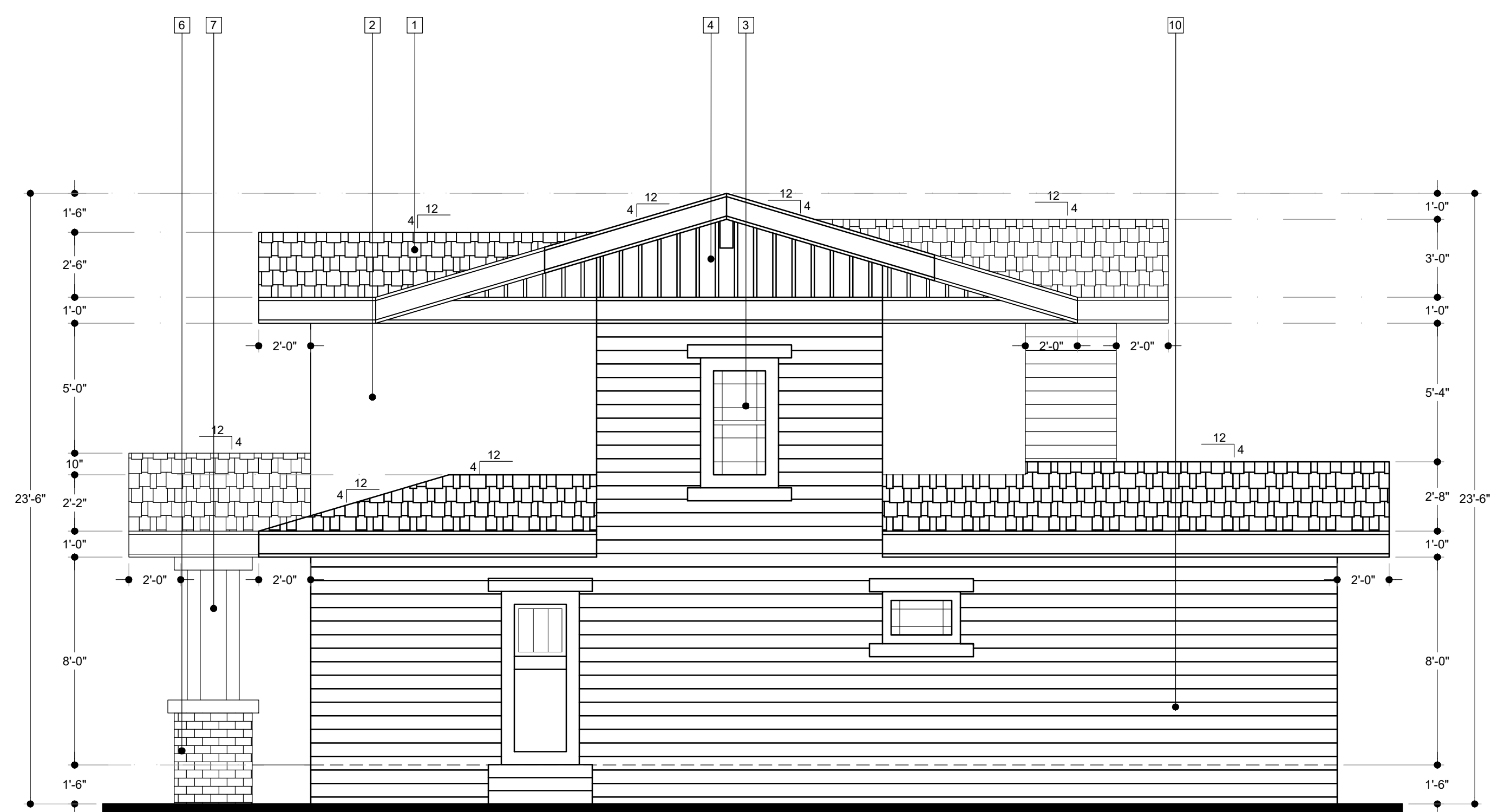
Sheet Title:
 ELEVATIONS
 UNIT-2.

Sheet Number:

A-9



NORTH ELEVATION UNIT-2
 SCALE 1/4" = 1'-0"



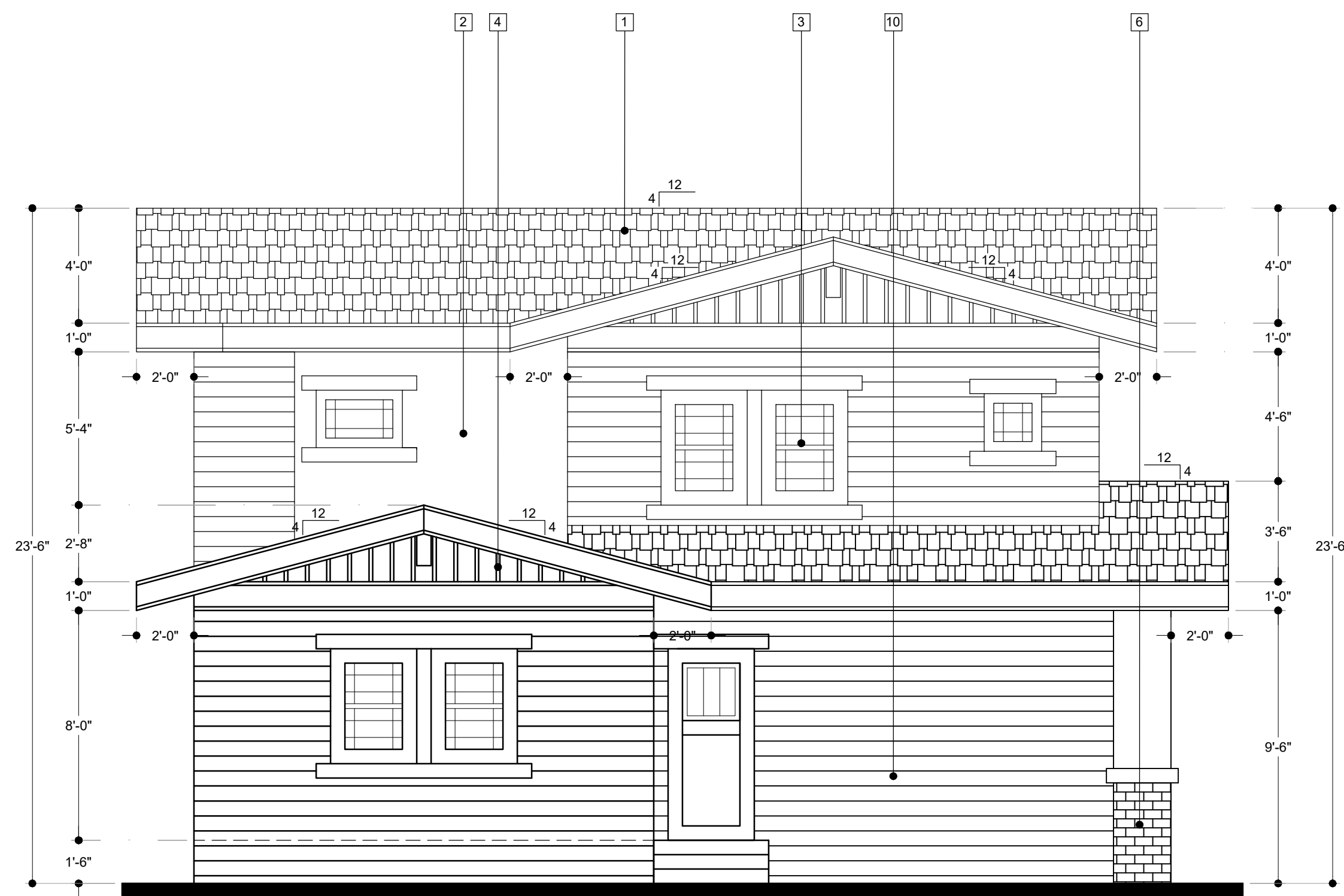
SOUTH ELEVATION UNIT-2
 SCALE 1/4" = 1'-0"

MATERIAL LEGEND

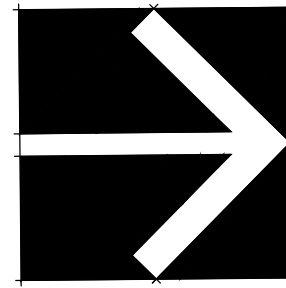
- | | |
|--|--|
| 1 COOL ROOF (OWENS CORNING) #15 FELT CLASS "A" COLOR: SUNRISE | 6 CLAY BRICK SANDMOLE SERIES "PARKSIDE" BY MC. NEAR |
| 2 LA HABRA 7/8" STUCCO W/2 LAYERS OF GRADE "D" SAND FINISH COLOR: TIMBER BARK (BENJAMIN MOORE) | 7 LA HABRA 7/8" STUCCO W/2 LAYERS OF GRADE "D" COLOR WHITE FINISH SMOOTH |
| 3 SINGLE HUNG WINDOW WHITE | |
| 4 HARDIE SHINGLE 7 IN STAGGERED EDGE PANEL IRON GRAY | |
| 5 HARDIE PLANK (CEDARMILL) 7.25 IN. COLOR: MONTEREY TAUPE | |



WEST ELEVATION UNIT-2
 SCALE 1/4" = 1'-0"

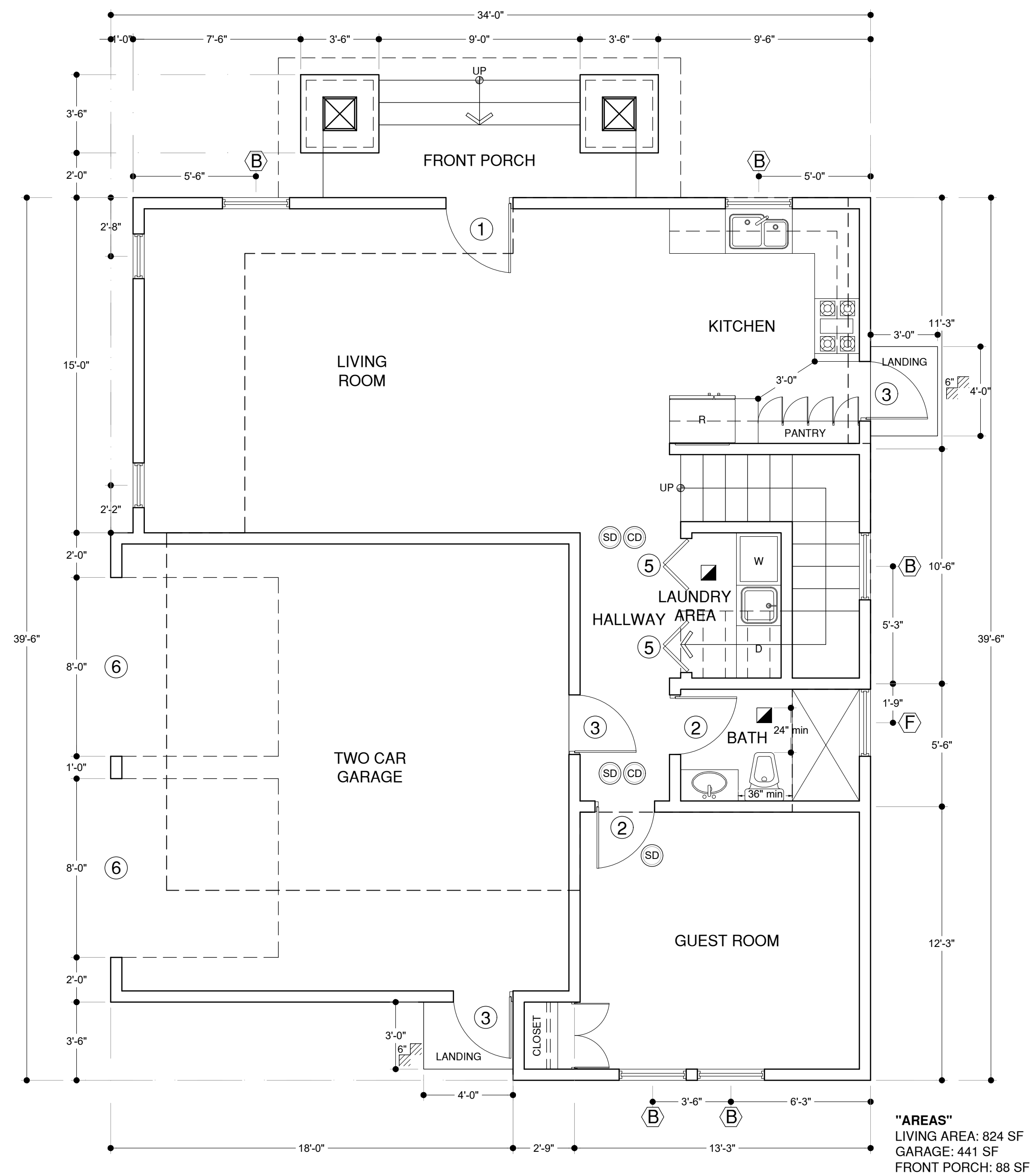


EAST ELEVATION UNIT-2
 SCALE 1/4" = 1'-0"



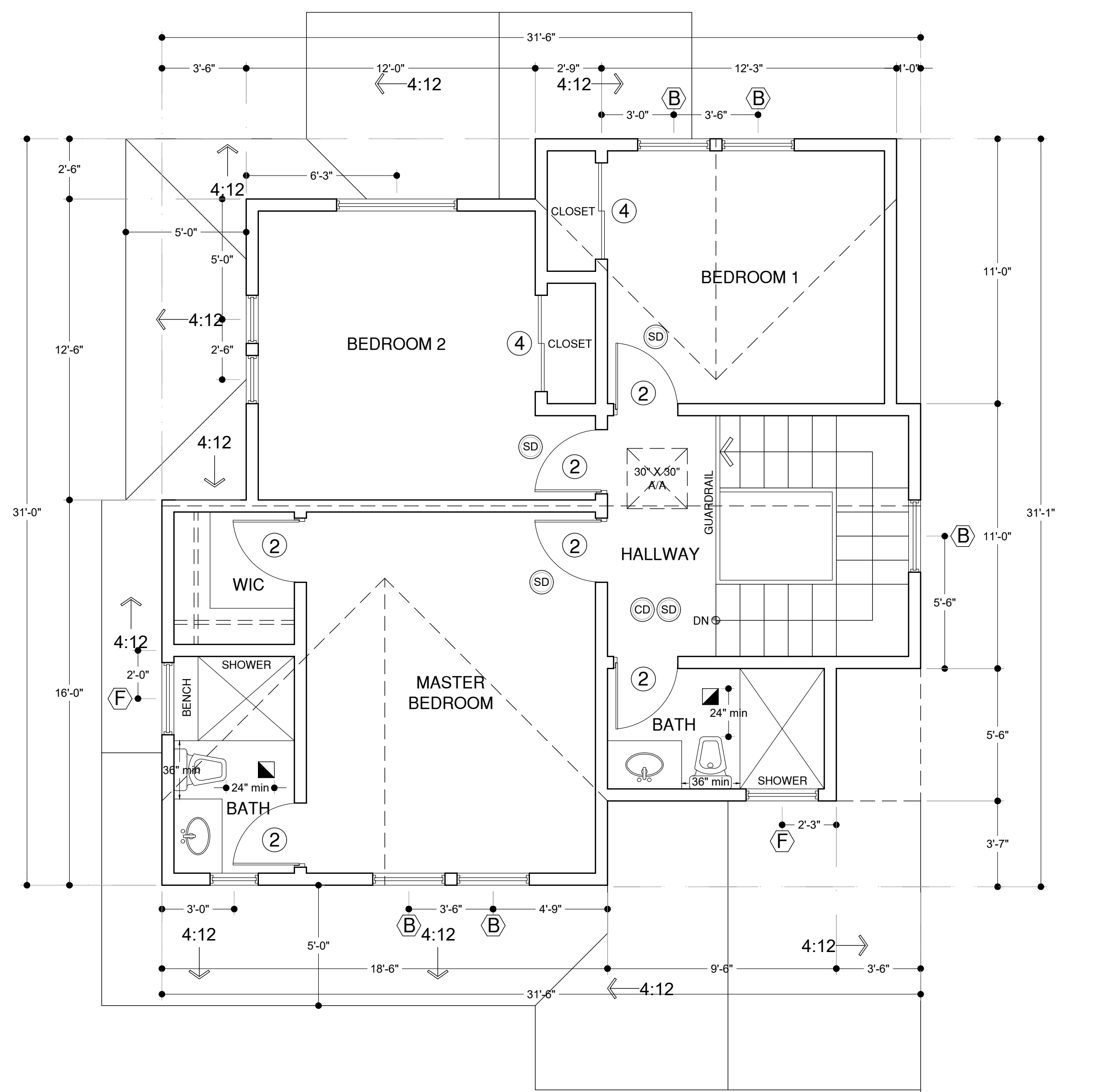
PLAN KEY NOTES:

- 1 ONE-HOUR PROTECTION REQUIRED; PROVIDE 5/8" TYPE "X" GYPSUM BD. ON ALL GARAGE WALLS, CEILING, POSTS AND BEAMS SUPPORTING DWELLING AND SHALL EXTEND FROM TOP OF CONCRETE TO, AND INCLUDE GARAGE CEILING. PROVIDE SELF-CLOSING DEVICE ON 20 MIN. DOOR (SEE DOOR SCHEDULE).
- 2 ONE-HOUR GARAGE ACCESS DOOR - SELF CLOSING
- 3 GARAGE DOOR OPENER PUSH BUTTON SHALL BE PRE-WIRED BEFORE GYPSUM BOARD IS INSTALLED.
- 4 PROVIDE STATE FIRE MARSHALL APPROVED SMOKE/ CARBONMONOXIDE ALARMS (DETECTORS).
- 5 EXHAUST OR REMOTE FAN: SWITCHED TO LIGHT, 50 CFM MIN. SHALL BE ENERGY STAR COMPLIANT; VENT TO OUTSIDE AIR- SEE SPECIFICATIONS ON REFLECTED CEILING PLAN. FOR BASEMENT EACH UNIT WILL BE CONTROLLED BY HUMIDISTAT SWITCH
- 6 WATER HEATER: PROVIDE 18" HIGH WOOD FRAMED PLATFORM WITH "SMITTY PAN" WITH DRAIN TO EXTERIOR LOCATION TO BE APPROVED BY ARCHITECT. SEE T24 FOR WATER HEATER TYPE
- 7 WASHER- PROVIDE RECESSED HOT AND COLD WATER AND DRAIN STANDPIPE. PROVIDE SELF PRIMING FLOOR DRAIN UNDER WASHER.
- 8 DRYER- PROVIDE WEATHER HOOD VENT WITH DAMPER TO OUTSIDE AIR. DUCT TO BE 4" FOR 14" LENGTH MAX WITH (2) ELBOWS. PROVIDE BLOWER IF REQUIRED
- 9 HANGING ROD AND SHELVES, SEE INTERIOR ELEVATIONS
- 10 BUILT-IN CABINET -- SEE INTERIOR ELEVATIONS AND CABINET DETAILS
- 11 PROVIDE TEMPERED GLASS AT SHOWER ENCLOSURE
- 12 PROVIDE ACCESS (12" SQ) MINIMUM FOR BATHTUB SLIP JOINT CONNECTION
- 13 WALL NICHE -- SEE INTERIOR ELEVATIONS FOR FRAMING CONDITION
- 14 MEDICINE CABINET; SEE INTERIOR ELEVATIONS
- 15 SOAP NICHE: SEE INTERIOR ELEVATIONS
- 16 FLUSH OR RAISED HEARTH 20" DEEP (MINIMUM) WITH 12" (MINIMUM) FROM SIDES OF FIREBOX; SEE INTERIOR ELEVATION FOR HEIGHTS
- 17 HANDRAIL @ 36" A.F.F.; SEE INTERIOR/ EXTERIOR ELEVATION AND DETAILS FOR TYPE
- 18 GUARDRAIL 42" A.F.F.; SEE INTERIOR OR EXTERIOR ELEVATION AND DETAILS FOR TYPE
- 19 20" x 30" ROOF ACCESS
- 20 FIRE RATED 12X24 DORMER ROOF VENT; MODEL # DV2041 FROM 'BRANDGUARD VENTS'. SEE ROOF PLAN FOR CALC.
- 21 EXCELEVATOR FROM 'WAUPACA'- 54"X40" CODE 3 BC
- 22 PLASTER COAT AT INTERIOR GARAGE WALLS; FINAL FINISH T.B.D.
- 23 STUCCO COAT AT EXTERIOR DRIVEWAY WALLS; FINAL FINISH T.B.D.
- 24 PROVIDE ONE-HOUR AT ALL WALLS AND CEILING UNDER STAIRS
- 25 LINE OF EXHAUST HOOD ABOVE: VENT TO OUTSIDE W/ EXHAUST FANS VERIFY VENTING REQUIREMENTS WITH MANUFACTURER
- 26 ALL HOUSE WATER FILTER
- 27 HVAC UNIT
- 28 LOCATION OF DOWNSPOUTS ABOVE; PENETRATE & WATERPROOF THROUGH CONC. DECK AND GARAGE WALL WHERE OCCURS. CONNECT TO DOWNSPOUT DRAIN SYSTEM
- 29 CONNECT BASEMENT FLOOR DRAINS TO SEWER EJECTOR
- 30 2'-0"x 2'-0" PIT WITH METAL GRATE COVER OVER SUMP PUMP. SEE CIVIL PLANS
- 31 'ISOKERN' IBV SERIES PREFAB GAS ONLY FIREPLACE, INSTALL PER MANUFACTURER SPECS. PROVIDE FUEL GAS LOOSE KEY VALVE. UL# 127 SHALL BE DIRECT VENT, CLOSED COMBUSTION PER GREEN CODE SEC. 9503.1
- 32 BASEMENT LIGHT WELL W/ DRAIN
- 33 PERMANENTLY AFFIXED LADDER, 12" MIN WIDTH, 3" MIN OFF WALL, STEPS 18" O.C. MAX.
- 34 PROVIDE ONE 208/240V 40 AMP, GROUNDED AC OUTLET FOR FUTURE ELECTRIC VEHICLE CHARGING STATION
- 35 STONE DECKING OVER MORTAR WITH WATER PROOFING MEMBRANE
- 36 FLINTLASTIC GTA COOLSTAR ROOF SYSTEM BY 'CERTAINTEED'; INSTALL PER MANUF. SPEC.



FIRST FLOOR PLAN UNIT-3
SCALE 1/4" = 1'-0"

"AREAS"
LIVING AREA: 824 SF
GARAGE: 441 SF
FRONT PORCH: 88 SF



SECOND FLOOR PLAN UNIT-3
SCALE 1/4" = 1'-0"

"AREAS"
LIVING AREA: 724.75 SF



Owner Name:
PROSPECT QUALITY LLC

1005 E. LAS TUNAS DR. #155
SAN GABRIEL CA. 91776

Project Title:
3 FAMILY DWELLING
TWO STORY

Address Project:
518 E. OLIVE AVE.
MONROVIA CA. 91016

Revisions:

Number	Description	Date

Designed: Alberto Cisneros
Drawn: Oscar Ivan Cisneros
Checked:
Approved:

Date:
FEB - 2019

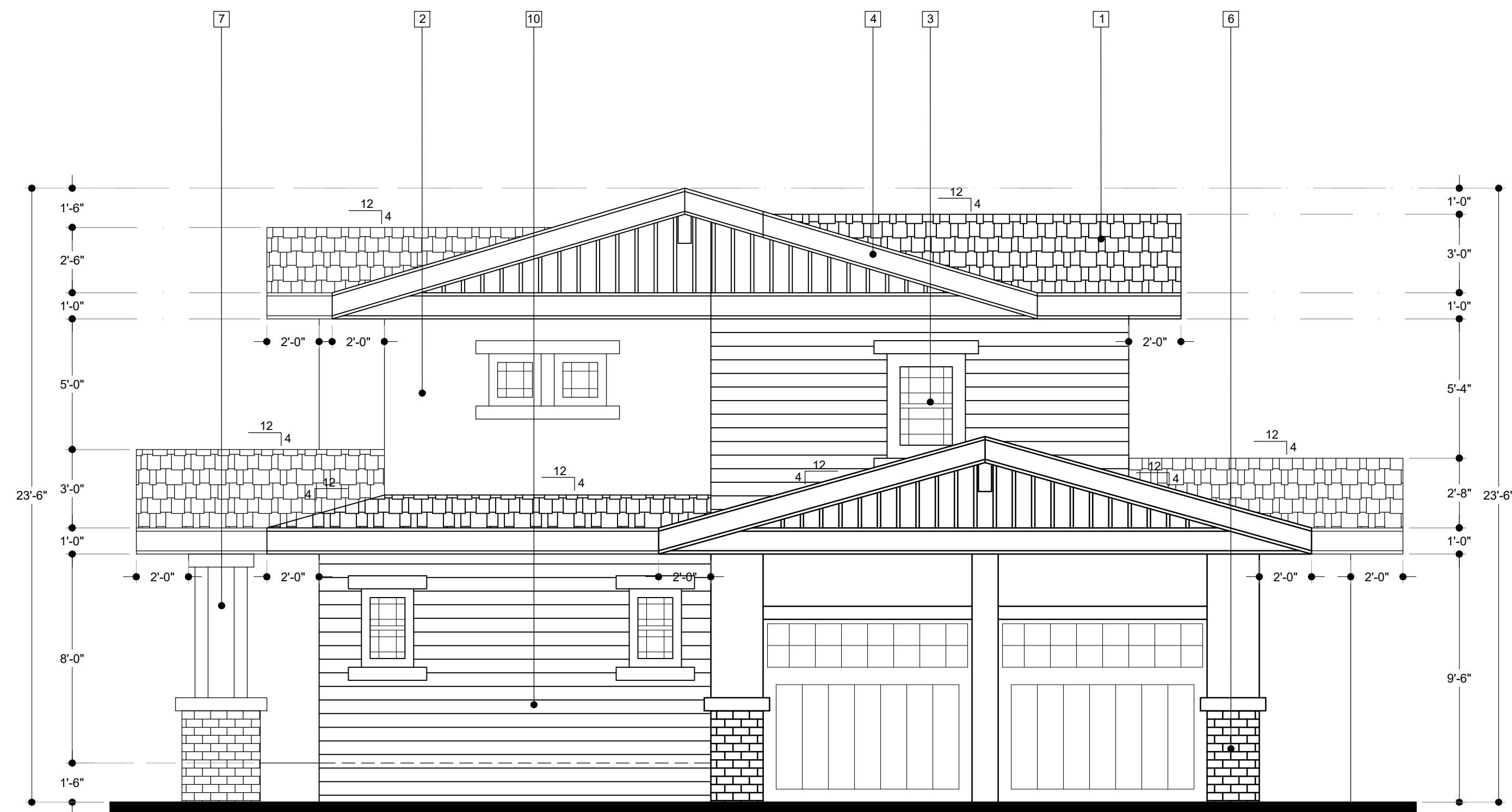
Submittal:

Scale:
1/4" = 1'-0"

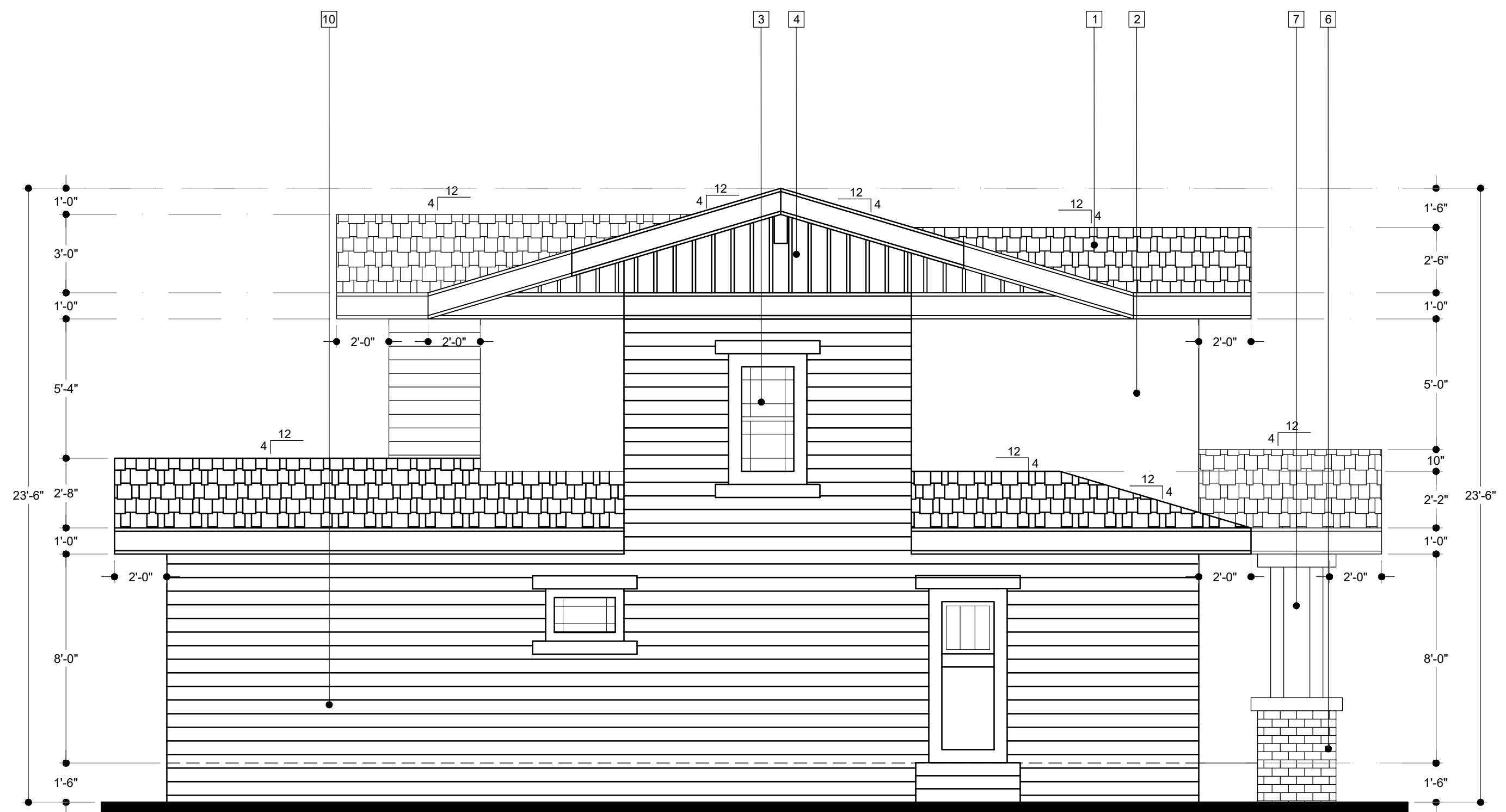
Sheet Title:
FIRST & SECOND
FLOOR PLAN
UNIT-3.

Sheet Number:

A-10



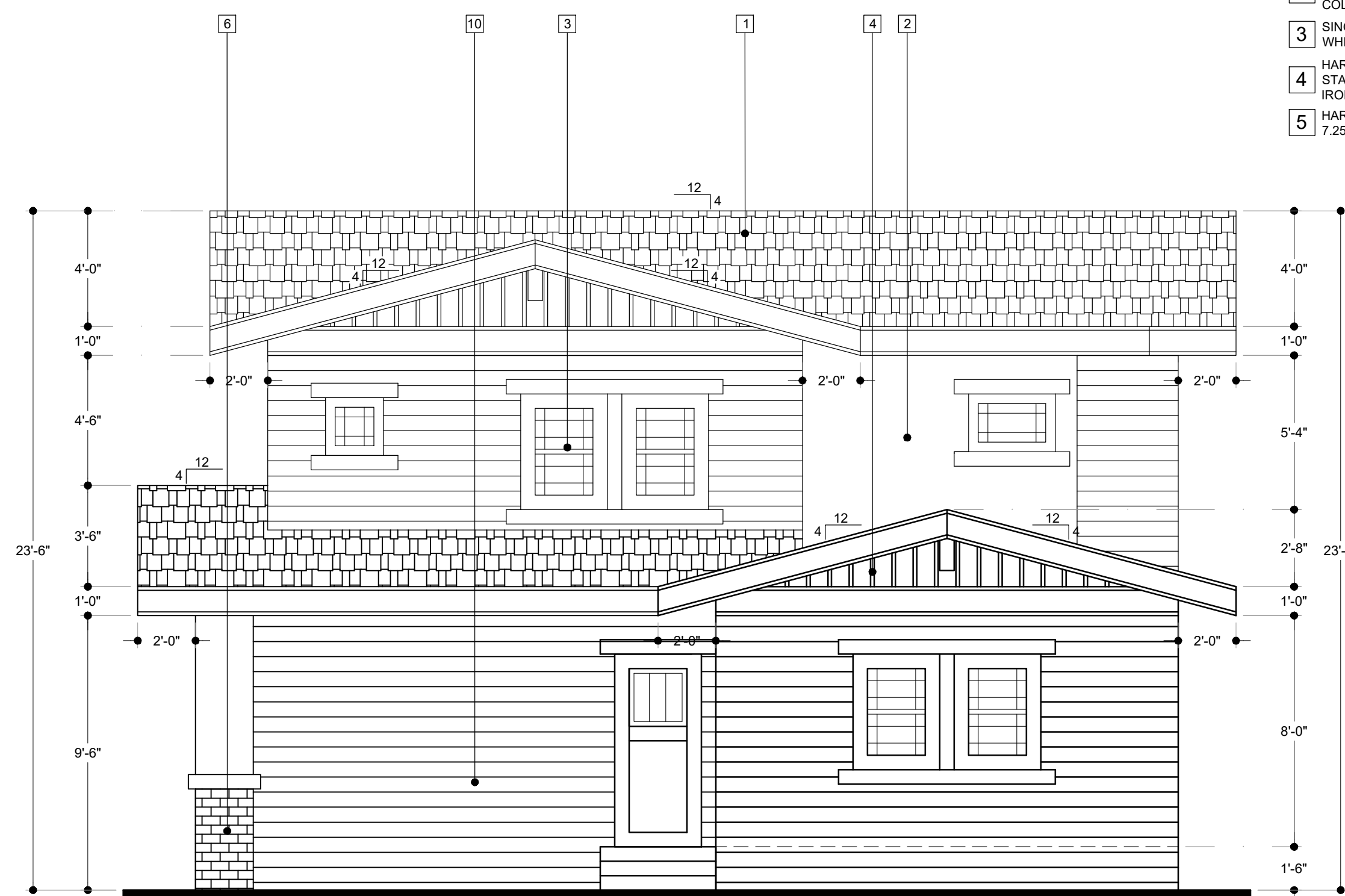
SOUTH ELEVATION UNIT-3
SCALE 1/4" = 1'-0"



NORTH ELEVATION UNIT-3
SCALE 1/4" = 1'-0"

MATERIAL LEGEND

- | | |
|--|--|
| 1 COOL ROOF (OWENS CORNING) 1#15 FELT CLASS "A" COLOR: SUNRISE | 6 CLAY BRICK SANDMOLE SERIES "PARKSIDE" BY MC. NEAR |
| 2 LA HABRA 7/8" STUCCO W/2 LAYERS OF GRADE "D" SAND FINISH COLOR: TIMBER BARK (BENJAMIN MOORE) | 7 LA HABRA 7/8" STUCCO W/2 LAYERS OF GRADE "D" COLOR: WHITE FINISH: SMOOTH |
| 3 SINGLE HUNG WINDOW WHITE | |
| 4 HARDIE SHINGLE 7 IN STAGGERED EDGE PANEL IRON GRAY | |
| 5 HARDIE PLANK (CEDARMILL) 7.25 IN COLOR: MONTEREY TAUPE | |



EAST ELEVATION UNIT-3
SCALE 1/4" = 1'-0"



WEST ELEVATION UNIT-3
SCALE 1/4" = 1'-0"

Owner Name:
PROSPECT QUALITY LLC

1005 E. LAS TUNAS DR. #155
SAN GABRIEL CA. 91776

Project Title:
3 FAMILY DWELLING
TWO STORY

Address Project:
518 E. OLIVE AVE.
MONROVIA CA. 91016

Revisions:

Number	Description	Date

Designed: Alberto Cisneros
Drawn: Oscar Ivan Cisneros
Checked:
Approved:

Date:
FEB - 2019

Submittal:

Scale:
1/4" = 1'-0"

Sheet Title:
ELEVATIONS
UNIT-3.

Sheet Number:

PROPOSED 3-UNITS

518 E. OLIVE AVE.
 MONROVIA, CA. 91016
 APN # 817-013-006

Design
 Alberto Cisneros
 custom residential design
 5318 E. Wardlow Rd., Long Beach, California 90805
 Phone (562) 254-3009 E-mail: cisneros53@hotmail.com



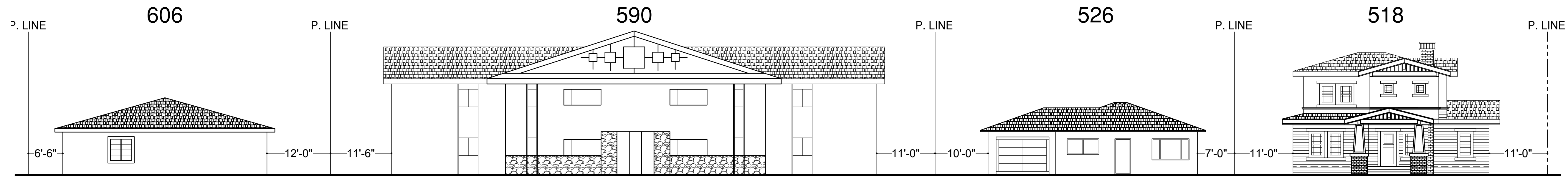
NORTH ELEVATION UNIT-1
 SCALE 3/16" - 1'-0"



WEST ELEVATION UNIT-2
 SCALE 3/16" - 1'-0"



WEST ELEVATION UNIT-3
 SCALE 3/16" - 1'-0"



STREET VIEW
 SCALE 3/32" - 1'-0"

SCOPE OF WORK

- DEMOLISH EXISTING SINGLE FAMILY DWELLING, BUILT 1951.
 - CONSTRUCT (3) TWO STORY SINGLE FAMILY DWELLINGS.
- ATTACHED 2 CAR GARAGE.
 TOTAL OF 4 BEDROOMS AND 3 1/2 BATHS (EACH).

PROJECT DATA

ZONE: RM 2500
 CONSTRUCTION TYPE: V-B FIRE
 SPRINKLERED NFPA 13D
 LOT SIZE: 59.2 X 223
 LOT AREA: 13,124 SF
 EXISTING DWELLING TO BE DEMO: 1535.5 SF
 DWELLING SIZE:
 UNIT 1 1877.5 SF
 1ST FLOOR: 952.75 SF
 2ND FLOOR: 924.75 SF
 UNIT-2 1614.25 SF
 1ST FLOOR: 807 SF
 2ND FLOOR: 807.25 SF
 UNIT-3 1614.25 SF
 1ST FLOOR: 807 SF
 2ND FLOOR: 807.25 SF

EXISTING STRUCTURES TO BE DEMOLISHED
 EXISTING RESIDENCE TO BE DEMO: 1535.5 SF
 GARAGE TO BE DEMO: 966 SF
 F.A.R. = 40% = 5106 = 38.9% < 40%
LOT COVERAGE: 40% (13124 X .40 = 5,249.6 SF)
 MAX DWELLING SIZE: 5106 < 5249.6
 BUILDING HEIGHT: 2 STORY 25'-6"

SHEET INDEX

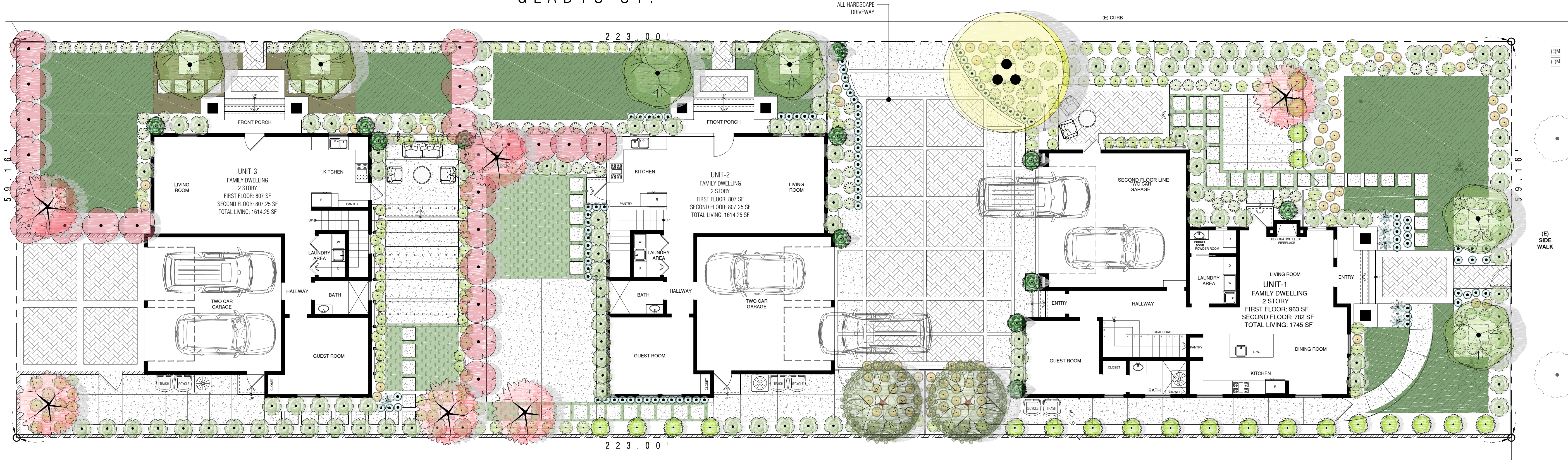
- C-1. COVER SHEET.
- A-1. DEMO SITE PLAN.
- A-2. SITE PLAN.
- A-3. (E) FLOOR PLAN.
- A-4. FIRST FLOOR PLAN UNIT-1.
- A-5. SECOND FLOOR PLAN UNIT-1.
- A-6. NORTH & WEST ELEVATIONS UNIT-1.
- A-7. SOUTH & EAST ELEVATIONS UNIT-1.
- A-8. FIRST & SECOND FLOOR PLAN UNIT-2.
- A-9. ELEVATIONS UNIT-2.
- A-10. FIRST & SECOND FLOOR UNIT-3.
- A-11. ELEVATIONS UNIT-3.

Sheet Number:

C-1

GLADYS ST.

ALLEY



STUDIO BERZUNZA

Integral environmental landscape design + interiors

17341 IRVINE BLVD.
TUSTIN, CA 92780

t: 714.795.8080
e: vladimir@studioberzunza.com

STUDIOBERZUNZA.COM

PROJECT:
PROJECT OWNER:
PROSPECT QUALITY LLC
1005 E. LAS TUNAS DR. #155
SAN GABRIEL CA. 91776

PROJECT ADDRESS:
518 E. OLIVE AVE.
MONROVIA CA. 91016
APN # 817-013-006

DRAWN BY
V. BERZUNZA

CHECKED BY
V. BERZUNZA

SHEET DESCRIPTION
PLANTING PLAN

REVISIONS

No.	DATE
1	1st. LA-DESIGN REVIEW 3.28.19



SECTION 4010101 OF THE GOVERNMENT CODE REQUIRES A DIG ALERT IDENTIFICATION NUMBER BE ISSUED BEFORE A POCKET OR EXCAVATE WILL BE VALID FOR YOUR DIG ALERT ID NUMBER CALL UNDERGROUND SERVICE ALERT TOLL FREE 1-800-453-4133 TWO WORKING DAYS BEFORE YOU DIG

© 19 STUDIO BERZUNZA EXPRESSLY RESERVES ITS COMMON LAW COPYRIGHT & OTHER PROPERTY RIGHTS IN THESE PLANS. THESE PLANS ARE NOT TO BE REPRODUCED, CHANGED OR COPIED IN ANY FORM OR MANNER WHATSOEVER, NOR ARE THEY TO BE ASSIGNED TO ANY THIRD PARTY, WITHOUT FIRST OBTAINING THE EXPRESSED PERMISSION & CONSENT OF 19 STUDIO BERZUNZA. THESE DOCUMENTS ARE INTENDED TO BE COMMERCIAL DESIGN INSTRUMENT AND SHALL NOT BE USED TO COMMUNICATE ANY CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCE OR PROCEDURES, OR FOR SAFETY PRECAUTION IN CONNECTION WITH THE PROJECT.

SHEET NUMBER

L4.00

PROJECT No. 1219-16
DATE 4-02-19

PLANT SCHEDULE

TREES	BOTANICAL NAME / COMMON NAME	SIZE	MATURE SIZE	WATER
	ARBUTUS X 'MARINA' / ARBUTUS MULTI-TRUNK	24"BOX	10'-12'H X 5'-6"W	LOW 0.1 - 0.3
	CERCIDILUM X 'DESERT MUSEUM' / THORNLESS PALO VERDE *MULTI-TRUNK	36"BOX	25' H X 20' W	LOW 0.1 - 0.3
	CUPRESSUS SEMPERVIRENS 'TINY TOWER' TM / TINY TOWER ITALIAN CYPRESS	15 GAL	10' H X 4' W	LOW 0.1 - 0.3
	DODONAEA VISCOSA 'PURPUREA' / PURPLE LEAFED HOPSEED BUSH	15 GAL	13' H X 5' W	LOW 0.1 - 0.3
	LAURUS NOBILIS 'SARATOGA' / SWEET BAY	36"BOX	15' H X 12' W	LOW 0.1 - 0.3
	OLEA EUROPAEA 'WILSONII' / WILSON OLIVE	24"BOX	25' - 35' H X W	LOW 0.1 - 0.3
	PODOCARPUS MACROPHYLLUS / YEW PINE	5 GAL	10' H X 4' W	MODERATE 0.4 - 0.6
	OLEA WILSONII	5 GAL	10' H X 4' W	MODERATE 0.4 - 0.6
SHRUBS	BOTANICAL NAME / COMMON NAME	SIZE	MATURE SIZE	WATER
	AGAVE X 'BLUE FLAME' / BLUE FLAME AGAVE	5 GAL	10' H X 4' W	LOW 0.1 - 0.3
	DIANELLA REVOLUTA 'LITTLE REV' / LITTLE REV FLAX LILY	5 GAL	2' H X 4' W	LOW 0.1 - 0.3
	OLEA EUROPAEA 'LITTLE OLLIE' TM / LITTLE OLLIE OLIVE	5 GAL	3'-4' H X W	LOW 0.1 - 0.3
	SENECIO MANDRAUCIS 'BLUE CHALK STICKS' / SENECIO	1 GAL	1.5'H X 1.5'W	LOW 0.1 - 0.3
	SESLERIA X 'GREENLEE HYBRID' / GREENLEE MOOR GRASS	1 GAL	1'-2' HW	MODERATE 0.4 - 0.6
	STIPA TENACISSIMA / MEXICAN FEATHER GRASS	1 GAL	1'-2' HW	LOW 0.1 - 0.3
	WESTRINGIA FRUTICOSA 'LOW HORIZON' / LOW HORIZON WESTRINGIA	5 GAL	2' H X 2'-3' W	LOW 0.1 - 0.3
VINE/ESPALIER	BOTANICAL NAME / COMMON NAME	SIZE	MATURE SIZE	WATER
	CLEMATIS X 'MULTI BLUE' / CLEMATIS	15 GAL	2' H X 2'-3' W	MODERATE 0.4 - 0.6
GROUND COVERS	BOTANICAL NAME / COMMON NAME	SIZE	MATURE SIZE	WATER
	ARTIFICIAL TURF / ARTIFICIAL TURF / ARTIFICIAL TURF	SYNTHETIC GRASS	4" H X 6" W	LOW 0.1 - 0.3
	DYMONDIA MARGARETAE / DYMONDIA	FLAT	4" H X 6" W	LOW 0.1 - 0.3
	NO MOW GRASS	SEED	4" H X 6" W	LOW 0.1 - 0.3



ARBUTUS 'STRAWBERRY TREE'



CERCIS 'DESERT MUSEUM'



CUPRESSUS 'TINY TOWER'



DODONAENA 'PURPLE LEAFED'



LAURUS 'SARATOGA'



OLEA WILSONII



PODOCARPUS 'YEW PINE'



AGAVE 'BLUE FLAME'



OLEA 'LITTLE OLLIE'



SESLERIA X



WESTRINGIA



CLEMATIS VINE



DANIELA



SENECIO 'BLUE STICK'



STIPA

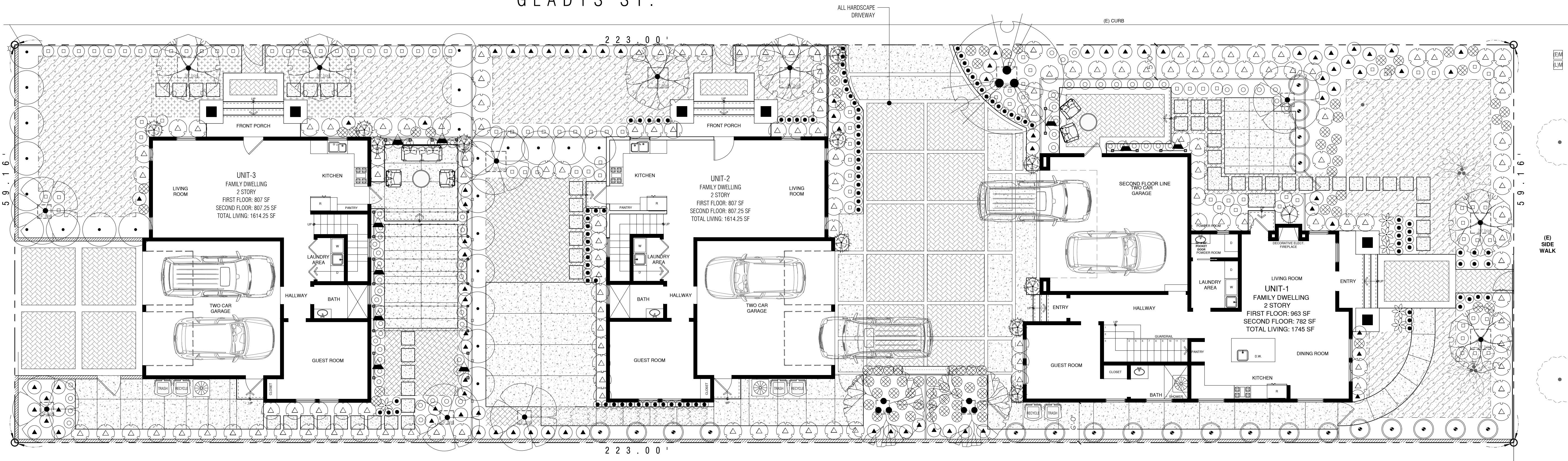


NO-MOW GRASS



DYMONDIA

GLADYS ST.



STUDIO BERZUNZA

integral environmental landscape design + interiors
 17341 IRVINE BLVD.
 TUSTIN, CA 92780
 t: 714.795.8080
 e: vladimir@studioberzunza.com
STUDIOBERZUNZA.COM

PROJECT:
 PROJECT OWNER:
PROSPECT QUALITY LLC
 1005 E. LAS TUNAS DR. #155
 SAN GABRIEL CA. 91776

PROJECT ADDRESS:
 518 E. OLIVE AVE.
 MONROVIA CA. 91016
 APN # 817-013-006

DRAWN BY:
 V. BERZUNZA
CHECKED BY:
 V. BERZUNZA
SHEET DESCRIPTION:
 PLANTING PLAN

REVISIONS	
No.	DATE
1	1st. LA-DESIGN REVIEW 3.28.19

DIG ALERT

SECTION 40101 OF THE GOVERNMENT CODE REQUIRES A DIG ALERT IDENTIFICATION NUMBER BE ISSUED BEFORE A POINT TO EXCAVATE WILL BE VALID FOR YOUR DIG ALERT ID NUMBER CALL UNDERGROUND SERVICE ALERT TOLL FREE 1-800-451-4133 TWO WORKING DAYS BEFORE YOU DIG

© 19 STUDIO BERZUNZA EXPRESSLY RESERVES ITS COMMON LAW COPYRIGHT & OTHER PROPERTY RIGHTS IN THESE PLANS. THESE PLANS ARE NOT TO BE REPRODUCED, CHANGED OR COPIED IN ANY FORM OR MANNER WHATSOEVER, NOR ARE THEY TO BE ASSIGNED TO ANY THIRD PARTY, WITHOUT FIRST OBTAINING THE EXPRESSED PERMISSION & CONSENT OF V9 STUDIO BERZUNZA. THESE DOCUMENTS ARE INTENDED TO BE COMMERCIAL DESIGN INTENT AND SHALL NOT BE USED TO COMMUNICATE ANY CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCE OR PROCEDURES, OR FOR SAFETY PRECAUTIONS CONNECTED WITH THE PROJECT.

SHEET NUMBER

L4.00

PROJECT No. 1219-16
 DATE 4-02-19

PLANT SCHEDULE

TREES	BOTANICAL NAME / COMMON NAME	SIZE	MATURE SIZE	WATER
	ARBUTUS X 'MARINA' / ARBUTUS MULTI-TRUNK	24"BOX	10'-12'H X 5'-6"W	LOW 0.1 - 0.3
	CERCIDILUM X 'DESERT MUSEUM' / THORNLESS PALO VERDE *MULTI-TRUNK	36"BOX	25' H X 20' W	LOW 0.1 - 0.3
	CUPRESSUS SEMPERVIRENS 'TINY TOWER' TM / TINY TOWER ITALIAN CYPRESS	15 GAL	10' H X 4' W	LOW 0.1 - 0.3
	DODONAEA VISCOSA 'PURPUREA' / PURPLE LEAFED HOPSEED BUSH	15 GAL	13' H X 5' W	LOW 0.1 - 0.3
	LAURUS NOBILIS 'SARATOGA' / SWEET BAY	36"BOX	15' H X 12' W	LOW 0.1 - 0.3
	OLEA EUROPAEA 'WILSONII' / WILSON OLIVE	24"BOX	25' - 35' H X W	LOW 0.1 - 0.3
	PODOCARPUS MACROPHYLLUS / YEW FINE	5 GAL	10' H X 4' W	MODERATE 0.4 - 0.6
SHRUBS	BOTANICAL NAME / COMMON NAME	SIZE	MATURE SIZE	WATER
	AGAVE X 'BLUE FLAME' / BLUE FLAME AGAVE	5 GAL		LOW 0.1 - 0.3
	DIANELLA REVOLUTA 'LITTLE REV' / LITTLE REV FLAX LILY	5 GAL	2' H 4" W	LOW 0.1 - 0.3
	OLEA EUROPAEA 'LITTLE OLLIE' TM / LITTLE OLLIE OLIVE	5 GAL	3'-4' H X W	LOW 0.1 - 0.3
	SENECIO MANDRAUSCAE 'BLUE CHALK STICKS' / SENECIO	1 GAL	1.5'H X 1.5'W	LOW 0.1 - 0.3
	SESLERIA X 'GREENLEE HYBRID' / GREENLEE MOOR GRASS	1 GAL	1'-2' HW	MODERATE 0.4 - 0.6
	STIPA TENACISSIMA / MEXICAN FEATHER GRASS	1 GAL	1'-2' HW	LOW 0.1 - 0.3
	WESTRINGIA FRUTICOSA 'LOW HORIZON' / LOW HORIZON WESTRINGIA	5 GAL	2' H X 2'-3' W	LOW 0.1 - 0.3
VINES/ESPALIER	BOTANICAL NAME / COMMON NAME	SIZE	MATURE SIZE	WATER
	CLEMATIS X 'MULTI BLUE' / CLEMATIS	15 GAL		MODERATE 0.4 - 0.6
GROUND COVERS	BOTANICAL NAME / COMMON NAME	SIZE	MATURE SIZE	WATER
	ARTIFICIAL TURF ARTIFICIAL TURF / ARTIFICIAL TURF	SYNTHETIC GRASS		
	DYMONDIA MARGARETAE / DYMONDIA	FLAT	4" H X 6" W	LOW 0.1 - 0.3
	NO MOW GRASS	SEED		



00.3 PLANTING PLAN

SCALE: 1/8"=1'-0"