



HISTORIC PRESERVATION COMMISSION STAFF REPORT

APPLICATION: HL-152

AGENDA ITEM: PH-1

PREPARED BY: Teresa Santilena
Associate Planner

MEETING DATE: August 28, 2019

TITLE: Historic Landmark HL-152
324 West Palm Avenue
Monrovia, CA 91016

APPLICANT: Margaret L. Mollenkopf
324 West Palm Avenue
Monrovia, CA 91016

REQUEST: Historic landmark designation

ENVIRONMENTAL DETERMINATION: Categorical Exemption (Class 31)

BACKGROUND: Pursuant to the Historic Preservation Ordinance, the property owner of 324 West Palm Avenue has filed an application for consideration of historic landmark designation. The home appears on the Potential Landmark List which was based on a 1985 survey of historic structures and was adopted by City Council resolution in 1995. The owner is not requesting a Mills Act contract.

ANALYSIS: The subject property is located on the south side of West Palm Avenue between South Magnolia and South Alta Vista Avenues. It is improved with a 1,206 square foot single-family Folk Victorian residence that was built in 1903. A small single family home with similar architecture was relocated from 228 West Linwood Avenue



and moved onto the parcel to serve as a 1-car garage and attached accessory structure in 2005.

The application submittal contains a very thorough assessment of the property, including an architectural description, construction history, ownership history with biographical information,

as well as photos that document the alterations the house has undergone since it was constructed. The Applicant is requesting designation under Monrovia Landmark Designation Criteria 4. This designation criteria is applicable to structures that embody one or more distinctive characteristics of style, type, period, design, materials, detail, or craftsmanship as outlined in Monrovia Municipal Code §17.40.060(B). The applicant's evaluation assessment is included in this report as Exhibit "A."

Architectural Description

The Folk Victorian residence has a cross-gabled roof plan with moderate eave overhang and boxed eaves. A 1911 addition with a shed roof was constructed on the west side of home and features a separate front entry door on the front façade. The recessed front porch on the east side of the home exemplifies several features common to Victorian architecture. The flat roof shelters the two front entries, which is common to Folk Victorian homes. Each of these entries still have the original doors. The porch also features a painted wood floor and bead board ceiling. The low decorative wood railing has turned posts and a square spindle detail that is mimicked in the trim that runs along the top of the porch. Finally, the porch is the only original portion of the home that has exposed rafters; boxed eaves are used on the rest of the original portions of the house.

The home is clad in horizontal clapboard redwood siding with cornerboards. Rectangular attic vents with horizontal louvers are located in the center of each gable. Two original elongated wood framed double hung sash windows with matching trim are centrally located on the front façade. Two more pairs of these windows are located the east and west elevations, situated centrally under the original side gables. There are four screen doors on the home; two on the front porch, one on the front façade of the 1911 addition, and one in the rear. Two of the four screen doors on the home are the restored originals; the other two have been replicated based on the originals. The house was seismically retrofitted in 1992 and sits on a concrete foundation.

Construction History

Building permit history shows that the home has undergone several alterations since its construction. The City of Monrovia does not have the original building permit for the home due to its early construction date. The first permit of record was issued in 1911 for an addition. The property owner's records indicate that this addition was for a sleeping porch on the northwest corner of the home and is visible on the front façade. In 1912, another permit was issued for an addition to the rear of the home to construct a second sleeping porch, kitchen pantry, bathroom, and utility porch. This 1912 addition spans across the entire rear façade and has a shed roof. In the late 1980s, the current property owner replaced seven casement windows on the east and south façades, within the area of the 1912 addition. The replacement windows maintain the original fenestration but were modified so that each window now contains two pieces. The bottom half of each of the windows remain casement in style, however the top half of the

In the late 1980s, the current property owner replaced seven casement windows on the east and south façades, within the area of the 1912 addition. The replacement windows maintain the original fenestration but were modified so that each window now contains two pieces. The bottom half of each of the windows remain casement in style, however the top half of the



windows are awning style, having the hinge placed at the top of the sill and the window opening outward. This allows for additional security while not restricting airflow.

The home was altered again in 1995, when a permit was issued to enclose the utility porch in the rear to create an extension of the kitchen. A small attached storage shed was also added to the property on the southwest portion of the home in the rear. This shed houses the water heater and provides additional storage.

Finally, in 2005, a small house was relocated from 228 West Linwood Avenue to 324 West Palm Avenue to serve as an accessory structure in the form of a one-car garage and studio. The home on Linwood Avenue was built in 1904 and, like the primary residence, also has Folk Victorian details, including a simple square floor plan, hipped roof with boxed eaves, wood exterior cladding, and simple window and door surrounds. A sliding, barn style garage door was also installed.

Ownership History

According to the applicant's research, the house at 324 West Palm Avenue has been in the same family since just after its construction. In 1905, Louis Umbach purchased the new home from A.W. and Mary J. Barka. Louis Umbach and his family had moved to Monrovia in 1903, where he began a small business. He ran a small tailoring service out of a millinery (hat making) shop in town and may have been the first tailor in the City. The location of the millinery business is not known, but in 1908, Louis opened his own tailoring shop at 624 South Myrtle Avenue. Unfortunately, due to illness, Louis had to sell the shop in 1911.

After Louis Umbach passed away in late 1911, the property transferred to his wife, Louise, where she lived with their daughter, Mildred, until her passing in 1965. Mildred Umbach also lived in the house until her death, which occurred in 1985, when it then passed to her sister, Fern Brown. In 1986, Mrs. Brown sold the home to her nephew, Howard L. Mollenkopf (a grandson of Louis Umbach). Howard Mollenkopf then placed the house in a trust for his daughter, Margaret Mollenkopf, who became the owner of the house in 2007, and still resides in this location.

Criteria and Guidelines

Pursuant to Monrovia Municipal Code (MMC) Section 17.40.060(A), the Historic Preservation Commission (HPC) may recommend City Council designation of a property as a Historic Landmark. The property must meet one or more of the designation criteria contained in MMC Section 17.40.060(B), subsections one through seven.

Based on staff's review of the information contained in the applicant's nomination materials, analyses of the designation criteria contained in MMC Section 17.40.060(B)(4) is as follows:

- **Criterion Number 4** – *It embodies one or more distinctive characteristics of style, type, period, design, materials, detail, or craftsmanship.*

The City's Context Statement indicates that Folk Victorian homes tended to be "smaller and simpler than pure Queen Anne examples with decorative details confined to the porch or gable ends," which is reflected in the home at 324 West Palm Avenue. The Context Statement describes the character defining features of a Folk Victorian property, which include, but are not limited to: simple square or rectangular form, gabled or hipped roof with boxed or open eaves, wood exterior cladding, simple window and door surrounds, and porch supports with turned spindles or square posts.

The Context Statement also provides a list of registration requirements and integrity thresholds that must be met for a Folk Victorian property to be eligible for individual listing. The registration requirements state that the property should exemplify tenets of the Victorian era and Folk Victorian style, have been built during the period of significance (1885-1905), retain most of its character-defining features, and retain the essential aspects of integrity. The integrity thresholds state that retention of design, workmanship, and materials will usually be more important than location, setting, feeling, and association.

The home at 324 West Palm Avenue is a good example of this architecture with its cross-gabled roof system, elongated double hung windows, recessed front porch with decorative trim, and decorative wood siding. It maintains integrity of location, materials, workmanship, feeling and association.

As part of the implementation of the Historic Preservation Program in 1995, the City Council adopted Resolution No. 95-15 establishing a list of "Potential Historic Landmarks". This list was based on several sources, however, it heavily relied on the 1985 survey conducted by MOHPG. While ratings were not assigned at that time, the properties identified were determined to have historic value and were designated as Potential Historic Landmarks. The provisions of the Historic Preservation Ordinance provide for advisory review for any exterior modifications by the Historic Preservation Commission. Although most of the properties on this list have not been rated, an early policy of the Commission determined that properties on this list qualified for landmark status.

The house at 324 West Palm Avenue is on the *potential* list and was included on the 1985 survey.

DPR Form

Staff prepared the property's DPR 523A survey form with a status code of 5S3, an individual property that is eligible for local designation.

RECOMMENDATION: Staff recommends that the Historic Preservation Commission forward a Nomination Statement to the City Council recommending that the house at 324 West Palm Avenue be designated as a historic landmark based on Criterion 4.

If the Historic Preservation Commission concurs with this recommendation and determines that the property meets at least one of the seven criteria for historic landmark designation, and the information provided on the DPR is accurate, then following the public hearing, the following motion is appropriate:

Designate the property at 324 West Palm Avenue as Historic Landmark Number 152 and so recommend to the City Council.

Other Listings
Review Code

Reviewer

Date

Page 1 of 6 *Resource Name or #: 324 West Palm Avenue – HL152

P1 Other Identifier: _____

*P2 Location: Not for Publication Unrestricted

a. County: Los Angeles

c. Address: 324 West Palm Avenue City: Monrovia Zip: 91016

e. Other Locational Data: APN # 8505-003-005

P3a Description: (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries)

The Folk Victorian residence has a cross-gabled roof plan with moderate eave overhang and boxed eaves. A 1911 addition was constructed on the west side of home and features a separate front entry door on the front façade with a shed roof. The recessed front porch on the east side of the home has a flat roof and two front entries. Each of these entries still have the original front doors. The porch also features a painted wood floor, bead board ceiling, and low decorative wood railing with turned posts and square spindles that are mimicked in the trim that runs along the top of the porch. The porch has exposed rafters.

The home is clad in horizontal clapboard redwood siding with cornerboards. Rectangular attic vents with horizontal louvers are located in the center of each gable. Two original elongated wood framed double hung sash windows with matching trim are centrally located on the front façade. Two more pairs of these windows are located the east and west elevations, situated centrally under the original side gables. The house was seismically retrofitted in 1992 and sits on a concrete foundation.

P3b Resource Attributes: (List attributes and codes) HP2. Single Family Property

*P4 Resources Present: Building Structure Object Site District Element of District Other

P5a Photograph



P5b Description of Photo: (view, date)

Facing north, July 2019
(See Continuation Sheet, page 3)

P6 Date Constructed: 1903

Source: Margaret Mollenkopf

P7 Owner and Address:

Margaret Mollenkopf
324 West Palm Avenue

Monrovia, CA 91016

P8 Recorded by:

City of Monrovia

P9 Date Recorded: August 2019

P10 Survey Type: Individual

P11 Report Citation: None

Attachments: NONE Location Map Sketch Map Continuation Sheet Building, Structure, and Object Record
 Archaeological Record District Record Linear Feature Record Milling Station Record Rock Art Record
 Artifact Record Photograph Record Other (List):

Page 2 of 6 *Resource Name or #: 324 West Palm Avenue – HL152

B1 Historic Name: _____

B2 Common Name: _____

B3 Original Use Single-Family Residential

B4 Present Use Single-Family Residential

B5 Architectural Style Folk Victorian

B6 Construction History (Construction date, alterations, and date of alterations)

1903 – Main dwelling constructed
 1911 – Addition
 1912 – 458 Addition
 1992 - Foundation retrofit
 1995 – Kitchen extension, Porch enclosure
 2005 – Accessory structure moved on to parcel

B7 Moved: No **Date Moved** N/A **Original Location** N/A

B8 Related Features:
 • Accessory Structure (noncontributing)

B9a Architect: Unknown **b. Builder:** Unknown

B10 Significance: **Theme:** Residential Development **Area:** Monrovia

Period of Significance: 1903-1940 **Property Type** HP2 – Single Family Residential
 Discuss importance in terms of historical or architectural context as well as integrity.

This home is associated with the Residential Development Theme, Single-Family Residential Sub-theme, when suburban development started to spread out from Monrovia’s downtown core to the north and west. The construction date of 1903 indicates that this property is on the cusp between the first and second phases of residential development within the City. The Folk Victorian architecture is a scaled-down version of more ornate Victorian style houses, with most of the decorative features confined to the front porch. Two additions were made to the home within ten years after it was originally constructed.

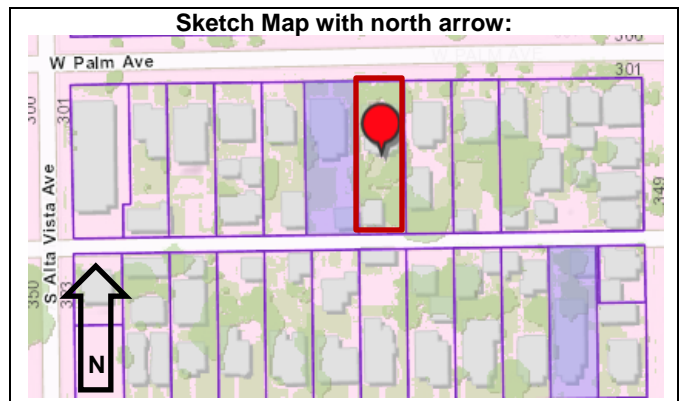
B11 Additional Resource Attributes:

B12 References:

- *City of Monrovia Context Statement*
- Sanborn Maps LA County Tax Assessor Website
- *Landmark Application* by Margaret Mollenkopf, 2019

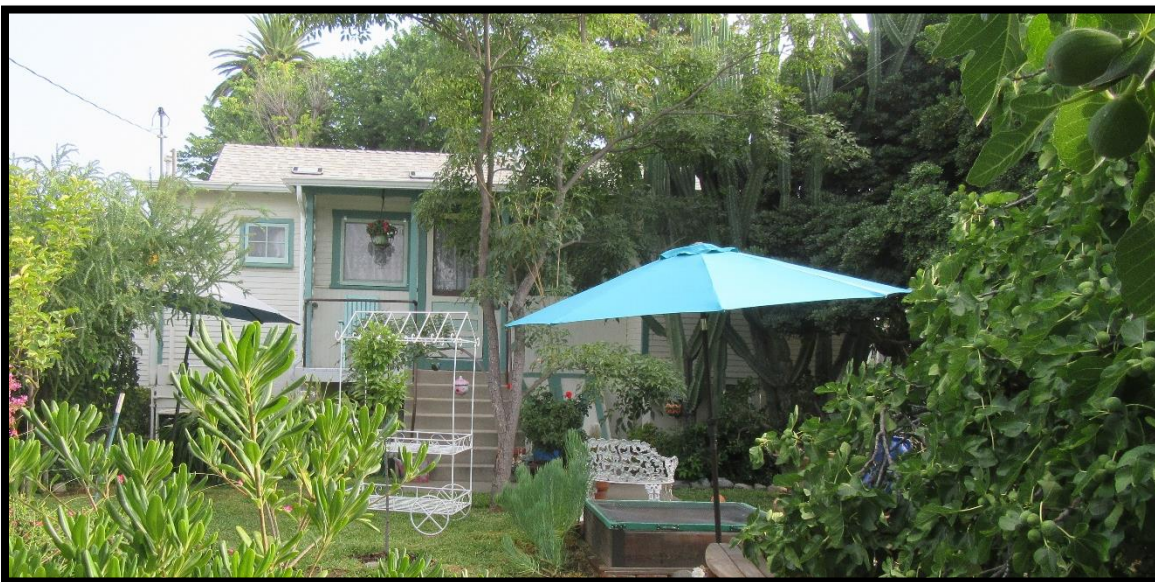
B13 Remarks

B14 Evaluator /Date City of Monrovia
 August 2019





Front (North) Elevation



Rear (South) Elevation



East Elevation



West Elevation (1911 Addition)



West Elevation



Accessory Structure East Elevation



Accessory Structure South Elevation



UMBACH HOUSE

324 WEST PALM AVE.



Architectural Style

In Monrovia's Heritage, An Architectural Perspective, the house at 324 West Palm Ave., located in the southwest quadrant of Monrovia (page 70), is described as a "turn-of-the-century Victorian farmhouse" or it may possibly be a Folk Victorian.¹ It was constructed as a simple three-room house, each room measuring approximately 14' x 14½' with a porch measuring 8½' x 15'. The porch has a wood tongue-and-groove ceiling and floor with turned posts and spindle railings as well as decorative spindles around the top of the porch. The eaves on the original three-room structure are boxed, but the additions made in 1911 and 1912 have open eaves. The front porch also has open eaves, it's not known if they were originally boxed. The house maintains the original wood siding and wood sash windows and the wood screens have been replicated. The front doors are original. Two of the original four screen doors were restored and duplicated to make two more. The two bedrooms consist of two sleeping porches with seven casement windows in each room, the hinged screens are on the interior.

¹ Charlotte A. Schamadan, ed., *Monrovia's Heritage, An Architectural Perspective* (Monrovia: Monrovia Old House Preservation Group, 1996), page 70

Ownership

The house at 324 West Palm Ave., Monrovia, Lot Six (6) in Block "E" of Spence's Addition, was built in 1903.

Louis Umbach was the first owner of the property. He purchased it in 1904 for \$300 and received the title for the property on May 27, 1904.

When Louis Umbach died on Dec. 27, 1911, his wife, Louise Umbach, became the beneficiary. She lived in the house with her daughter, Mildred, until her death.

When Louise Umbach died on April 24, 1965, her daughter Mildred became the beneficiary. Mildred never married and lived in the house until her death.

When Mildred Umbach died on Oct. 6, 1985, her only surviving sister, Mrs. Fern Brown, became the beneficiary. Fern Brown, the only surviving member of the Umbach family, sold the house to her nephew, Howard L. Mollenkopf, the grandson of Louis Umbach. He purchased the house from her on Aug. 4, 1986 for \$70,000. Howard Mollenkopf was also the grandson of Worth Mollenkopf, the mayor of Monrovia, 1914-1916.

Howard Mollenkopf placed the house in a trust for his daughter, Margaret Mollenkopf, the great-granddaughter of Louis Umbach. On Feb. 26, 2007, Jacquelyn Mollenkopf, widow and trustee of Howard Mollenkopf's Trust, released the 324 West Palm Ave. property to her daughter, Margaret Mollenkopf, the present owner who resides there.

Certificate
of
Title
to

Lot 6 in Block "E".

E. F. SPENCE'S ADD. TO

M O N R O V I A.

Title Abstract and Trust Company

INCORPORATED

CAPITAL STOCK, \$100,000.00

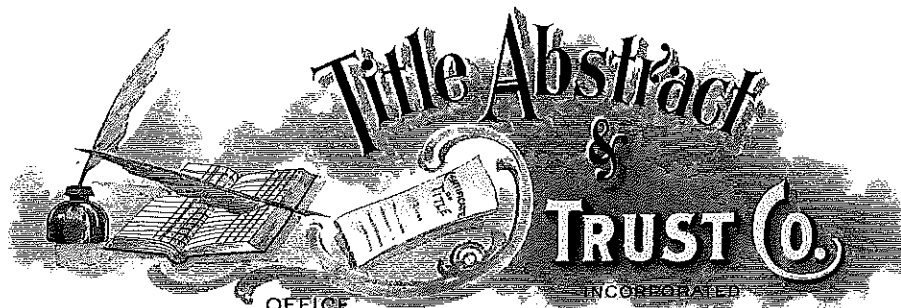
TELEPHONES

SUNSET MAIN 920 HOME A 9188

141-143 N. BROADWAY LOS ANGELES, CAL.

DIRECTORS
WARREN GILLELEN, PRES.
ABBOT KINNEY,
GEO. F. COPE,
W. B. SCARBOROUGH,
ALBERT MERCER, V. PRES.
ALLIN L. RHODES, SECY. TREAS.

LEGAL DEPARTMENT
ALBERT M. STEPHENS
WM W. STEPHENS
ALBERT M. STEPHENS JR.



TELEPHONES
SUNSET JAMES 1691
HOME 2228.

OFFICE
1411 N. BROADWAY

CAPITAL STOCK
\$100,000.00

LOS ANGELES, CAL.

Unlimited Certificate

No. 17302.

Made at the request of A. W. Barka.

After an examination of the Official Records of the County of Los Angeles, State of California, and of the Federal Offices located at Los Angeles, in relation to the title of the real property hereinafter described, the

Title Abstract and Trust Company

hereby certifies that the title of said property, as it appears from said records is vested in

A. W. B A R K A.

F R E E O F A L L I N C U M B R A N C E S.

EXCEPT:- 1st. Taxes of the fiscal year 1904-1905, a lien but not yet payable.

2nd. Right of way over said property for water pipes, as provided in deed recorded in Book 137, Page 361 of Deeds.

-: D E S C R I P T I O N :-

Lot Six (6) in Block "E" of E. F. Spence's Addition to Monrovia, in the City of Monrovia, County of Los Angeles, State of California, as per map recorded in Book 17, Page 59, Miscellaneous Records of said County.

This Certificate does not Include an Examination of

1. *Municipal Records (except the City of Los Angeles).*
2. *Records of Irrigation, Drainage, Reclamation, Sanitary or Levee Districts.*
3. *Proceedings to construct sewers or improve or open streets or alleys in the City of Los Angeles, until the same become a lien under the statute.*
4. *Mining locations, water locations or matters relating thereto or reservations contained in Letters Patent.*

In Testimony Whereof, the Title Abstract and Trust Company has caused this Certificate to be duly signed by its President and attested by its Secretary, under its corporate seal, this Twenty-seventh day of May, 1904,
at 8 A. M.

Title Abstract and Trust Company.

By

Walter Gillen

President.

Attest: Allin L. Rhodes Secretary.

State of California,
County of Los Angeles } ss.

On this 19th day of June in the year of our Lord one thousand nine hundred and five, before me, C. E. SLOSSON, a Notary Public in and for said County and State, residing therein, duly commissioned and sworn, personally appeared

Mary Barbara

known to me to be the person described in and whose name is subscribed to the within instrument, and acknowledged to me that she executed the same.

IN WITNESS WHEREOF, I have hereunto set my hand and affixed my Official Seal, the day and year in this Certificate first above written.

C. E. SLOSSON
NOTARY PUBLIC, in and for the County of Los Angeles,
State of California.

To

DEED.

Dated 190

C. E. SLOSSON,
Real Estate Agent
NOTARY PUBLIC AND CONVEYANCER
Monrovia - California.

Monrovia Cal

67

RECORDED AT REQUISITE OF
Gault

JUN 20 1906
in Book 2333 page 207
of Deeds.
Los Angeles County Records
GALVIN HENRY RELL

[Signature]
Notary Public

125

y.
20

This Indenture, Made this fourteenth day of JUNE in the year of our Lord one thousand nine hundred and five

Between A. W. Barke and Mary J. Barke, his wife, of Monrovia, California,

the parties of the first part, and Louis Umbach, of Monrovia, California,

the party of the second part, Witnesseth: That the said parties of the first part, for and in consideration of the sum of Three Hundred (\$300.00) Dollars, in Gold Coin of the United States of America, to them in hand paid by the party of the second part, the receipt whereof is hereby acknowledged, do by these presents, grant, bargain and sell, convey and confirm, unto the said party of the second part and to his heirs and assigns forever, all that certain real property situate in the City of Monrovia,

County of Los Angeles, State of California, and described as follows:

Lot Six (6), Block "E" of R. F. Spence Addition, as per map recorded in Book 17, Page 59, of Miscellaneous Records of said County.

Subject to taxes for the present fiscal year.

STATE OF NEVADA, }
County of Humboldt. } ss.

On this 16th day of June A. D. 1905 before me,

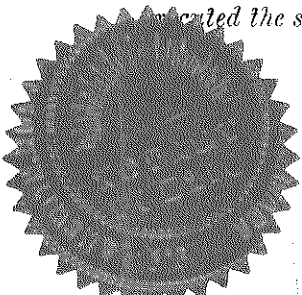
J. Langwith, a Notary Public in and for said County, personally appeared A. W. Barke

whose name is subscribed to the annexed instrument as a party thereto, personally known to me to be the same person described in and who executed the said annexed instrument, and who duly acknowledged to me that he

executed the same freely and voluntarily and for the uses and purposes therein mentioned.

In Witness whereof, I have hereunto set my hand and official Seal, the day and year, in this certificate first above written.

J. Langwith Notary Public.



2

Recording Requested by:
JAMES R. HASTINGS
Attorney for
Jacquelyn Rita Mollenkopf

05/07/07



20071093372

When Recorded Mail to:
JAMES R. HASTINGS
Attorney at Law
851 Irwin Street, Suite 206
San Rafael, CA 94901-3343

Documentary Transfer Tax: \$0
This is a bonafide gift, and the
grantor received nothing in return.
[Revenue and Taxation Code § 11911]

2
10
4

Prepared by:
James R. Hastings, Esq.
Attorney for Jacquelyn Mollenkopf

Assessor's Parcel Number: 8505-3-5

Common Address: 324 West Palm Avenue
Monrovia, California


Signature of Declarant or Agent determining tax. Firm Name

DEED OF GIFT

JAMES RAYMOND HASTINGS
Attorney at Law

IN CONSIDERATION OF NATURAL LOVE AND AFFECTION,

JACQUELYN RITA MOLLENKOPF, as an individual, and JACQUELYN RITA MOLLENKOPF, as trustee of the Survivor's Trust of the HOWARD LOUIS MOLLENKOPF AND JACQUELYN RITA MOLLENKOPF REVOCABLE TRUST dated November 21, 1985, as amended ("Survivor's Trust"), does hereby remise, release, and forever quitclaim both all remaining interest held by her as an individual and all remaining interest held by her as trustee of the Survivor's Trust, to MARGARET L. MOLLENKOPF, an unmarried woman, as her separate property, the following described real property in the City of Monrovia, County of Los Angeles, State of California:

Lot 6 in Block "E" of E. F. Spence's Addition to the Town of Monrovia as per map recorded in Book 17, Page 59 of Miscellaneous Records, in the office of the County Recorder of said county.

Dated: FEB 26 2007


JACQUELYN RITA MOLLENKOPF

Dated: FEB 26 2007


JACQUELYN RITA MOLLENKOPF
Trustee, Survivor's Trust

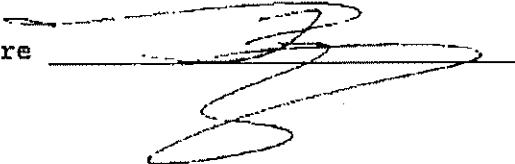
Mail Tax Statements to: Ms. Margaret L. Mollenkopf
324 West Palm Avenue
Monrovia, CA 91016

ACKNOWLEDGMENT

State of California)
County of Marin) SS.

On FEB 26 2007 before me, JAMES RAYMOND HASTINGS, a Notary Public in and for the State of California, personally appeared JACQUELYN RITA MOLLENKOPF, personally known to me (or proved to me on the basis of satisfactory evidence) to be the person(s) whose name is/are subscribed to the within instrument and acknowledged to me that he/she/they executed the same in his/her/their authorized capacity(ies), and that by his/her/their signature(s) on the instrument, the person(s), or the entity upon behalf of which the person(s) acted, executed the instrument.

WITNESS my hand and official seal.

Signature 

(SEAL)



Building Permits 1911-1999

<u>Permit #</u>	<u>Date</u>	<u>Owner</u>	<u>Contractor</u>	<u>Purpose</u>
35	8/16/1911	Louis Umbach	Louis Umbach	Residence addition (\$100)
130	2/13/1912	Mrs. L. Umbach	Ben Overturff	Residence addition (\$200)
788	2/1/49	Mrs. L. Umbach		Unknown (\$40)
5916	8/26	M. Umbach	Ben Walker	Water heater
	10/7/75	M. Umbach	Jack R. Rainwater	Reroof
	11/25/76	M. Umbach	Hopper Roofing	Composition shingles
0130	11/14/86	H. L. Mollenkopf	H. L. Mollenkopf	Service panel, outlets, switches
	10/12/88	H. L. Mollenkopf	Hopper Roofing	Remove roofing
	6/16/92	H. L. Mollenkopf	Ed Sylvis	Foundation retrofit
B9500530	10/26/95	Mollenkopf	Roselund Engineering	Enclosed porch, kitchen extension
	1/17/96	Mollenkopf	RBT, Inc.	Water heater
B9600194	2/15/96	Mollenkopf		Electrical outlets, switches
	2/19/96	Mollenkopf	Jimi Hendrix	Sink
B9700920	8/15/97	Mollenkopf	Paul Colburn	Storage shed
B9901340	10/13/99	Mollenkopf	Daniels Roofing	Roof shingles

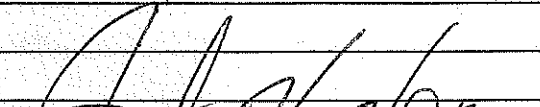
CITY OF MONROVIA
CONSTRUCTION INSPECTION RECORD

THIS CARD MUST BE POSTED AND MAINTAINED IN A CONSPICUOUS LOCATION AT OR NEAR THE POOL SITE UNTIL FINAL INSPECTION AND APPROVAL. FAILURE TO PROTECT THIS CARD MAY RESULT IN JOB DELAY. PRESERVE THIS RECORD OF YOUR INSPECTIONS.

FOR INSPECTIONS CALL: (818) 359-3231

Address 324 W. Palm
Permit No. R92-012815 Date 6-16-92
Owner Mallenhoff
Contractor Ed Sylvis

INSPECTION **APPROVED BY** **DATE**

1.			
2.			
3.			
4.			
5.			
6.			
7.			
8.			
9.			
10.			
11.			
12.	Final Approval of Construction		<u>7/23/92</u>

SEISMIC SAFETY

**ED SYLVIS
CONSTRUCTION**

License Nos. 529415 593518



Keeping You Safe Since 1954

Earthquake
Hazard Reduction
Structural Repair

981 Elizabeth Street
Pasadena, California 91104

(818) 791-4089

CONTRACTUAL AGREEMENT

(Seismic Reinforcement)

Made this(x) _____ day of(x) _____ in the year 1992 between the owner, Margaret Mollenkops (358-1618) of 324 W. Palm Ave. Monrovia CA 91016 and the contractor Edmund J. Sylvis (791-4089) of 981 Elizabeth St. Pasadena CA. 91104.

This trim example of California's turn of the century construction, has been in your family for almost 100 years, it is now an emblem of security and your personal home. It has weathered many storms and it has withstood some modest shakes since it's construction in 1904, and might suffer through some light to moderate future quakes. However there is no lateral bracing for the cripple walls and no evidence of mechanical anchorage that would secure the house, in a great quake, to the foundation system. Further the cripple walls are unbraced and are candidate for collapse under sufficient stress. Friction is the only element keeping this structure in place. **We quote the Executive Director of California's Seismic Safety Commission "House-bolting and cripple wall bracing are the best forms of earthquake insurance a home owner can buy"** NOTE: Our anchoring system greatly increases resistance of lateral forces generated during a major ground motion event; but our system will not nor will any other system, reduce cosmetic damage in finish surfaces *ie.* plaster cracks etc. in the walls above the ground floor level.

SPIRIT OF THE WORK Prior to commencement, at no extra cost to you, your project will be reviewed at the site by the structural engineer. The engineer will prepare a packet of instructions and details for work permit by the local building authorities. All of our work will be performed in a professional manner with the specially trained personnel of The Ed Sylvis Seismic Safety Team. The primary goal is to anchor the floor plane, through the perimeter seismic load path, to the foundation system. All materials are required to meet a quality equal to or better than the industry's standard. Our work will be diligently pursued to completion, except for delays caused by acts of God, inclement weather, changes in the work, and/or failure of the owner to make prompt progress payments. Commencement & completion to be by mutual agreement prior to commencement.

THE PROJECT is located at the owners address above and will involve:

1. A City approved, structurally engineered, retrofit configuration for anchorage of the structure to the foundation system.
2. Anchors are to consist of 5/8" expansion bolts drilled through the sill plate and into the concrete foundation. Or an approved substitute configuration as job conditions may require.
 - (a). Where vertical tool clearance is insufficient, A 9"X9" steel seismic plate will be used at the same intervals.
3. Anchors to be installed within 12" of each corner and at prescribed intervals thereafter for the entire perimeter.
4. Provide A-35 framing anchors from the sill plate to the entire rim joist perimeter, at 24" centers, **if a rim joist is absent**, install solid blocking between joists at 4'-0" intervals; connect blocks to plate with two A35F framing anchors each block, or an approved substitute as job conditions may dictate.
5. Add cripple studs as needed to form a basis for plywood shears. Provide sill plate 2x4 blocking to accommodate 3/8" plywood shear panels at all perimeter crippled walls.
6. Shear panels to cover a minimum of 50% of the perimeter cripple wall area
7. Costs of building permits and fees required by the City.
8. Clean up all debris generated by this work.
9. Contractor will be allowed display of trade sign for one week prior to commencement and until final payment is made a (\$120.00 allowance has been built into the base price for this

1911 and 1912 Additions

In 1911, at age 44, Louis Umbach was aware that he had a terminal illness and he did not have long to live. He wanted to make the small house more comfortable for his wife and three daughters (Della now 18, Fern 11, and Mildred 8), and so on July 12, 1911, Louis sold his tailoring business, including all of his inventory, to L. G. Wick for \$500, to be paid in full by Aug. 1, 1911.

With some of the sale money, Louis began to enlarge the small house by adding a screened sleeping porch to the front northwest corner of the house. The sleeping porch had seven screen openings and an exterior entry door (His wife, Louise, would later rent out part of the house after Louis' death to help support herself and her daughters). That is all that Louis could accomplish, because on Dec. 27, 1911, Louis died from his illness, nine days after his 45th birthday. He died at home in the new sleeping porch.

In February 1912, his wife Louise continued his plan to enlarge the small house and obtained a building permit for additional rooms across the back of the house: a second sleeping porch, a small kitchen with a screened utility porch, a pantry, and a bathroom. The contractor was Ben Overturff. A few of Louise's surviving receipts dated during that time period for lumber, hardware, and plumbing, as well as an estimate of 26 days to complete the work backs this up.

Alterations made by present owner

Electrical

When I first moved into the house in 1986, the interior and exterior of the house were in poor condition. The house originally had gas lights. My grandfather, Earl Mollenkopf, an electrician, installed the first electrical lighting with knob and tube wiring. His son, Howard Mollenkopf, my father, replaced the knob and tube wiring with modern wiring and an updated electrical panel. The original gas fixtures were found in the attic. They were restored and installed as electric lights in the three original rooms.

Rear Sleeping Porch Windows

The sleeping porch at the rear southeast corner of the house had seven casement windows with hinged screens on the interior. When I moved in, the windows were large casement windows that swung out. The wood windows were badly deteriorated with rot from exposure to sun and rain. I took an adult woodworking class at the Monrovia High School and designed a casement-type window of Douglas fir that would allow the bottom half of the window to be secured while the top half is open. The top half of the window can also be opened under an awning. This design offered better security, especially at night (there was no air conditioning at the time). The interior screens have been maintained. See photos.

Awnings

In 1992, canvas awnings were installed over windows on the east and west sides of the house as well as the exterior entrance door to the front sleeping porch room. The awnings were installed to protect the original wood windows, the new windows on the rear sleeping porch room, and the entry door in an effort to protect them from the sun and the rain.

Seismic Reinforcements

In 1992, foundation retrofits were completed for seismic safety. See copy of contract description and inspection.

Kitchen Alteration and Exterior Affect

When I moved into the house in 1986, the kitchen was small with six doors entering into it, leaving little room for workspace, stove and refrigerator. The refrigerator and water heater were located on the screened utility porch, which was hot and dusty. A small toilet room off the utility porch was converted to a small shower room meaning that taking a shower required going outside to the utility porch, a chilly venture in winter. Access to the refrigerator was awkward.

In 1995, with the valuable help of Jimi Henrix, I made the decision to make the utility porch part of the kitchen by opening the wall between the two, bringing the refrigerator and shower room indoors. The existing original wall of the utility porch remained and the screens were replaced with pocket windows that drop into the wall giving a similar screen porch appearance. The kitchen back door was moved to the exterior wall with the original screen door. A support beam was installed in the kitchen where the wall was opened up. A second support beam on piers was also installed in the basement.

On the exterior, the original vertical tongue and groove siding was maintained. The eaves over the former utility porch were extended three feet to give better protection from the weather. A small 4'x4 $\frac{1}{2}$ ' wood porch was added to the west side of the existing concrete porch.

Water Heater Shed

In 1997, a building permit was obtained to build a small shed against the back southwest corner of the house to house the water heater and garden supplies. The size of the shed is 3'x10' and it is not visible from the front or back yard.





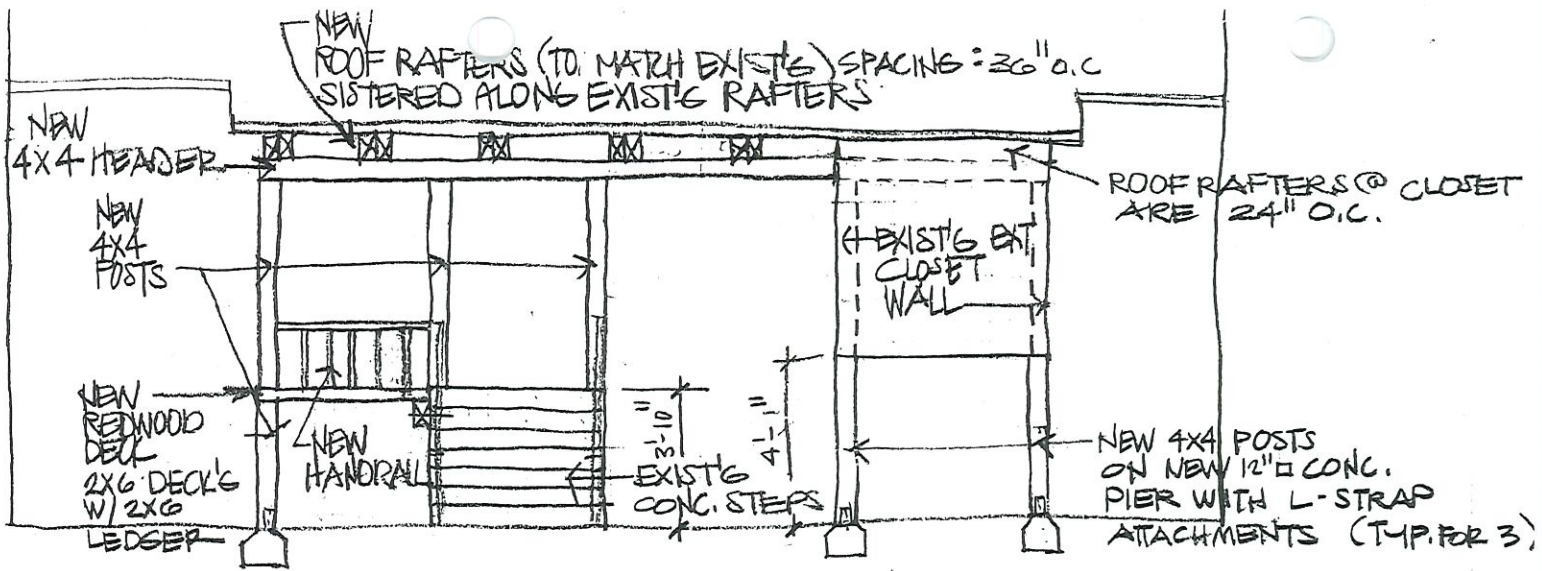


The back of the house before the kitchen renovation.

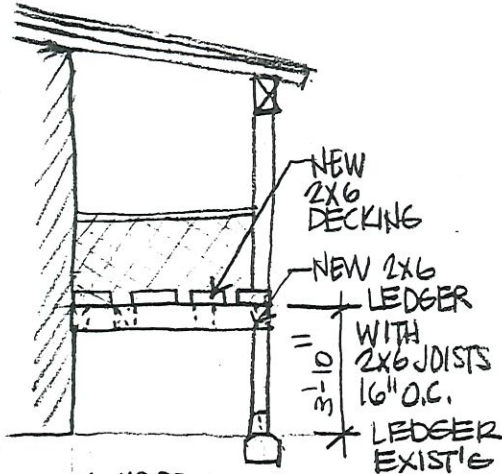


The back of the house after the renovation.

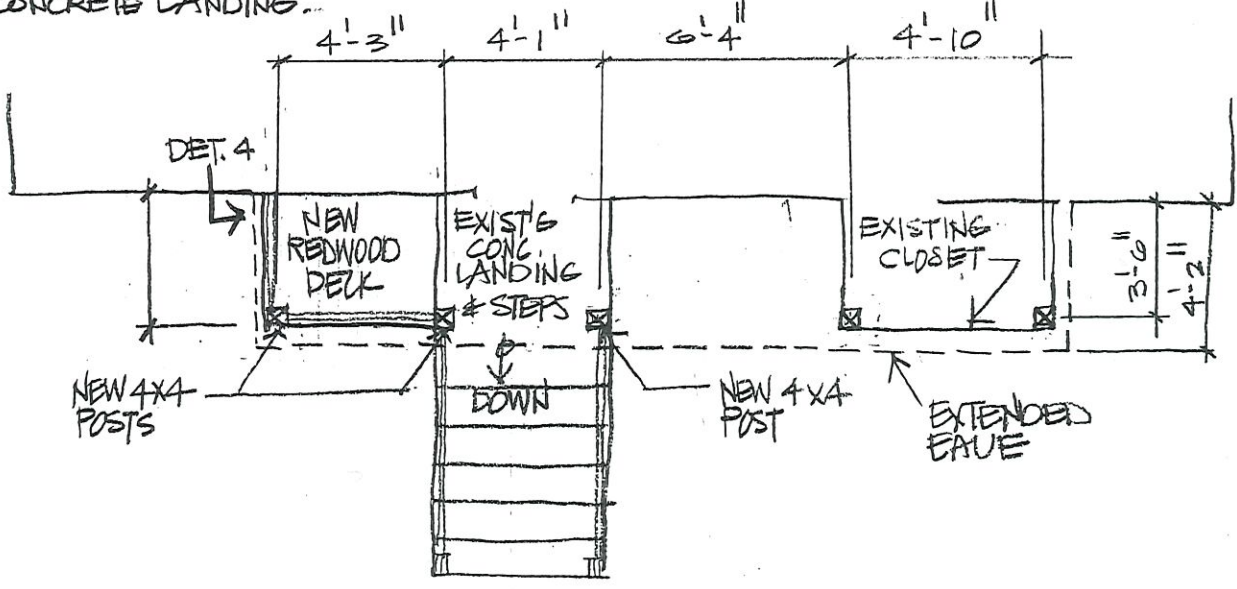




ELEVATION
N.T.S.

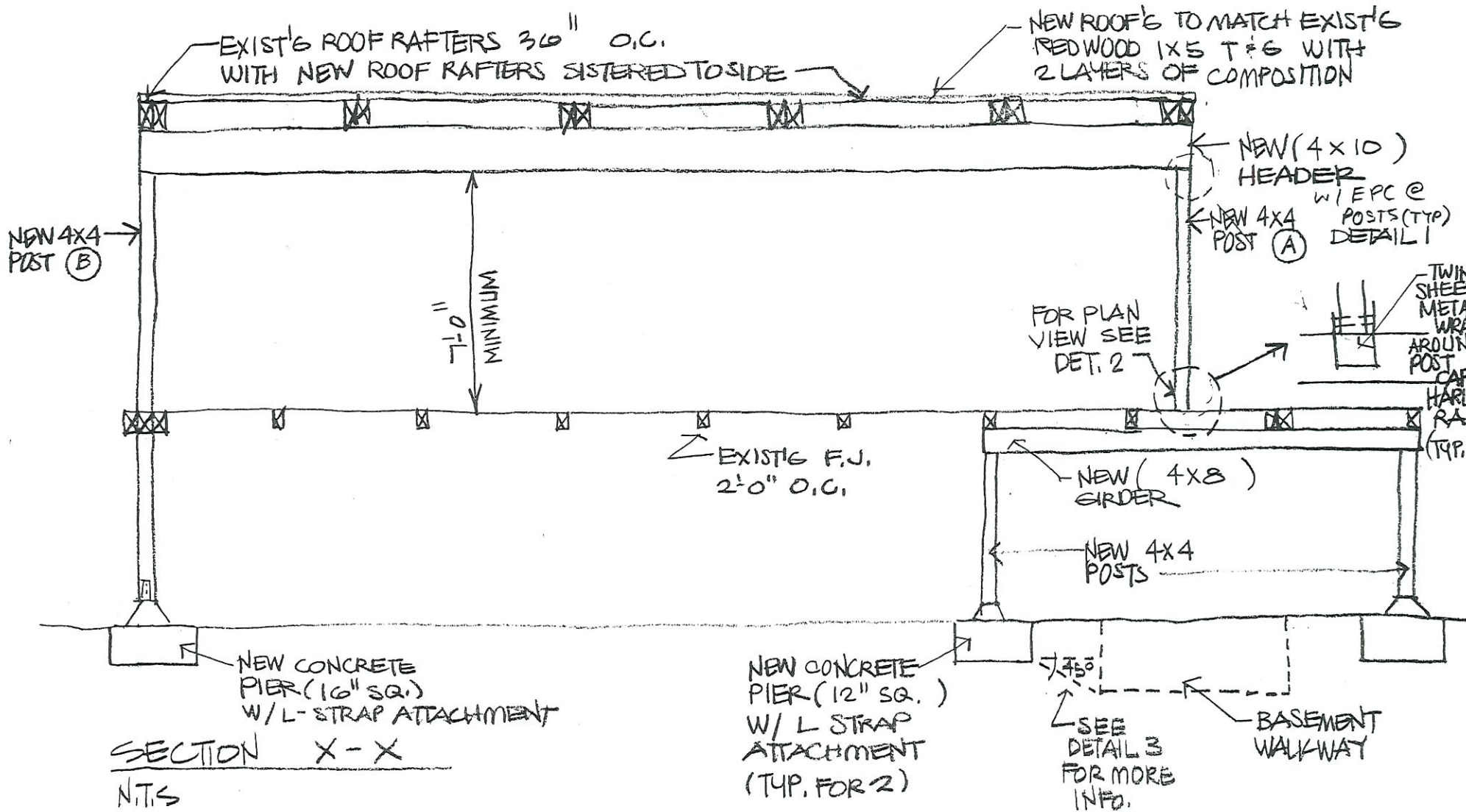


REDWOOD DECK
ELEVATION (LOOK 'G)
18 x 18 FOOTING



PLAN
N.T.S.





OCT. 25, 1995
DEH



CITY OF MONROVIA

Community Development Department
 Building and Safety Division
 415 South Ivy Ave, Monrovia, CA 91016

FOR BUILDING INSPECTIONS CALL: (626) 932-5581
 FIRE DEPT. INSPECTIONS: (626) 256-8181
 PUBLIC WORKS INSPECTIONS: (626) 932-5575

PERMIT #

BLDG. Permit 2018-536
 ELEC. _____
 MECH. _____
 PLUMB. _____
 COMB. _____

JOB CARD

JOB ADDRESS: 324 W. PALM AVE. DATE: 10/3/18
 DESCRIPTION: REROOF w/ COMP. SHINGLES 22 SQUARES.

INSPECTION	INSPECTOR	DATE	INSPECTION	INSPECTOR	DATE
PRE-FOUNDATION			INSULATION (CF-2R <input type="checkbox"/>)		
<input type="checkbox"/> PROTECTION FENCING <input type="checkbox"/> SEWER CAP			<input type="checkbox"/> FLOORS/OVERHANG		
<input type="checkbox"/> PAD CERTS <input type="checkbox"/> SOILS <input type="checkbox"/> GRADING			<input type="checkbox"/> WALLS		
FOUNDATION			<input type="checkbox"/> ROOFS		
<input type="checkbox"/> FOOTING			SURFACE COVERING		
<input type="checkbox"/> SLAB			<input type="checkbox"/> DRYWALL		
<input type="checkbox"/> WATERPROOFING			<input type="checkbox"/> EXTERIOR LATH		
UFER: <input type="checkbox"/> STEEL <input type="checkbox"/> COPPER			<input type="checkbox"/> INTERIOR LATH <input type="checkbox"/> SHOWER/TUB LATH		
BLOCKWALL/MASONRY			<input type="checkbox"/> SHOWER PAN		
<input type="checkbox"/> RETAINING FOOTING? YES <input type="checkbox"/> NO <input type="checkbox"/>			OUTSIDE BUILDING		
<input type="checkbox"/> OK TO GROUT 1 st LIFT			<input type="checkbox"/> SEWER		
<input type="checkbox"/> OK TO GROUT 2 nd LIFT			<input type="checkbox"/> WATER		
<input type="checkbox"/> OK TO GROUT 3 rd LIFT			<input type="checkbox"/> GAS		
UNDERFLOOR			<input type="checkbox"/> CLEANOUT TO GRADE		
<input type="checkbox"/> ELECTRICAL			POOL/SPA		
<input type="checkbox"/> PLUMBING			<input type="checkbox"/> PRE-GUNITE/STEEL <input type="checkbox"/> BONDING		
<input type="checkbox"/> MECHANICAL			UNDERGROUND <input type="checkbox"/> GAS <input type="checkbox"/> ELECTRICAL		
<input type="checkbox"/> FLOOR JOIST			<input type="checkbox"/> DRAIN LINES <input type="checkbox"/> FILTRATION <input type="checkbox"/> HEATER		
<input type="checkbox"/> FLOOR SHEATHING			<input type="checkbox"/> DECKING <input type="checkbox"/> BONDING		
ROUGH MEP'S			<input type="checkbox"/> FENCING <input type="checkbox"/> GATES <input type="checkbox"/> ALARMS		
<input type="checkbox"/> ELECTRICAL			SERVICE PANELS		
<input type="checkbox"/> PLUMBING			AMPS: <input type="checkbox"/> 100 <input type="checkbox"/> 200 <input type="checkbox"/> 400+ <input type="checkbox"/> SUB-PANEL(S) <input type="checkbox"/> TPP (EDISON RELEASE <input type="checkbox"/>)		
<input type="checkbox"/> MECHANICAL <input type="checkbox"/> GAS TEST			SOLAR/ELECTRIC VEHICLE CHARGING		
STRUCTURAL FRAME/ROOF			<input type="checkbox"/> SOLAR/PV <input type="checkbox"/> ELEC. VEHICLE CHARGING		
(<input type="checkbox"/> PLANNING/ <input type="checkbox"/> FIRE)			<input type="checkbox"/> BATTERY STORAGE		
<input type="checkbox"/> SHEAR PANELS (Obs. Report <input type="checkbox"/>)			FINALS (<input type="checkbox"/> PLANNING <input type="checkbox"/> PUBLIC WORKS <input type="checkbox"/> L.A. COUNTY HEALTH)		
<input type="checkbox"/> ROOF SHEATHING	<i>M</i>	<u>10-10-18</u>	<input type="checkbox"/> ELECTRICAL		
<input type="checkbox"/> FRAMING			<input type="checkbox"/> PLUMBING (WATER HEATER <input type="checkbox"/>) / CAL GREEN <input type="checkbox"/>		
<input type="checkbox"/> T-BAR/LIGHTS			<input type="checkbox"/> MECHANICAL/HVAC (HERS REPORT <input type="checkbox"/>)		
GRADE BEAM REPORT: <input type="checkbox"/> STEEL CERTS			<input checked="" type="checkbox"/> BUILDING (RE-ROOF <input checked="" type="checkbox"/> / POOL <input type="checkbox"/> / SIGN <input type="checkbox"/>)	<i>EN</i>	<u>10/10/18</u>
<input type="checkbox"/> GLU-LAM CERTS <input type="checkbox"/> SPECIAL INSPECTOR			<input type="checkbox"/> FIRE PROJECT FINAL		

FINAL INSPECTION DATE: 10/16/18 INSPECTORS SIGNATURE: *[Signature]*

INSPECTION NOTES

FIRE DEPARTMENT INSPECTIONS

INSPECTION	INSPECTOR	DATE	NOTES
<input type="checkbox"/> Overhead Hydro/Rough Piping			
<input type="checkbox"/> Underground Hydro			
<input type="checkbox"/> Underground Flush			
<input type="checkbox"/> Underground Final			
<input type="checkbox"/> Other Fire Protection System Final			
<input type="checkbox"/> Fire Alarm Final			
<input type="checkbox"/> Knox Box Location/Gates Final			
<input type="checkbox"/> Sprinkler Final			

INSPECTION INFORMATION

- The approved plans and this job card must be available to the inspector at the time of inspection.
- This card is your permanent record of inspections for this permit, so preserve it accordingly.
- A permit shall expire and become null and void if the work authorized by the permit is not commenced within 180 days, or if the work is suspended or abandoned for a period of 180 days. If the work is progressing but approaching the end of the 180 day period from the last recorded date of inspection, a progress inspection must be obtained to keep the permit active, not to exceed the two-year imitation period.
- **NO WORK SHALL BE CONCEALED WITHOUT PRIOR APPROVAL BY THE CITY BUILDING INSPECTOR.**
- **A RE-INSPECTION FEE MAY BE ASSESSED WHEN WORK IS NOT READY, THE INSPECTION CARD IS NOT AVAILABLE, APPROVED PLANS ARE NOT AVAILABLE, FOR FAILURE TO PROVIDE ACCESS FOR INSPECTIONS, OR FOR DEVIATING FROM THE APPROVED PLANS WITHOUT PROPER APPROVAL.**

LICENSED CONTRACTORS DECLARATION

I hereby affirm under penalty of perjury that I am licensed under provisions of Chapter 9 (commencing with Section 7000) of Division 3 of the Business and Professions Code, and my license is in full force and effect.

License Class _____ License No. _____ Date _____
 Contractor _____

OWNER-BUILDER DECLARATION

I hereby affirm under penalty of perjury that I am exempt from the Contractors License Law for the following reason (Sec. 7031.5, Business and Professions Code: Any city or county which requires a permit to construct, alter, improve, demolish, or repair any structure, prior to its issuance, also requires the applicant for such permit to file a signed statement that he or she is licensed pursuant to the provisions of the contractors License Law (Chapter 9 (commencing with Section 7000) of Division 3 of the Business and Professions Code) or that he or she is exempt therefrom and the basis for the alleged exemption. Any violation of Section 7031.5 by any applicant for a permit subjects the applicant to a civil penalty of not more than five hundred dollars (\$500).):

I, as owner of the property, or my employees with wages as their sole compensation, will do the work and the structure is not intended or offered for sale (Sec. 7044, Business and Professions Code: The Contractors License Law does not apply to an owner of property who builds or improves thereon, and who does such work himself or herself or through his or her own employees, provided that such improvements are not intended or offered for sale. If, however, the building or improvement is sold within one year of completion, the owner-builder will have the burden of proving that he or she did not build or improve for the purpose of sale).

I, as owner of the property, am exclusively contracting with licensed contractors to construct the project (Sec. 7044, Business and Professions Code: The Contractors License Law does not apply to an owner of property who builds or improves thereon, and who contracts for such projects with a contractor(s) licensed pursuant to the Contractors License Law).

I am exempt under Sec. _____ B & P.C. for this reason: _____

Date JULY 30, 2005 Owner Margaret Mollenkopf

WORKERS' COMPENSATION DECLARATION

I hereby affirm under penalty of perjury one of the following declarations:

I, have and will maintain a certificate of consent to self-insure for workers' compensation, as provided for by Section 3700 of the Labor Code, for the performance of the work for which this permit is issued.

I, have and will maintain workers' compensation insurance, as required by Section 3700 of the Labor Code, for the performance of the work for which this permit is issued. My workers' compensation insurance carrier and policy number are:

Carrier _____ Policy Number _____

(This section need not be completed if the permit is for one hundred dollars (\$100) or less).

I certify that in the performance of the work for which this permit is issued, I shall not employ any person in any manner so as to become subject to the workers' compensation provisions of Section 3700 of the Labor Code, I shall forthwith comply with those provisions.

Date: _____ Applicant: _____

WARNING: FAILURE TO SECURE WORKERS' COMPENSATION COVERAGE IS UNLAWFUL, AND SHALL SUBJECT AN EMPLOYER TO CRIMINAL PENALTIES AND CIVIL FINES UP TO ONE HUNDRED THOUSAND DOLLARS (\$100,000), IN ADDITION TO THE COST OF COMPENSATION, DAMAGES AS PROVIDED FOR IN SECTION 3700 OF THE LABOR CODE, INTEREST, AND ATTORNEY'S FEES.

CONSTRUCTION LENDING AGENCY

I hereby affirm under penalty of perjury that there is a construction lending agency for the performance of the work for which this permit is issued (Sec. 3097, Civ. C).

Lender's Name _____ Lender's Address _____

I certify that I have read this application and state that the above information is correct. I agree to comply with all city and county ordinances and state laws relating to building construction, and hereby authorize representatives of this country to enter upon the above mentioned property for inspection purposes.

Date JULY 30, 2005

JOB ADDRESS 324 W. PALM AVE

USE OF STRUCTURE
 RESIDENTIAL COMMERCIAL INDUSTRIAL

DATE 8/2/05
 PERMIT NO. _____
 TOTAL FEES \$ 6850
 Checked by _____

APPLICATION FOR
ELECTRIC PERMIT
 DEPARTMENT OF COMMUNITY
 DEVELOPMENT
 CITY OF MONROVIA

Name M. L. MOLLENKOPF
 Address 324 W. PALM AVE
 City MONROVIA Tel. No. 3581618

Name OWNER/BUILDER
 Address _____
 City _____ Tel. No. _____
 State Lic. _____ City Lic. _____

DESCRIPTION OF WORK

No.	ITEM	FILED FEE	FEE
	New Residential _____ sq. ft.	R-1 0.050 R-3 0.035	22.95
	Receptacles, Outlets, Switches	First 20 @ 1.05 Additional @ .70	
	Light Fixtures	First 20 @ 1.05 Additional @ .70	
	Residential Appliances RANGES, Cook Tops, Air-Cond., Garb. Disps.	4.35 ea.	
	Non-Residential Appliances	4.35 ea.	
	Motors _____	H.P.	
	Generators _____	K.W.	
	Transformers _____	KVA	
	Signs, Outline Lighting, Marquee's	22.55 ea.	
	Signs-Additional Branch Circuits or Separate Flashers, etc.	4.35 ea.	
1	Electrical Service Equipment Under 200 Amps	27.95 ea.	27.95
	Service Equipment Under 200 A Amps _____ Volts _____ Over 200 A, See Schedule		
	Temporary Service R.E.S. 22.55	Con or Underground	39.20 ea.
	Burways _____ Length _____	8.70 per 100 ft.	
	Priv. Swim. Pools	45.35	
	Miscellaneous		
		50.50	
	Other Fees - Waste Impact 10.00, Computer Cost Recovery 3.25, Microfilming 4.75		18.00
	TOTAL FEE		6850

ELE 2005-07037

Approvals

- | | Date: | Inspector: |
|--|--------|--------------------|
| Electrical (Power Pole) <input type="checkbox"/> | _____ | _____ |
| (Grd. Wk.) <input type="checkbox"/> | _____ | _____ |
| (Conduit) <input type="checkbox"/> | _____ | _____ |
| (Rough) <input type="checkbox"/> | _____ | _____ |
| (Finish) <input type="checkbox"/> | _____ | _____ |
| (Service) <input checked="" type="checkbox"/> | 1/4/06 | <i>[Signature]</i> |
| (Signs) <input type="checkbox"/> | _____ | _____ |
| (Other) <input type="checkbox"/> | _____ | _____ |
| (Other) <input type="checkbox"/> | _____ | _____ |
| (Other) <input type="checkbox"/> | _____ | _____ |
| (Other) <input type="checkbox"/> | _____ | _____ |

REMARKS:

Meter Service Ordered _____
 List Motors, Generators, Transformers _____

REMARKS

 Residential elec. service
 upgrade 1/4/06 *[Signature]*

- BUSINESS LICENSE**
- ONE TIME LICENSE
 - QUARTERLY LICENSE
 - YEARLY LICENSE
- EXP. DATE _____

City of Monrovia
CD - BUILDING
 Cash Receipts Summary Worksheet
 (626) 932-5581 or (626) 932-5527

PAID
 MC

DEC 27 2007

CITY OF MONROVIA
 Date: 12/27/07

Name: ML Mollenkopf
 Job Address: 324 W. Palm Ave

Code	Account Description	Account Number	Amount
BUILDING PERMITS			
BD1	Additional Plan Check/Inspection	28152060-3200	
BD2	Plan Check Fee	28152060-3198	
BD3	Building Permit /PC	28152060-3051	
BD4	Building Permit <i>without</i> Plan Check	28152060-3066	
BD5	Building Demo	28152060-3067	
BD6	Electrical Permit	28152060-3052	
BD7	Mechanical Permit	28152060-3056	
BD8	Plumbing Permit	28152060-3065	
SURCHARGE			
BD9	Computerization Cost Recovery - \$5.00 each	28152060-3203-52001	
BD10	Records Microfilming Fee - \$9.00 each	28152060-3345-52003	
BD11	Waste Mgmt Fee (SRRE) - \$13.00.00 ea. +	43171260-3326	
BD12	Historic Preservation - Surcharge \$3.00 each (B.P. only)	28153060-3166-53006	
BD13	Construction Tax	31125055-3032	
BD14	Plans Microfilming Fee	28152060-3345-52002	
BD15	State Seismic Fee (SMIP)	281-2003	
OTHERS			
BD16	General Plan Cost Recovery	28153060-3207-53003	
BD17	Investigation Fee	28152060-3081	
BD18	Plan Revision Checking	28152060-3202	
BD19	Printing/Publication Charges	28153060-3329	
BD20	Re-inspection Fee	28152060-3072	49.00
BD21	Relocation Inspection	28152060-3071	
BD22	Water Connection Fee	41174160-3312	
BD23	Waste Construction & Demolition Deposit	431-2131	
BD24	Art in Public Places	11161050-3397-61003	
BD25	Planning Division Plan Check - 15% of Building Permit Fee	28153060-3425	
Total			49.00

Prepared By: [Signature]
 Job Valuation \$ N/A

BUILDING RELOCATION APPLICATION

(Authority: Monrovia Municipal Code, Chapter 15.24)

Address From Which Building is to be Moved 228 WEST LINWOOD AVE

Legal Description _____

Address to Which Building Will be Moved 324 W. PALM AVE

Legal Description _____

Provide a photograph of the building to be moved and a map showing the route to be used for the move. (M.M.C. Section 15.24.020)

Present Use of Building VACANT RESIDENTIAL (10 YRS.)

Proposed Use of Building ONE CAR GARAGE w/ LAUNDRY RM.

Size of Building (maximum width x maximum length) 19 x 26

Number of Stories ONE Maximum Height—Loaded, Above Pavement 19 Feet

Date of Move SEPT. 27, 2004 Time of Move (Start-End) 9-NOON

Name of Building Owner PAM & GREG BIRD DEVELOPMENT

Address 228 WEST LINWOOD AVE

Phone Number (626) 355 5276

Relocation Contractor MASTER HOUSEMOVERS

Address 28961 FLOWER PARK DR.

CANYON COUNTRY CA 91387

Phone Number (818) 625 6630 State License No. _____

Person Responsible and In Charge of Move TED HOLLENGER

Address ABOVE

Phone Number (_____) _____

PUBLIC UTILITY APPROVALS:

VERIZON GTE MITCH DURIS Date _____
 CHAMPION BROADBAND LYLE TREEND Date _____
 Edison: _____

DEPARTMENTAL APPROVALS: @ DRC HEARING

Public Works DAVID FIKE Date AUG. 11, 2004
 Police Dept TRICK MIGLIA Date _____
 Fire Dept SAM DIGENDUA Date _____
 Community Services GLEN OWENS Date _____
 Planning Division ALICE GRIZELLE Date _____
 Building Division N/A Date _____
 City Attorney NA Date _____
 (Insurance Certificate—PL \$100,000-\$300,000 & PD \$50,000)

APPROVED Conditional Use Permit. A CUP is required for the relocation of any structure within the City of Monrovia.

WAIVED Damage Deposit. A cash deposit of \$1,000 is required to indemnify the city for any damage to public property. The deposit, less the amount of any damages, will be returned upon completion of the move after the Public Works Department has verified that there has been no damage.

WAIVED Completion Bond. A cash or surety bond in the amount equal to #25.00 per square foot of floor area (\$500.00 minimum) is required.

Name of Applicant _____
 Address _____
 Phone Number (_____) _____ Bond \$ _____

Applicant agrees that in the event that the amount of the Completion Bond prove to be inadequate to pay for all of the costs of completing the move or relocation of the building by the City of Monrovia in the event of default by the applicant, the applicant shall pay to the City of Monrovia such additional sum as mat be required to complete said relocation together with all costs and expenses of collecting same.

Signature of Applicant

Damage Deposit Returned:

Date _____ By _____

(f) Insulated Fittings. Where raceways containing ungrounded conductors No. 4 or larger enter a cabinet, box enclosure, or raceway, the conductors shall be protected by a substantial fitting providing a smoothly rounded insulating surface, unless the conductors are separated from the fitting or raceway by substantial insulating material securely fastened in place.

Exception: Where threaded hubs or bosses that are an integral part of a cabinet, box enclosure, or raceway provide a smoothly rounded or flared entry for conductors.

Conduit bushings constructed wholly of insulating material shall not be used to secure a fitting or raceway. The insulating fitting or insulating material shall have a temperature rating not less than the insulation temperature rating of the installed conductors.

300-5. Underground Installations.

(a) Minimum Cover Requirements. Direct buried cable or conduit or other raceways shall be installed to meet the minimum cover requirements of Table 300-5.

(b) Grounding. All underground installations shall be grounded and bonded in accordance with Article 250 of this Code.

(c) Underground Cables under Buildings. Underground cable installed under a building shall be in a raceway that is extended beyond the outside walls of the building.

(d) Protection from Damage. Direct buried conductors and cables emerging from the ground shall be protected by enclosures or raceways extending from the minimum cover distance required by Section 300-5(a) below grade to a point at least 8 ft (2.44 m) above finished grade. In no case shall the protection be required to exceed 18 in. (457 mm) below finished grade.

Conductors entering a building shall be protected to the point of entrance.

Where the enclosure or raceway is subject to physical damage, the conductors shall be installed in rigid metal conduit, intermediate metal conduit, Schedule 80 rigid nonmetallic conduit, or equivalent.

(e) Splices and Taps. Direct buried conductors or cables shall be permitted to be spliced or tapped without the use of splice boxes. The splices or taps shall be made in accordance with Section 110-14(b).

(f) Backfill. Backfill containing large rock, paving materials, cinders, large or sharply angular substance, or corrosive material shall not be placed in an excavation where materials may damage raceways, cables, or other substructures or prevent adequate compaction of fill or contribute to corrosion of raceways, cables, or other substructures.

Where necessary to prevent physical damage to the raceway or cable, protection shall be provided in the form of granular or selected material, suitable running boards, suitable sleeves, or other approved means.

(g) Raceway Seals. Conduits or raceways through which moisture may contact energized live parts shall be sealed or plugged at either or both ends.

Table 300-5. Minimum Cover Requirements, 0 to 600 Volts, Nominal, Burial in Inches
(Cover is defined as the shortest distance measured between a point on the top surface of any direct buried conductor, cable, conduit, or other raceway and the top surface of finished grade, concrete, or similar cover.)

Location of Wiring Method or Circuit	1	2	3	4	5
Direct Burial Cables or Conductors					
Intermediate Metal Conduit					
Rigid Metal Conduit or Metal Conduit					
Nonmetallic Raceways Listed for Direct Burial without Concrete Encasement or Other Approved Raceways					
Residential Branch Circuits Rated 120 Volts or less with GFCI Protection and Maximum Overcurrent Protection of 20 Amperes					
Circuits for Control of Irrigation and Landscape Lighting Limited to Not More than 30 Volts and Installed with Type UF or in Other Identified Cable or Raceway					

All Locations Not

Petra Avila

To: Kirk Talbott
Subject: RE: 324 W. Palm Ave.

I have provided you with the section of the electrical code, once you correct the correction per Sec. 300.5(d) called in for reinspection.

-----Original Message-----

From: Kirk Talbott [mailto:kirk@talbott.com]
Sent: Monday, December 05, 2005 9:20 AM
To: Petra Avila
Subject: RE: 324 W. Palm Ave.

Ms. Avila,

I went through the code section that you mentioned and I looked through the entire section on non-metallic rigid conduit. What constitutes the need for schedule 80 conduit based on the code requirements. I can understand the need for schedule 80 conduit when there is the chance of physical damage. I have been required to use Schedule 80 conduit along driveways, or in a garage where it was in an area that receives vehicle traffic and the potential for damage is great. Given this is in a residential backyard, it is unlikely that there is much danger of it being bumped by more than a lawn mower. I believe that Schedule 40 conduit is sufficient to withstand abuse of this nature.

Kirk Talbott
Talbott Electric

From: Petra Avila [mailto:pavila@ci.monrovia.ca.us]
Sent: Monday, December 05, 2005 8:10 AM
To: Kirk Talbott
Subject: RE: 324 W. Palm Ave.

300.5

-----Original Message-----

From: Kirk Talbott [mailto:kirk@talbott.com]
Sent: Friday, December 02, 2005 2:07 PM
To: Petra Avila
Subject: 324 W. Palm Ave.

Ms. Avila,

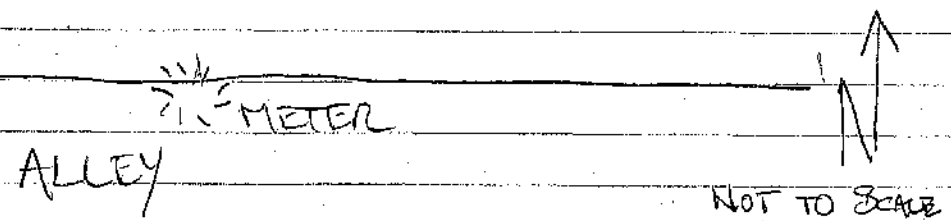
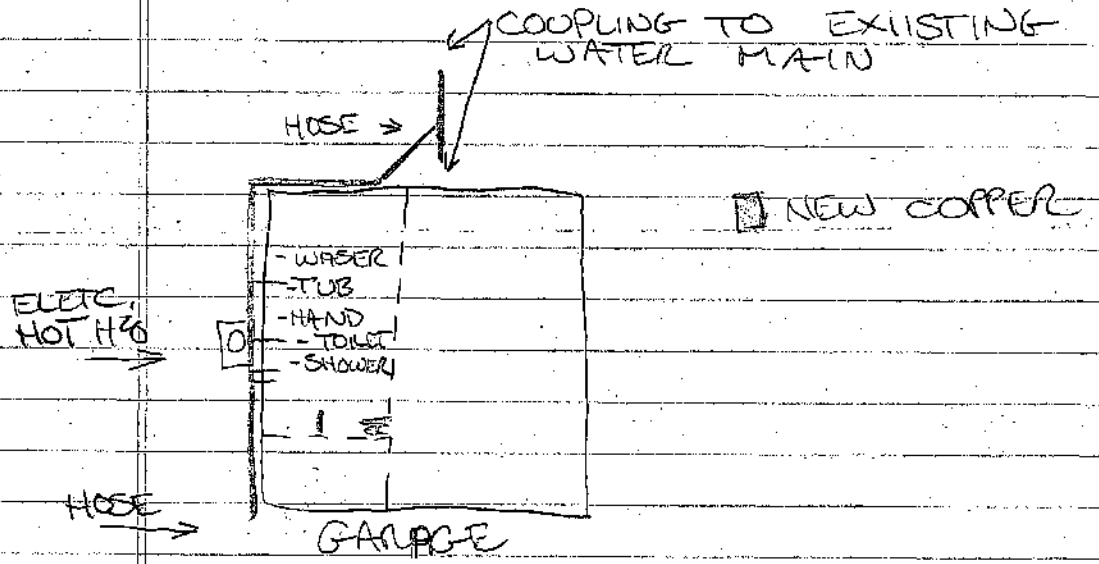
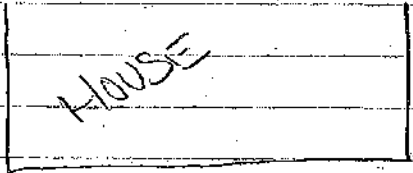
I am writing you about the above job. I had an inspection this week and you turned the job down because of PVC conduit being exposed above ground. My employee said that you told him that it needed to be Schedule 80 PVC conduit. I am aware that Schedule 80 conduit is required in some instances, but normally only required when there is the possibility of damage or the conductors are unfused. Can you provide me with the code section that applies to this situation. I would appreciate the information for future projects.

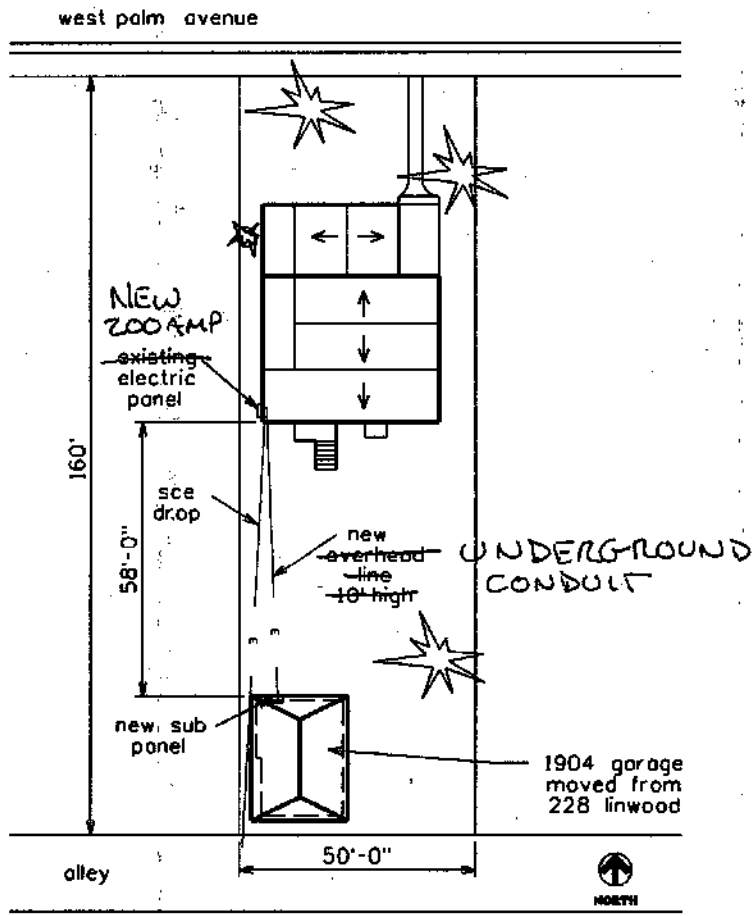
Thank you,

Kirk Talbott
Talbott Electric Inc. 12/23/2005 10:00 AM

324 W. PALM AVE
GARAGE PLUMBING
M.L. MOLLENKOPF

NOV. 15, 05



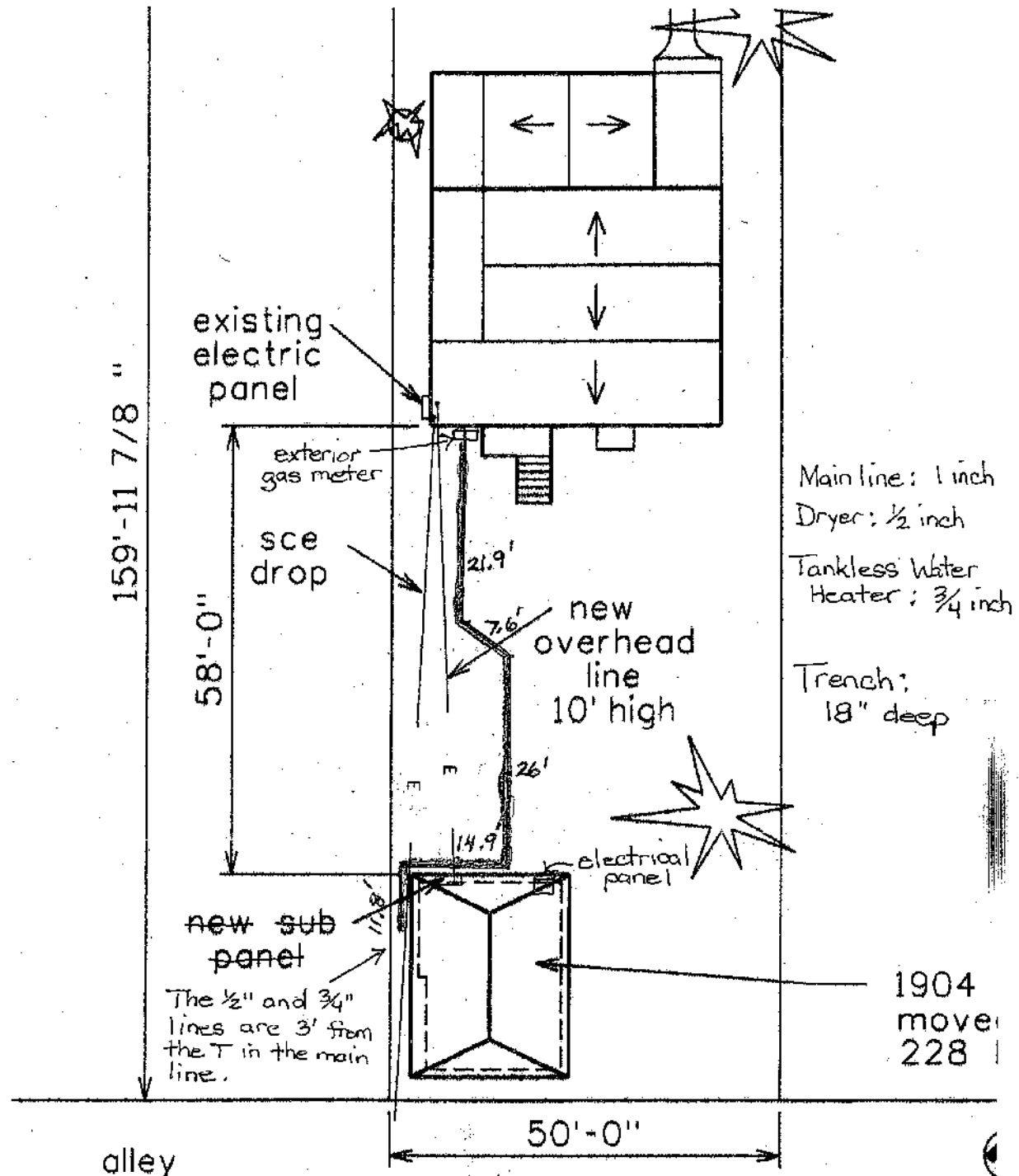


S I T E P L A N

M O L L E N K O P F R E S I D E N C E
 324 West Palm Avenue
 Monrovia, CA 91016

11.17.05

1



S I T E P L A N



DATA SHEET 1

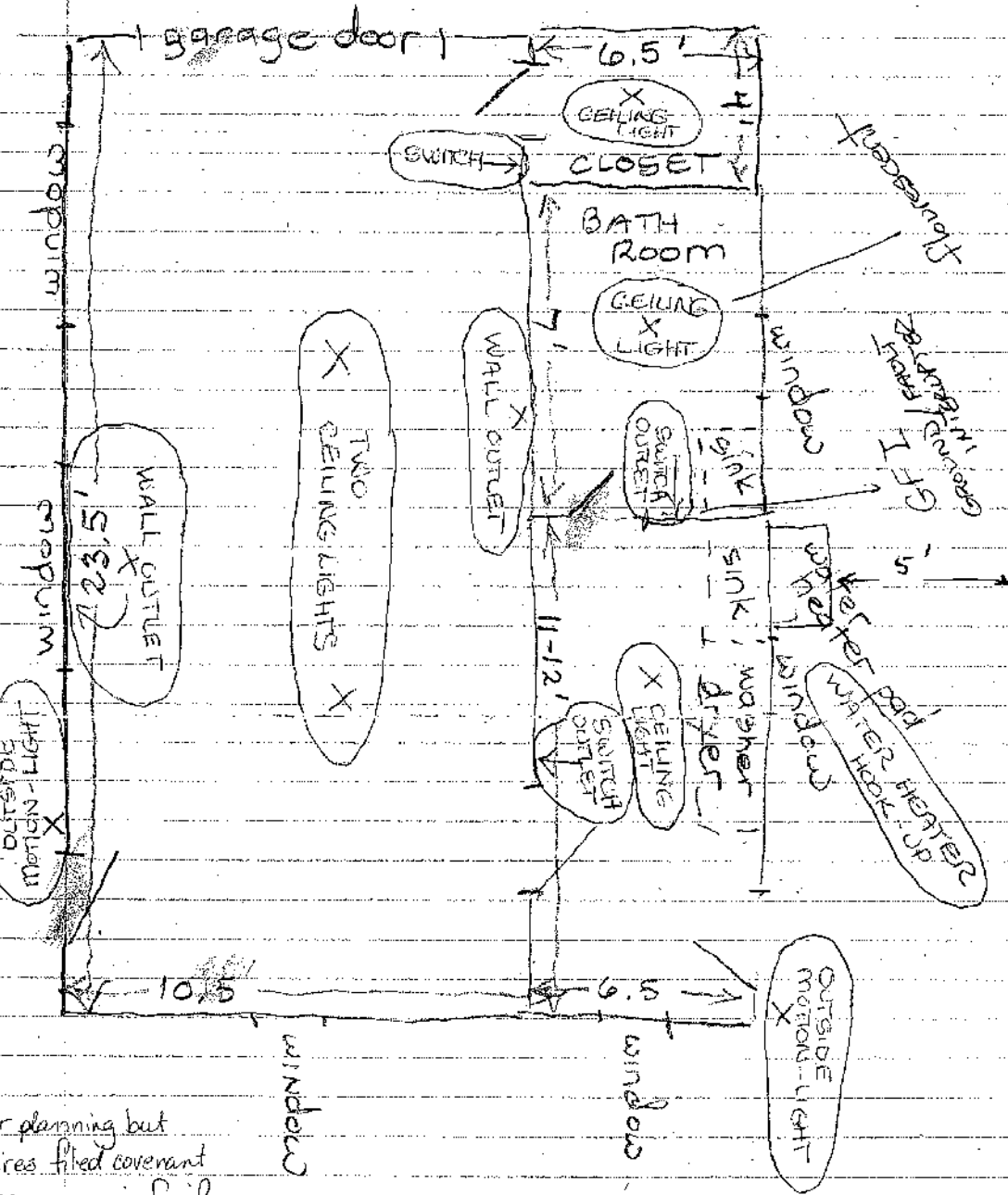
Planning Conditions

CUP2004-09/V2004-07

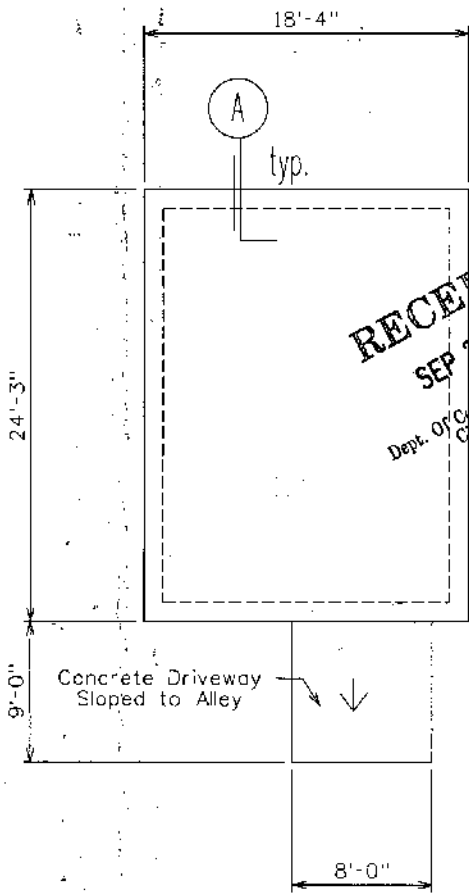
324 West Palm Avenue

1. The development shall be constructed in strict compliance with the approved site and building elevations.
2. Electrical power to the garage shall be underground.
3. No roof mounted mechanical equipment shall be permitted.
4. All paved parking and driveway areas shall be surfaced with Portland cement concrete (3-1/2" minimum).
5. The structure shall be used as a one-car garage with a laundry room and bathroom.
6. The project associated with the Conditional Use Permit shall begin within one (1) year after is approval or it will expire.
7. All exterior work shall be completed within 12 months from the date the structure is placed on the site. Depending on the extent of damage during transportation of the structure, repairs shall be made to the satisfaction of the Building Division.
8. The relocated building shall be lowered on its new foundation within thirty (30) days of placement on the site. The applicant may apply for an additional 30 days (not to exceed a maximum of 60 days from the date of this approval) subject to the approval of the Development Review Committee.
9. New exterior materials shall match the existing materials and style of the structure.
10. The garage shall be painted and be complimentary to the colors on the house and consistent with the era in which it was originally constructed.
11. The roof shall be reroofed to the satisfaction of the Building and Planning Divisions.
12. The building relocation shall be done in compliance with Chapter 15.24, Moving Buildings, of the MMC.
13. All of the above conditions shall be complied with prior to issuance of a certificate of occupancy.
14. The applicant shall, within 30 days after approval by the Planning Commission, submit to the Community Development Department his/her written consent to all of the conditions of approval referenced in Data Sheets 1, 2 and 3. The applicant understands that the Planning Commission's approval will be of no force or effect unless such written consent is submitted to the City within such 30-day period.

GARAGE
324 W. PALM AVE.

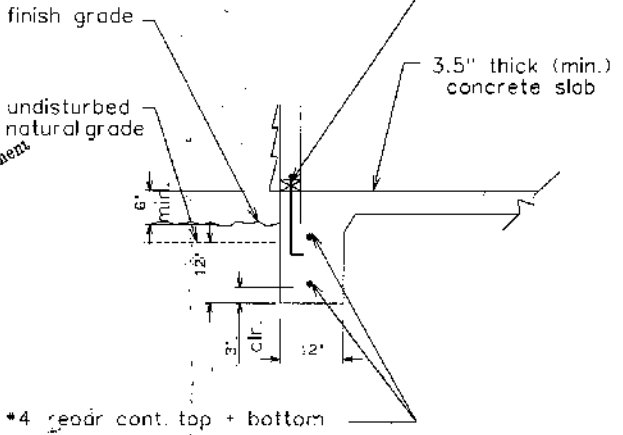


OK per planning but
requires filed covenant
before can give final
Ochoa 4-15-08



RECEIVED
SEP 23 2004
 Dept. Of Community Development
 City Of Monrovia

2x4 sillplate w/ 5/8" x 10" A.B.
 @ 6'-0" o.c. (12" max. from sillends)



Detail A

CONSTRUCTION SUBJECT
 TO FIELD INSPECTION

F O U N D A T I O N P L A N

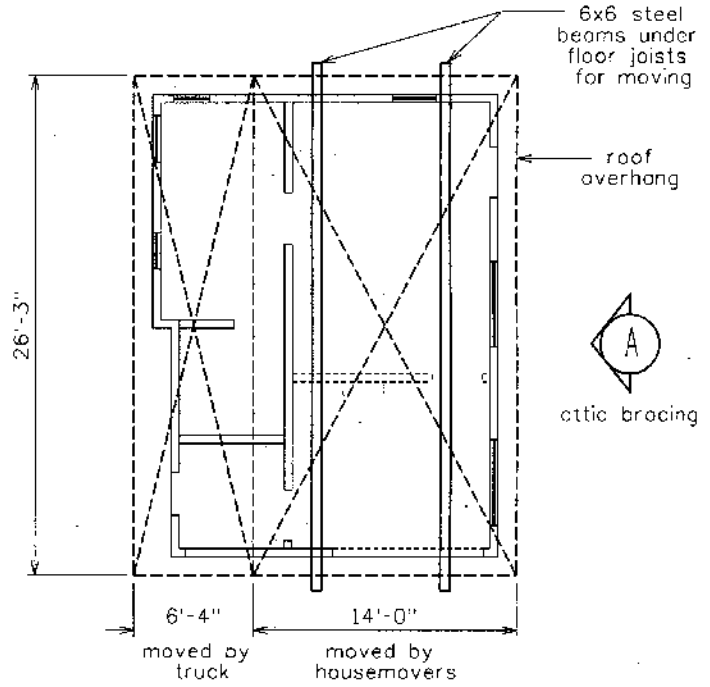
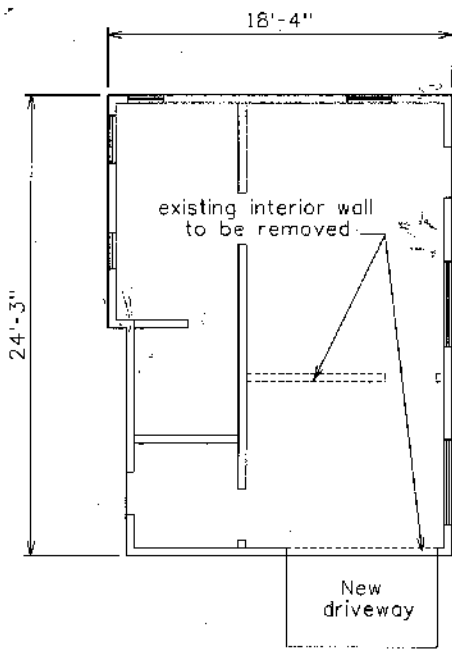


hendrix
 design

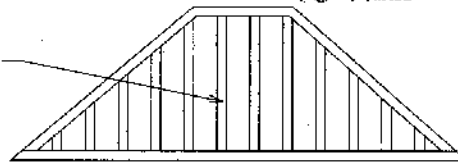
08-12-04

2

M O L L E N K O P F R E S I D E N C E
 324 West Palm Avenue
 Monrovia, CA 91016



2x studs, 16" on center typ.



Detail A
attic elevation

CONSTRUCTION SUBJECT TO FIELD INSPECTION

FLOOR / MOVE PLAN



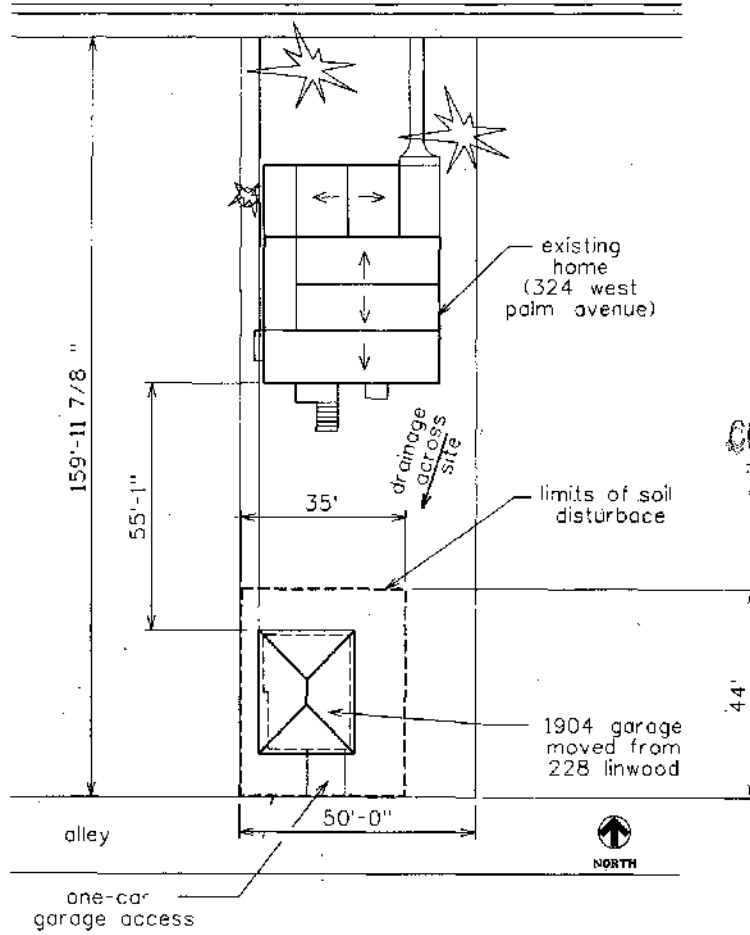
hendrix design

09-12-04

3

MOLLENKOPF RESIDENCE
324 West Palm Avenue
Monrovia, CA 91016

west palm avenue



CONSTRUCTION SUBJECT TO FIELD INSPECTION

S I T E P L A N / L S W P P P

M O L L E N K O P F R E S I D E N C E
324 West Palm Avenue
Monrovia, CA 91016

hendrix design

09-20-04

4

**CITY OF MONROVIA
BUILDING DIVISION**

415 S. Ivy Ave.
(626) 932-5527

CORRECTION NOTICE

ADDRESS 324 W Palm

PERMIT NO. _____ Date 11/30/05

Items to be corrected: _____

Conduit Sch 80 vs
Sch 40 above
ground

[Signature]
Inspector

Please call to schedule inspection after corrections have been completed.

REPORT OF INSPECTION

City of MONROVIA
 Building Division
 (626) 932-5527

ADDRESS

324 W Palm

Permit 11/15/05

BUILDING	PASS	FAIL	MECHANICAL	PASS	FAIL	PLUMBING	PASS	FAIL
SETBACK AND YARD			VENT SYSTEMS			GROUNDWORK SOIL		
TRENCH AND FORMS			PLENUM/DUCTS			GROUNDWORK WATER		
REINFORCING STEEL			DUCT SMOKE DETECTORS			UNDERFLOOR DRAINAGE		
UPPER GROUND			ROUGH HVAC			UNDERFLOOR WATER		
FIRST FLOOR JOISTS			FURNACE			UNDERFLOOR GAS		
SECOND FLOOR JOISTS			COMBUSTION AIR			WASTE/VENT TEST		
FLOOR SHEATHING			HOOD			SHOWER PAN TEST		
ROOF SHEATHING			FIRE DAMPERS			ROUGH PLUMBING		
SHEAR WALLS			REFRIGERATION UNDERGROUND			ROUGH GAS PIPING		
ROUGH FRAMING			REFRIGERATION ABOVEGROUND			ROUGH GAS TEST		
INSULATION/SOUND PROOFING			MECHANICAL FINAL			SEWER		
WALL & FOUNDATION WATER PROOFING						WATER SERVICE		
EXTERIOR LATH			ELECTRICAL			WATER HEATER		
EXTERIOR DRYWALL			TEMPORARY POWER POLE/SERVICE			COMBUSTION AIR		
INTERIOR LATH OR DRYWALL			UNDERGROUND			FINAL GAS TEST		
CONCRETE/MASONRY WALL REINFORCING			CONDUIT			GAS COMPANY NOTIFIED		
GROUTING-1ST POUR			ROUGH ELECTRICAL			PLUMBING FINAL		
GROUTING-2ND POUR			WIRING					
T-BAR CEILING			GROUNDING			SWIMMING POOL		
SMOKE DETECTORS			BONDING			POOL EQUIPMENT LOCATION		
HANDICAPPED ACCESS			FIXTURES			OVERHEAD WIRES		
BUILDING FINAL			SERVICE			FENCES & GATES		
<input type="checkbox"/> See attached Correction Notice			GFCI			BACKWASH		
			EDISON NOTIFIED			POOL COVER		
			ELECTRICAL FINAL			HEALTH FINAL		
						POOL FINAL		

Copper pipe in ceiling from where? (See feeding pipes)

1) Need a plumbing permit. Can only get a supplemental plumbing permit.

2) Before calling for electrical inspection need to update the electric permit to reflect actual field work.

Inspector _____ Date _____ Thank you

REPORT OF
INSPECTION

City of MONROVIA
Building Division
(818) 359-3231

ADDRESS 324 W Adams

BUILDING	PASS	FAIL	MECHANICAL	PASS	FAIL	PLUMBING	PASS	FAIL
SETBACK AND YARD			VENT SYSTEMS			GROUNDWORK SOIL		
TRENCH AND FORMS			PLENUM/DUCTS			GROUNDWORK WATER		
REINFORCING STEEL			DUCT SMOKE DETECTORS			UNDERFLOOR DRAINAGE		
UPPER GROUND			ROUGH HVAC			UNDERFLOOR WATER		
FIRST FLOOR JOISTS			FURNACE			UNDERFLOOR GAS		
SECOND FLOOR JOISTS			COMBUSTION AIR			WASTE/VENT TEST		
FLOOR SHEATHING			HOOD			SHOWER PAN TEST		
ROOF SHEATHING			FIRE DAMPERS			ROUGH PLUMBING		
SHEAR WALLS			REFRIGERATION UNDERGROUND			ROUGH GAS PIPING		
ROUGH FRAMING			REFRIGERATION ABOVEGROUND			ROUGH GAS TEST		
INSULATION/SOUND PROOFING			MECHANICAL FINAL			SEWER		
WALL & FOUNDATION WATER PROOFING						WATER SERVICE		
EXTERIOR LATH			ELECTRICAL			WATER HEATER		
EXTERIOR DRYWALL			TEMPORARY POWER POLE/SERVICE			COMBUSTION AIR		
INTERIOR LATH OR DRYWALL			UNDERGROUND			FINAL GAS TEST		
CONCRETE/MASONRY WALL REINFORCING			CONDUIT			GAS COMPANY NOTIFIED		
GROUTING-1ST POUR			ROUGH ELECTRICAL			PLUMBING FINAL		
GROUTING-2ND POUR			WIRING					
T-BAR CEILING			GROUNDING			SWIMMING POOL		
SMOKE DETECTORS			BONDING			POOL EQUIPMENT LOCATION		
HANDICAPPED ACCESS			FIXTURES			OVERHEAD WIRES		
BUILDING FINAL			SERVICE			FENCES & GATES		
<input type="checkbox"/> See attached Correction Notice			GFCI			BACKWASH		
			EDISON NOTIFIED			POOL COVER		
			ELECTRICAL FINAL			HEALTH FINAL		
						POOL FINAL		

① Need cold water ground testing

② unused opening need to seal

PLEASE CALL TO SCHEDULE
INSPECTION AFTER
CORRECTIONS HAVE BEEN
COMPLETED

Cum 12/29/05
Inspector Date

REPORT OF INSPECTION

Wegman's Map
 324 W Palm

City of MONROVIA
 Building Division

(626) 932-5527 • (626) 932-5581

ADDRESS

BUILDING	PASS	FAIL	MECHANICAL	PASS	FAIL	PLUMBING	PASS	FAIL
SETBACK AND YARD			VENT SYSTEMS			GROUNDWORK SOIL		
TRENCH AND FORMS			PLENUM/DUCTS			GROUNDWORK WATER		
REINFORCING STEEL			DUCT SMOKE DETECTORS			UNDERFLOOR DRAINAGE		
UPPER GROUND			ROUGH HVAC			UNDERFLOOR WATER		
FIRST FLOOR JOISTS			FURNACE			UNDERFLOOR GAS		
SECOND FLOOR JOISTS			COMBUSTION AIR			WASTE/VENT TEST		
FLOOR SHEATHING			HOOD			SHOWER PAN TEST		
ROOF SHEATHING			FIRE DAMPERS			ROUGH PLUMBING		
SHEAR WALLS			REFRIGERATION UNDERGROUND			ROUGH GAS PIPING		
ROUGH FRAMING			REFRIGERATION ABOVEGROUND			ROUGH GAS TEST		
INSULATION/SOUND PROOFING			MECHANICAL FINAL			SEWER		
WALL & FOUNDATION WATER PROOFING						WATER SERVICE		
EXTERIOR LATH			ELECTRICAL			WATER HEATER		
EXTERIOR DRYWALL			TEMPORARY POWER POLE/SERVICE			COMBUSTION AIR		
INTERIOR LATH OR DRYWALL			UNDERGROUND			FINAL GAS TEST		
CONCRETE/MASONRY WALL REINFORCING			CONDUIT			GAS COMPANY NOTIFIED		
GROUTING-1ST POUR			ROUGH ELECTRICAL			PLUMBING FINAL		
GROUTING-2ND POUR			WIRING					
T-BAR CEILING			GROUNDING			SWIMMING POOL		
SMOKE DETECTORS			BONDING			POOL EQUIPMENT LOCATION		
HANDICAPPED ACCESS			FIXTURES			OVERHEAD WIRES		
BUILDING FINAL			SERVICE			FENCES & GATES		
<input type="checkbox"/> See attached Correction Notice			GFCI			BACKWASH		
			EDISON NOTIFIED			POOL COVER		
			ELECTRICAL FINAL			HEALTH FINAL		
						POOL FINAL		

4/16/08

Met w/ Supervisor (Mollard) a Contractor @ site

- 1) Header at garage door
- 2) Protect plumbing from nails penetration
- 3) See file dated 4/1/03/03 from Chen

Inspector *John* Date *4/16/08*

PLEASE CALL TO SCHEDULE INSPECTION AFTER CORRECTIONS HAVE BEEN COMPLETED

CITY OF MONROVIA
BUILDING DIVISION

415 S. Ivy Ave.
(626) 932-5527

CORRECTION NOTICE

ADDRESS 324 W. Palm.

PERMIT NO. B-05-1006 Date 01/03/08

Items to be corrected: Please Provide/Correct the following

1. Call for Framing inspection prior to dry wall
2. " " Electrical " " " "
3. " " plumbing " " " " &

have the Drain & vent fill with water for water Test. Also, Provide metal safety plates to protect ABS & copper pipe @ Top & Bottom plates.

4. Provide GFI outlets @ Bathroom & Laundry Rms.

5. Provide exterior light.

6. Provide Garage Door opening for Sngl. Car min. of 9' opening - provide Garage door.

7. Provide Garage Header min. 4" X 10" & provide Shear wall panel @ each side of Door opening of Garage door.

Partial list.

Call when ready.

Thank you

Inspector

Please call to schedule inspection after corrections have been completed.

2/19/08 324 W Palm

Called 358-1618 left

Voice message to

Please come in to

get Planning approval

from Steve Seizmore

Before continuing ^{work} ~~work~~.

re. an electric permit

Covenant to be

recorded see

Steve Seizmore

Petra

LICENSED CONTRACTORS' DECLARATION

I hereby affirm under penalty of perjury that I am licensed under provisions of Chapter 9 (commencing with Section 7000) of Division 3 of the Business and Professions Code, and my license is in full force and effect.

License Class B License No. 777615 Date 3-8-04
 Contractor JJ's CONSTRUCTION

OWNER-BUILDER DECLARATION

I hereby affirm under penalty of perjury that I am exempt from the Contractors License Law for the following reason (Sec 7031.5, Business and Professions Code. Any city or county which requires a permit to construct, alter, improve, demolish, or repair any structure, prior to its issuance, also requires the applicant for such permit to file a signed statement that he or she is licensed pursuant to the provisions of the contractors License Law (Chapter 9 [commencing with Section 7000] of Division 3 of the Business and Professions Code) or that he or she is exempt therefrom and the basis for the alleged exemption. Any violation of Section 7031.5 by any applicant for a permit subjects the applicant to a civil penalty of not more than five hundred dollars (\$500):

I, as owner of the property, or my employees with wages as their sole compensation, will do the work and the structure is not intended or offered for sale (Sec 7044, Business and Professions Code. The Contractors License Law does not apply to an owner of property who builds or improves thereon, and who does such work himself or herself or through his or her own employees, provided that such improvements are not intended or offered for sale. If, however, the building or improvement is sold within one year of completion, the owner-builder will have the burden of proving that he or she did not build or improve for the purpose of sale.)

I, as owner of the property, am exclusively contracting with licensed contractors to construct the project (Sec 7044, Business and Professions Code. The Contractors License Law does not apply to an owner of property who builds or improves thereon, and who contracts for such projects with a contractor(s) licensed pursuant to the Contractors License Law)

I am exempt under Sec _____, B & PC for this reason _____

Date _____ Owner _____

WORKERS' COMPENSATION DECLARATION

I hereby affirm under penalty of perjury one of the following declarations

I, have and will maintain a certificate of consent to self-insure for workers' compensation, as provided for by Section 3700 of the Labor Code, for the performance of the work for which this permit is issued

I, have and will maintain workers' compensation insurance, as required by Section 3700 of the Labor Code, for the performance of the work for which this permit is issued. My workers' compensation insurance carrier and policy number are

Carrier _____ Policy Number _____

(This section need not be completed if the permit is for one hundred dollars [\$100] or less)

I certify that in the performance of the work for which this permit is issued, I shall not employ any person in any manner so as to become subject to the workers' compensation provisions of Section 3700 of the Labor Code, I shall forthwith comply with those provisions

Date 3-8-04 Applicant JJ's CONSTRUCTION

WARNING: FAILURE TO SECURE WORKERS' COMPENSATION COVERAGE IS UNLAWFUL, AND SHALL SUBJECT AN EMPLOYER TO CRIMINAL PENALTIES AND CIVIL FINES UP TO ONE HUNDRED THOUSAND DOLLARS (\$100,000), IN ADDITION TO THE COST OF COMPENSATION, DAMAGES AS PROVIDED FOR IN SECTION 3700 OF THE LABOR CODE, INTEREST, AND ATTORNEY'S FEES.

CONSTRUCTION LENDING AGENCY

I hereby affirm under penalty of perjury that there is a construction lending agency for the performance of the work for which this permit is issued (Sec. 3097, Civ. C).

Lender's Name N/A Lender's Address N/A

certify that I have read this application and state that the above information is correct. I agree to comply with all city and county ordinances and state laws relating to building construction, and hereby authorize representatives of this country to enter upon the above mentioned property for inspection purposes

Signature of Applicant or Agent [Signature] Date 3-8-04

**CITY OF MONROVIA
 DEPARTMENT OF
 COMMUNITY DEVELOPMENT
 415 S. IVY AVE.
 MONROVIA, CA 91016**

Bld 2004-03042

JOB ADDRESS 324 W. Palm
APN Book _____ **Page** _____ **Parcel** _____

(Legal description may be attached separately if necessary)

Use of Structure
 Single Family Duplex
 Unit Apt. Sign
 Commercial Indust
 Other _____

**APPLICATION FOR
 BUILDING PERMIT
 BUILDING & PLANNING
 DIVISIONS
 CITY OF MONROVIA**

New _____ **Add'n** _____ **Alter** _____ **Demo** _____
Description of Work REMODEL BEDROOM

Owner
 Name Peggy Mollen Kopf
 Address 324 W Palm
 City Monrovia Tel. No. _____

Contractor
 Name JOHN Kitzmiller
 Address 5757 Monte Vista
 City Los Angeles Tel No. 323-344-8202
 State Lic. B 777615 City Lic. _____

Architect or Engineer
 Name _____
 Address _____
 City _____ Tel. No. _____
 State Certificate No. _____

WORK COVERED BY THIS PERMIT

Height _____ **Fi.** _____ **Area** 181 **Sq. Ft.** _____
No. of Stories _____ **Valuation** \$ 9000.
Size of Lot _____ **No. of Bldgs.** _____
Use of Property _____
Now on Lot _____

Group Occupancy	Type of Const	Date	Plan Check	Permit
Checked by <u>R. Edging</u>	Approved by _____	Receipt # _____	Fee \$ _____	<u>5/19/04</u> <u>1213.00</u>

Zone _____	MINIMUM SETBACKS
Required Parking Spaces _____	Front _____ Rear _____
Special Permits or Conditions _____	_____ side _____ side _____
Zoning Approval _____	Date _____

CONSTRUCTED PRIOR TO INSPECTION
 4-2-04 *[Signature]*
 NO PLANS

INSPECTION RECORD

APPROVALS	DATE	INSPT	APPROVALS	DAT	INSPT
STRUCTURAL:			MECHANICAL:		
Forms & Foundation			Heating Rough		
Reinforcing Steel			Final		
Chimney Foundation			A/C-Fan Rough		
Chimney Reinforcing			Final		
Roof Sheathing Nailing			Exhaust Fan		
Masonry Steel			Compressor		
LIR 4' x 8'			Boiler		
Final Lift & Grout			SWIMMING POOL:		
Shear Panel Nail/Hdwre			Setbacks		
Framing			Overhead Wires		
Insulation			Sewer Loc /P-Trap		
Interior Lath/Drywall			Main Drain		
Exterior Lathing			Pool Piping		
ELECTRICAL:			Reinforcing		
Power Pole			Bonding		
Groundwork			Underground Conduit		
Conduit			Pool Equip Location		
Fixtures/Rough			Pool Heater Rough		
Finish			Final		
Service			Health Dept-non-SFR		
Signs			Pool Fences & Gates		
PLUMBING:			Backwash		
Groundwork			Pool Cover (Heated)		
Fixtures/Rough			Final Pool Electr		
Final			Final Pool Plumbing		
Gas Groundwork			Final Health-non-SFR		
Gas Test & Rough			Final Pool Approval		
Gas Final			MISCELLANEOUS:		
Sewer <input type="checkbox"/> Cesspool <input type="checkbox"/>			Demolition		
Sewer Cap			Re-Roof		
Water Heater Vents			Signs		
Water Heater Final			Fences		
			Accessibility Comp		
FINAL			FINAL		

LICENSED CONTRACTORS DECLARATION

I hereby affirm under penalty of perjury that I am licensed under provisions of Chapter 9 (commencing with Section 7000) of Division 3 of the Business and Professions Code, and my license is in full force and effect.

License Class _____ License No. _____ Date _____
 Contractor _____

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I, as owner of the property, or my employees with wages as their sole compensation, will do the work and the structure is not intended or offered for sale (Sec. 7044, Business and Professions Code. The Contractors License Law does not apply to an owner of property who builds or improves thereon, and who does such work himself or herself or through his or her own employees, provided that such improvements are not intended or offered for sale. If, however, the building or improvement is sold within one year of completion, the owner-builder will have the burden of proving that he or she did not build or improve for the purpose of sale.)

I, as owner of the property, am exclusively contracting with licensed contractors to construct the project (Sec 7044, Business and Professions Code. The Contractors License Law does not apply to an owner of property who builds or improves thereon, and who contracts for such projects with a contractor(s) licensed pursuant to the Contractors License Law).

I, am exempt under Sec _____ B & PC for this reason _____

Date 3/9/04 Owner Margaret S. Mollenkopf

WORKERS' COMPENSATION DECLARATION

I hereby affirm under penalty of perjury one of the following declarations:

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I, have and will maintain workers' compensation insurance, as required by Section 3700 of the Labor Code, for the performance of the work for which this permit is issued. My workers' compensation insurance carrier and policy number are:

Carrier _____ Policy Number _____

(This section need not be completed if the permit is for one hundred dollars [\$100] or less)
 I certify that in the performance of the work for which this permit is issued, I shall not employ any person in any manner so as to become subject to the workers' compensation provisions of Section 3700 of the Labor Code, I shall forthwith comply with those provisions

Date _____ Applicant: _____

WARNING: FAILURE TO SECURE WORKERS' COMPENSATION COVERAGE IS UNLAWFUL, AND SHALL SUBJECT AN EMPLOYER TO CRIMINAL PENALTIES AND CIVIL FINES UP TO ONE HUNDRED THOUSAND DOLLARS (\$100,000), IN ADDITION TO THE COST OF COMPENSATION, DAMAGES AS PROVIDED FOR IN SECTION 3700 OF THE LABOR CODE, INTEREST, AND ATTORNEY'S FEES

CONSTRUCTION LENDING AGENCY

I hereby affirm under penalty of perjury that there is a construction lending agency for the performance of the work for which this permit is issued (Sec. 3097, Civ C)

Lender's Name _____ Lender's Address _____

I certify that I have read this application and state that the above information is correct. I agree to comply with all city and county ordinances and state laws relating to building construction, and hereby authorize representatives of this country to enter upon the above-mentioned property for inspection purposes.

Signature of Applicant or Agent Margaret S. Mollenkopf Date 3/9/04

ELE 2004-03015

JOB ADDRESS 324 WEST PALM AVE.
 USE OF STRUCTURE
 RESIDENTIAL COMMERCIAL INDUSTRIAL
 DATE 3/9/04
 PERMIT NO _____
 TOTAL FEES \$ 70.60
 Checked by [Signature]

APPLICATION FOR
ELECTRIC PERMIT
 DEPARTMENT OF COMMUNITY
 DEVELOPMENT
 CITY OF MONROVIA

Name MARGARET S. MOLLENKOPF
 Address 324 WEST PALM AVE.
 City MONROVIA Tel. No. (226-358-1618)
 Contractor Name OWNER/BUILDER
 Address _____
 City _____ Tel. No. _____
 State Lic. _____ City Lic. _____

DESCRIPTION OF WORK			
No.	ITEM	FILING FEE	FEE
			22.55
	New Residential _____ sq. ft.	R-1 0.050 R-3 0.055	
2	Receptacles, Outlets, Switches	First 20 @ 1.05 Additional @ .70	2 10
	Light Fixtures, Sockets	First 20 @ 1.05 Additional @ .70	
	Residential Appliances Ranges, Cook Tops, Air-Cond., Garb. Dis.	4.35 ea.	
	Non-Residential Appliances	4.35 ea.	
	Motors _____	HP	
	Generators _____	KW	
	Transformers _____	KVA	
	Signs, Outline Lighting, Marquee	22.55 ea.	
	Signs-Additional Branch Circuits or Separate Feeders, etc.	4.35 ea.	
1	Electrical Service Equipment Under 200 Amps	27.95 ea.	27.95
	Service Equipment Under 200 A Amps _____ Volts _____ Over 200 A, See Schedule		
	Temporary Service R.E.S. 22.55	Con or Underground	39.20 ea.
	Buseways _____ Length _____	6.70 per 100 ft.	
	Priv. Swim. Pools	45.35	
	Miscellaneous		
			52.60
	Other Fees - Waste Impact 10.00, Computer Cost Recovery 3.25, Microfilming 4.75		18.00
		TOTAL FEE	70.60

LICENSED CONTRACTORS' DECLARATION

I hereby affirm under penalty of perjury that I am licensed under provisions of Chapter 9 (commencing with Section 7000) of Division 3 of the Business and Professions Code and my license is in full force and effect.
 License Class C-39 Lic. No. 411399 Date 10/13/99
 Contractor DANIELS ROOFING

CITY OF MONROVIA
 DEPARTMENT OF
 COMMUNITY DEVELOPMENT
 415 S IVY AVE
 MONROVIA, CA 91016
 (818) 359 3231

B9901340

OWNER - BUILDER DECLARATION

I hereby affirm under penalty of perjury that I am exempt from the Contractors License Law for the following reason (Sec 7031.5 Business and Professions Code) Any city or county which requires a permit to construct alter improve demolish or repair any structure prior to its issuance also requires the applicant for such permit to file a signed statement that he or she is licensed pursuant to the provisions of the Contractors License Law (Chapter 9 [commencing with Section 7000] of Division 3 of the Business and Professions Code) or that he or she is exempt therefrom and the basis for the alleged exemption. Any violation of Section 7031.5 by any applicant for a permit subjects the applicant to a civil penalty of not more than five hundred dollars (\$500)

I as owner of the property or my employees with wages as their sole compensation will do the work and the structure is not intended or offered for sale (Sec 7044 Business and Professions Code. The Contractors License Law does not apply to an owner of property who builds or improves thereon and who does such work himself or herself or through his or her own employees provided that such improvements are not intended or offered for sale. If, however the building or improvement is sold within one year of completion, the owner-builder will have the burden of proving that he or she did not build or improve for the purpose of sale.)

I as owner of the property am exclusively contracting with licensed contractors to construct the project (Sec 7044 Business and Professions Code. The Contractors License Law does not apply to an owner of property who builds or improves thereon and who contracts for such projects with a contractor(s) licensed pursuant to the Contractors License Law.)

I am exempt under Sec B & P C. for this reason
 Date Owner

WORKERS' COMPENSATION DECLARATION

I hereby affirm under penalty of perjury one of the following declarations

I have and will maintain a certificate of consent to self insure for workers' compensation, as provided for by Section 3700 of the Labor Code for the performance of the work for which this permit is issued

I have and will maintain workers' compensation insurance as required by Section 3700 of the Labor Code for the performance of the work for which this permit is issued. My workers' compensation insurance carrier and policy number are
 Carrier STATE FUND Policy Number 1096
 (This section need not be completed if the permit is for one hundred dollars (\$100) or less)

I certify that in the performance of the work for which this permit is issued, I shall not employ any person in any manner so as to become subject to the workers' compensation laws of California and agree that if I should become subject to the workers' compensation provisions of Section 3700 of the Labor Code, I shall forthwith comply with those provisions.
 Date 10/13/99 Applicant D. Daniels

WARNING FAILURE TO SECURE WORKERS' COMPENSATION COVERAGE IS UNLAWFUL, AND SHALL SUBJECT AN EMPLOYER TO CRIMINAL PENALTIES AND CIVIL FINES UP TO ONE HUNDRED THOUSAND DOLLARS (\$100,000), IN ADDITION TO THE COST OF COMPENSATION, DAMAGES AS PROVIDED FOR IN SECTION 3706 OF THE LABOR CODE, INTEREST, AND ATTORNEY'S FEES

CONSTRUCTION LENDING AGENCY

I hereby affirm under penalty of perjury that there is a construction lending agency for the performance of the work for which this permit is issued (Sec 3092, Civ. C.)

Lender's Name Lender's Address
 I certify that I have read this application and state that the above information is correct. I agree to comply with all city and county ordinances and state laws relating to building construction, and hereby authorize representatives of this county to enter upon the above-mentioned property for inspection purposes

Signature of Applicant or Agent Date

JOB ADDRESS <u>324 W. PALM</u>	
APN Book <u>8505</u>	Page <u>003</u> Parcel <u>005</u>
(Legal description may be obtained separately if necessary)	
Use of Structure Single Family <input checked="" type="checkbox"/> Duplex <input type="checkbox"/> Unit Apt <input type="checkbox"/> Sign <input type="checkbox"/> Commercial <input type="checkbox"/> Indust <input type="checkbox"/> Other <input type="checkbox"/>	
APPLICATION FOR BUILDING PERMIT BUILDING & PLANNING DIVISIONS CITY OF MONROVIA	
New <input type="checkbox"/> Addition <input type="checkbox"/> Alter <input type="checkbox"/> Demo <input type="checkbox"/>	
Description of Work <u>ROOF METAL 30 YR SHINGLES</u>	
Owner	Name <u>MARGARET MOENKOE</u> Address <u>324 W. PALM</u> City <u>MONROVIA</u> Tel No <u>358-168</u>
Contractor	Name <u>DANIELS ROOFING</u> Address <u>140 E. HILLCREST</u> City <u>MONROVIA</u> Tel No <u>303 2116</u> State Lic <u>411399</u> City Lic <u>BA010566</u>
Architect or Engineer	Name <u> </u> Address <u> </u> City <u> </u> Tel No <u> </u> State Certificate No <u> </u>
WORK COVERED BY THIS PERMIT	
Height <u> </u> Ft	Area <u> </u> Sq Ft
No of Stories <u> </u>	Valuation <u>\$1400.00</u>
Size of Lot <u> </u>	No of Bldgs Now on Lot <u> </u>
Use of Property <u> </u>	
Group Occupancy <u> </u>	Type of Load <u> </u>
Checked by <u> </u>	Approved by <u> </u>
Date <u>10/14/99</u>	Permit No <u>299-10-58</u>
Fee <u>88.00</u>	

ZONING

Zone _____	Minimum Setbacks
Required Parking Spaces _____	Front _____ Rear _____
Special Permits or Conditions _____	Side _____ Side _____
Zoning Approval _____	Date _____

INSPECTION RECORD

APPROVALS	DATE	INSP'T	APPROVALS	DATE	INSP'T R
STRUCTURAL			MECHANICAL		
Forms & Foundation			Heating Rough		
Reinforcing Steel			Final		
Chimney Foundation			A/C-Fan Rough		
Chimney Reinforcing			Final		
Roof Sheathing Nailing			Exhaust Fan		
Masonry Steel			Compressor		
Lift 4' □ 8' □			Boiler		
Final Lift & Grout			SWIMMING POOL		
Shear Panel Nail/Hdwre			Setbacks		
Framing			Overhead Wires		
Insulation			Sewer Loc /P-Trap		
Interior Lath/Drywall			Main Drain		
Exterior Lathing			Pool Piping		
ELECTRICAL			Reinforcing		
Power Pole			Bonding		
Groundwork			Underground Conduit		
Conduit			Pool Equip Location		
Fixtures/Rough			Pool Heater Rough		
Finish			Final		
Service			Health Dept-non-SFR		
Signs			Pool Fences & Gates		
PLUMBING			Backwash		
Groundwork			Pool Cover (Heated)		
Fixtures/Rough			Final Pool Electr'l		
Final			Final Pool Plumbing		
Gas Groundwork			Final Health-non-SFR		
Gas Test & Rough			Final Pool Approval		
Gas Final			MISCELLANEOUS		
Sewer <input type="checkbox"/> Cesspool <input type="checkbox"/>			Demolition		
Sewer Cap			Re-Roof		
Water Heater Vents			Signs		
Water Heater Final			Fences		
			Accessibility Comp		
FINAL			FINAL		

9/13/01

LICENSED CONTRACTORS' DECLARATION

I hereby affirm under penalty of perjury that I am licensed under provisions of Chapter 9 (commencing with Section 7000) of Division 3 of the Business and Professions Code, and my license is in full force and effect.

License Class _____ Lic. No. _____ Date _____
Contractor _____

OWNER - BUILDER DECLARATION

I hereby affirm under penalty of perjury that I am exempt from the Contractors License Law for the following reason (Sec. 7031.5, Business and Professions Code: Any city or county which requires a permit to construct, alter, improve, demolish, or repair any structure, prior to its issuance, also requires the applicant for such permit to file a signed statement that he or she is licensed pursuant to the provisions of the Contractors License Law (Chapter 9 (commencing with Section 7000) of Division 3 of the Business and Professions Code) or that he or she is exempt therefrom and the basis for the alleged exemption. Any violation of Section 7031.5 by any applicant for a permit subjects the applicant to a civil penalty of not more than five hundred dollars (\$500).:

I, as owner of the property, or my employees with wages as their sole compensation, will do the work, and the structure is not intended or offered for sale (Sec. 7044, Business and Professions Code: The Contractors License Law does not apply to an owner of property who builds or improves thereon, and who does such work himself or herself or through his or her own employees, provided that such improvements are not intended or offered for sale. If, however, the building or improvement is sold within one year of completion, the owner-builder will have the burden of proving that he or she did not build or improve for the purpose of sale.).

I, as owner of the property, am exclusively contracting with licensed contractors to construct the project (Sec. 7044, Business and Professions Code: The Contractors License Law does not apply to an owner of property who builds or improves thereon, and who contracts for such projects with a contractor(s) licensed pursuant to the Contractors License Law.).

I am exempt under Sec. _____, B. & P.C. for this reason: _____

Date 21 AUG 97 Owner Margaret Mollenkopf

WORKERS' COMPENSATION DECLARATION

I hereby affirm under penalty of perjury one of the following declarations:

I have and will maintain a certificate of consent to self-insure for workers' compensation, as provided for by Section 3700 of the Labor Code, for the performance of the work for which this permit is issued.

I have and will maintain workers' compensation insurance, as required by Section 3700 of the Labor Code, for the performance of the work for which this permit is issued. My workers' compensation insurance carrier and policy number are:

Carrier _____ Policy Number _____
(This section need not be completed if the permit is for one hundred dollars (\$100) or less).

I certify that in the performance of the work for which this permit is issued, I shall not employ any person in any manner so as to become subject to the workers' compensation laws of California, and agree that if I should become subject to the workers' compensation provisions of Section 3700 of the Labor Code, I shall forthwith comply with those provisions.

Date: _____ Applicant: _____

WARNING: FAILURE TO SECURE WORKERS' COMPENSATION COVERAGE IS UNLAWFUL, AND SHALL SUBJECT AN EMPLOYER TO CRIMINAL PENALTIES AND CIVIL FINES UP TO ONE HUNDRED THOUSAND DOLLARS (\$100,000), IN ADDITION TO THE COST OF COMPENSATION, DAMAGES AS PROVIDED FOR IN SECTION 3708 OF THE LABOR CODE, INTEREST, AND ATTORNEY'S FEES.

CONSTRUCTION LENDING AGENCY

I hereby affirm under penalty of perjury that there is a construction lending agency for the performance of the work for which this permit is issued (Sec. 3097, Civ. C).

Lender's Name _____ Lender's Address _____

I certify that I have read this application and state that the above information is correct. I agree to comply with all city and county ordinances and state laws relating to building construction, and hereby authorize representatives of this county to enter upon the above-mentioned property for inspection purposes.

Signature of Applicant or Agent _____ Date _____

CITY OF MONROVIA
DEPARTMENT OF
COMMUNITY DEVELOPMENT
415 S. IVY AVE.
MONROVIA, CA. 91016
(818) 359-3231

89700 920

IOB			
ADDRESS <u>324 West Palm Ave.</u>			
APN Book	<u>8505</u>	Page	<u>003</u>
		Parcel	<u>005</u>
(Legal description may be attached separately if necessary)			
Use of Structure			
Single Family	<input checked="" type="checkbox"/>	Duplex	<input type="checkbox"/>
Unit Apt.	<input type="checkbox"/>	Sign	<input type="checkbox"/>
Commercial	<input type="checkbox"/>	Indust	<input type="checkbox"/>
Other	_____		
APPLICATION FOR BUILDING PERMIT			
BUILDING & PLANNING DIVISIONS			
CITY OF MONROVIA			
New	Add'n	<input checked="" type="checkbox"/>	Alter
			Demo
Description of Work <u>ADD 3'x10' STORAGE SHED TO SIDE OF HOUSE (WILL ALSO HOUSE WATER HEATER)</u>			
Owner	Name	<u>MARGARET MOLLENKOPF</u>	
	Address	<u>324 West Palm Ave</u>	
	City	<u>MONROVIA</u>	Tel. No. <u>358-1618</u>
Contractor	Name	<u>PAUL COLBURN CONSTRUCTION</u>	
	Address	<u>1559 OAKDALE ST.</u>	
	City	<u>PASADENA</u>	Tel. No. <u>557-4888</u>
	State Lic.	<u>667625</u>	City Lic. _____
Architect or Engineer	Name	_____	
	Address	_____	
	City	_____	Tel. No. _____
	State Certificate No.	_____	
WORK COVERED BY THIS PERMIT			
Height	<u>10 Ft. 10"</u>	Area	_____ Sq. Ft.
No. of Stories	_____	Valuation \$	_____
Size of lot	_____	No. of Bldgs. Now on lot	<u>1</u>
Use of Property	<u>RESIDENCE</u>		
Group Occupancy	Type of Const.	Date	Plan Check
Checked by	Approved by	Receipt #	Permit
		Fee	<u>8/15/97</u>

ZONING

Zone _____ Minimum Setbacks
 Required Parking Front _____ Rear _____
 Spaces _____ side _____ side _____
 Special Permits or Conditions _____
 Zoning Approval *[Signature]* Date *04/17/11*

WALK THROUGH ON
 PORCHES CLEAR,
 RIGHT INSURANCE TO BE REFINISHED
 IN INTERIOR WALLS IN ROOMS
 SIDING TO BE REFINISHED,
 SIDE SIDING ON SHEET
 5' 3" →
 10 FT
 4" MAX CREANAGE @ 1/2 IN. @ 3"
 5/8" OF THICKNESS (INCLUDES THE BRACKETS)
 1/2" MAX TOLERANCE
 1/4" MAX TOLERANCE
 1/4" MAX TOLERANCE

INSPECTION RECORD

APPROVALS	DATE	INSP'T	APPROVALS	DAT	INSP'TR
STRUCTURAL:			MECHANICAL:		
Forms & Foundation			Heating Rough		
Reinforcing Steel			Final		
Chimney Foundation			A/C-Fan Rough		
Chimney Reinforcing			Final		
Roof Sheathing Nailing			Exhaust Fan		
Masonry Steel			Compressor		
Lift 4" 8"			Boller		
Final Lift & Grout			SWIMMING POOL:		
Shear Panel Nail/Hdwre			Setbacks		
Framing			Overhead Wires		
Insulation			Sewer Loc./P-Trap		
Interior Lath/Drywall			Main Drain		
Exterior Lathing			Pool Piping		
ELECTRICAL:			Reinforcing		
Power Pole			Bonding		
Groundwork			Underground Conduit		
Conduit			Pool Equip. Location		
Fixtures/Rough			Pool Heater Rough		
Finish			Final		
Service			Health Dept./non-SFR		
Signs			Pool Fences & Gates		
PLUMBING:			Backwash		
Groundwork			Pool Cover (Heated)		
Fixtures/Rough			Final Pool Electr'		
Final			Final Pool Plumbing		
Gas Groundwork			Final Health-non-SFR		
Gas Test & Rough			Final Pool Approval		
Gas Final			MISCELLANEOUS:		
Sewer <input type="checkbox"/> Cesspool <input type="checkbox"/>			Demolition		
Sewer Cap			Re-Roof		
Water Heater Vents			Signs		
Water Heater Final			Fences		
			Accessibility Comp		
FINAL			FINAL		

*No permit required
under 120 ft*

WORKERS' COMPENSATION DECLARATION

I hereby affirm that I have a certificate of consent to self insure, or a certificate of Workers' Compensation Insurance, or a certified copy thereof (Sec. 3800, Lab. C.)

Policy No. WALSWORTH Company Ohio Casualty

Certified copy is hereby furnished.

Certified copy is filed with the city building inspection department.

Date 6/15 Applicant Seath

CERTIFICATE OF EXEMPTION FROM WORKERS' COMPENSATION INSURANCE

(This section need not be completed if the permit is for one hundred dollars (\$100) or less.)

I certify that in the performance of the work for which this permit is issued, I shall not employ any person in any manner so as to become subject to the Workers' Compensation Laws.

Date _____ Applicant _____
 NOTICE TO APPLICANT: If, after making this Certificate of Exemption, you should become subject to the Workers' Compensation provisions of the Labor Code, you must forthwith comply with such provisions or this permit shall be deemed revoked.

LICENSED CONTRACTORS DECLARATION

I hereby affirm that I am licensed under provisions of Chapter B (commencing with Section 7000) of Division 3 of the Business and Professions Code, and my license is in full force and effect.

License Number 549215 Lic. Class B

Contractor Ed Sulvis Date 6/15/92

I am exempt from the licensing requirements as I am a licensed architect or a registered professional engineer acting in my professional capacity (Section 7051, Business and Professions Code).

Lic. or Reg. No. _____ Date _____

OWNER-BUILDER DECLARATION

I hereby affirm that I am exempt from the Contractor's License Law for the following reason (Section 7031.5, Business and Professions Code):

I, as owner of the property, or my employees with wages as their sole compensation, will do the work and the structure is not intended or offered for sale (Section 7044, Business and Professions Code).

I, as owner of the property, am exclusively contracting with licensed contractors to construct the project (Section 7044, Business and Professions Code).

CONSTRUCTION LENDING AGENCY

I hereby affirm that there is a construction lending agency for the performance of the work for which this permit is issued (Sec. 3097, Civ. C.).

Lender's Name _____

Lender's Address _____

I certify that I have read this application and state that the above information is correct. I agree to comply with all City ordinances and State laws relating to building construction, and hereby authorize representatives of this City to enter upon the above-mentioned property for inspection purposes.

Seath Signature of Applicant or Agent Date 6/15/92

CITY OF MONROVIA
 DEPARTMENT OF
 COMMUNITY DEVELOPMENT
 415 S. IVY AVE.
 MONROVIA, GA. 91016
 (818) 359-3231

White

JOB ADDRESS 324 W. PAIM AVE
 LEGAL DESCRIPTION Book 8505 Page 003 Parcel 005

(Legal description may be attached separately if necessary)

Use of Structure
 Single Family Duplex
 Unit Apt. Sign
 Commercial Indust.
 Other _____

APPLICATION FOR
BUILDING PERMIT
 BUILDING & PLANNING
 DIVISIONS
 CITY OF MONROVIA

New _____ Add'n _____ Alter _____ Demo _____
 Description of Work Foundation Anchorage Retrofit

Owner	Name <u>MallenKape</u>
	Address <u>324 W. PAIM AVE</u> City <u>MONROVIA</u> Tel. No. _____
Contractor	Name <u>Ed Sulvis</u>
	Address <u>881 Elizabeth</u>
	City <u>Pasadena</u> Tel. No. <u>791-4086</u> State Lic. <u>529415</u> City Lic. <u>00277</u>
Architect or Engineer	Name <u>T.A. Puckiss</u>
	Address <u>4592 Angler Creek Hwy #208</u>
	City <u>LA Canada</u> Tel. No. _____ State Certificate No. <u>53291</u>

WORK COVERED BY THIS PERMIT
 Height _____ Ft. Area _____ Sq. Ft.
 No. of Stories _____ Valuation \$ 999.00
 Size of Lot _____ No. of Bldgs. _____
 Use of Property _____

Group Occupancy _____	Type of Const. _____	Date _____	Plan Check Permit _____
Checked by <u>R. Edney</u>	Approved by _____	Receipt # <u>992-0205</u>	Fee \$ <u>42.50</u>

ZONING

Zone _____	Fire District _____	Minimum Setbacks Front _____ Rear _____ Side _____ Side _____
Required Parking Spaces _____	Special Permits or Conditions _____	Zoning Approval _____ Date _____

FEE TO BE PAID BEFORE/OR AT TIME OF ISSUANCE OF THE BUILDING PERMIT

School Facility Fee - Sq. Ft. _____ x _____ = _____

Construction Tax Account No.: 311-32150

\$ Bedrooms x \$125. = Construction Tax Fee (Max. \$500. per dwelling)

Receipt No.: _____

Sanitation Fund Account No.: 421-34540

\$ Units x EDU x Zone \$ Fee = Fee

Receipt No.: _____

Sewer Deficiency Fund Account No.: 422-34540

\$ Units x EDU x Zone \$ Fee = Fee

Receipt No.: _____

L.A. County Sanitation Fee - Receipt No.: _____

Fees to be paid before the issuance of the Sewer Permit.

Finalized 7-23-92

INSPECTION RECORD

APPROVALS	DATE	INSPECTOR
Forms & Foundation		
Reinforcing Steel		
Chimney Foundation		
Chimney Reinforcing		
Electrical Groundwork		
Plumbing Groundwork		
Duct Groundwork		
Masonry Steel		
Lift 4' <input type="checkbox"/> 8' <input type="checkbox"/> 12' <input type="checkbox"/>		
Final Lift & Grout		
Framing		
Insulation		
Sheathing Nailing		
Wall <input type="checkbox"/> Roof <input type="checkbox"/>		
Rough Electrical		
Rough Plumbing		
Gas Test Rough		
Rough Heating &		
Ventilating <input type="checkbox"/> A/C <input type="checkbox"/>		
Interior Lathing/Drywall		
Exterior Lathing		
Sewer <input type="checkbox"/> Cesspool <input type="checkbox"/>		
Electrical Fixtures <input type="checkbox"/>		
Service <input type="checkbox"/>		
Plumbing Fixtures		
Gas Test Final		
Final Heating &		
Ventilating <input type="checkbox"/> A/C <input type="checkbox"/>		
Pool Fence		
Parking		
Landscaping		
Walls <input type="checkbox"/> Fences <input type="checkbox"/>		
FIRE DEPT.		
FINAL		
NOTES:		

7/23/92

REMARKS

Blank lined area for handwritten remarks.

OTHER DIAGRAM

Blank area for other diagrams or drawings.

CERTIFICATE OF OCCUPANCY

A certificate of occupancy must be issued before building can be occupied.

This form when properly endorsed is notice that the work described herein has been inspected and approved and the occupancy stated has been authorized.

Date _____ Building Inspector _____

STRUCTURAL CALCULATIONS and DETAILS
FOR
RESIDENTIAL FOUNDATION ANCHORAGE RETROFIT

MALLENKOPF RESIDENCE
324 W. PALM AVE.
MONROVIA, CA

Existing
1 Story
Residence



----- W. PALM AVE. -----

LOCATION PLAN
N.T.S.



Shear Capacity of Anchor Plates

Lag Bolt Capacity:

Single Shear, 3/8" φ, 3" min Embed
Metal Side Plates, 1/3 increase, parallel to grain

Each bolt = $.32^2 (1.33) = .425^k$

Lag Bolt Capacity = $2(.425) = .85^k$

Plate Capacity:

Plate Shear Capacity = $.4 F_y (1.33) (\text{Area})$
 $= .4 (36) (1.33) (3/16) (9 - 2 \times .75)$
 $= 26.9^k$

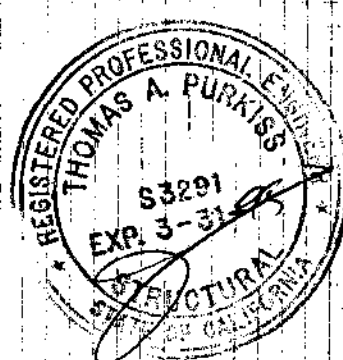
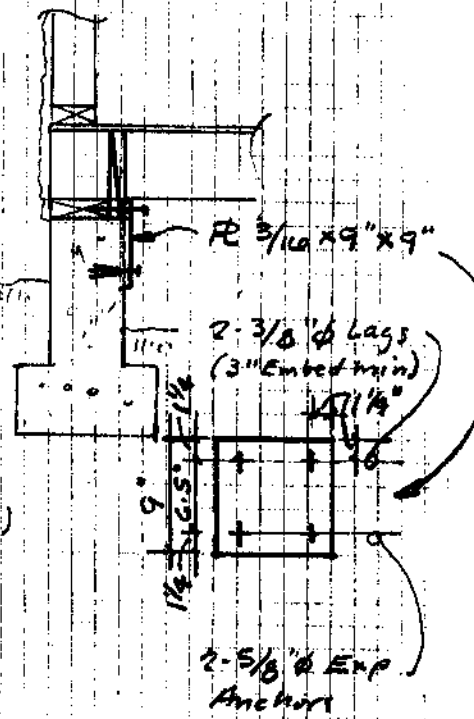
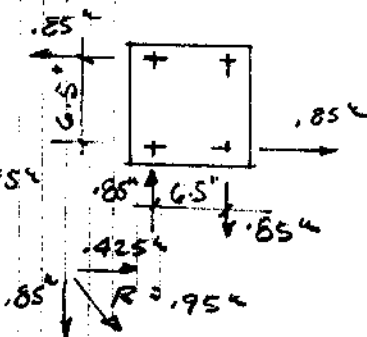
Lag Screws Govern

Rotation Resisted
by Exp. Anchors
only

Vertical Component

= $.85 (4.5) / 6.5 = .85^k$

$R = \sqrt{.85^2 + .425^2} = .95^k$



Max Exp Bolt Shear = $.95^k$ - Use 5/8" φ Exp Anchors

Capacity of Plate System = 850 lb

For one story portions, Assume Wall Shear = 130 lb/ft

Spacing Req'd = $.85 / .13 = 6.5'$

For two story portions, Assume Wall Shear = 200 lb/ft

Spacing Req'd = $.85 / .20 = 4.25'$

Use Anchor Plates @ 6'-0" o.c. @ One Story Areas
Use Anchor Plates @ 4'-0" o.c. @ Two Story Areas



EXISTING FRAMING

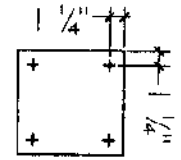
WHERE PLYWOOD OCCURS, ADD 2x FLAT BLK'G WITH 16d AT 6" O.C. TO SILL PLATE

EXISTING CONC. FDN.

ADD SIMPSON A-35 AT 24" O.C. (RIM JOIST TO TOP PLATE). IF NO RIM JOIST EXISTS, ADD 2x BLK'G AT 4'-0" O.C. WITH 2 - SIMPSON A-35F EACH BLOCK TO TOP PLATE.

ADD 3/8" PLYWOOD OVER 70% MIN. OF STUDS W/ 8d AT 6" O.C. EDGES, 8d AT 12" O.C. FIELD (50% AT 1-STORY AREAS)

SHIM IF REQUIRED



NEW STEEL PLATE 3/16 X 9" X 9" WITH 2 - 3/8" ϕ X 4" LAG BOLTS TO SILL PL AND 2 - 5/8" ϕ EXPANSION ANCHORS TO CONC. FDN. SPACE AT 4'-0" O.C. AT 2-STORY AREAS, AND AT 6'-0" O.C. AT 1-STORY AREAS. EMBED LAGS & CONCRETE ANCHORS 3" MINIMUM.

NOTE: IF HEIGHT CLEARANCE PERMITS, USE 5/8" ϕ EXPANSION ANCHORS IN LIEU OF STEEL PLATES. SPACE AT SAME INTERVALS AS PLATES.

NOTE: THIS DETAIL WAS NOT DESIGNED FOR THE SPECIFIC LOADS OF THIS BUILDING. ONLY A NOMINAL TIE IS BEING PROVIDED TO INCREASE THE RESISTANCE TO SEISMIC AND WIND LOADS.

SECTION WHERE JOISTS ARE PERPENDICULAR

UPDATE

FILE ADDRESS:

329 W. PALM

ZONING

Zone _____	Minimum setbacks
Required Parking _____	Front _____ Rear _____
Spaces _____	_____ side _____ side _____
Special Permits or Conditions _____	
Zoning Approval _____ Date _____	

INSPECTION RECORD

APPROVALS	DATE	INSP'T	APPROVALS	DATE	INSP'TR
STRUCTURAL:			MECHANICAL:		
Forms & Foundation			Heating Rough		
Reinforcing Steel			Final		
Chimney Foundation			A/C-Fan Rough		
Chimney Reinforcing			Final		
Roof Sheathing Nailing	3/13/97		Exhaust Fan		
Masonry Steel			Compressor		
Lift 4' x 8'			Boiler		
Final Lift & Grout			SWIMMING POOL:		
Shear Panel Nail/Hdwrs			Setbacks		
Framing			Overhead Wires		
Insulation			Sewer Loc./P-Trap		
Interior Lath/Drywall			Main Drain		
Exterior Lathing			Pool Piping		
ELECTRICAL:			Reinforcing		
Power Pole			Bonding		
Groundwork			Underground Conduit		
Conduit			Pool Equip. Location		
Fixtures/Rough			Pool Heater Rough		
Finish			Final		
Service			Health Dept-non-SFR		
Signs			Pool Fences & Gates		
PLUMBING:			Backwash		
Groundwork			Pool Cover (Heated)		
Fixtures/Rough			Final Pool Electr		
Final			Final Pool Plumbing		
Gas Groundwork			Final Health-non-SFR		
Gas Test & Rough			Final Pool Approval		
Gas Final			MISCELLANEOUS:		
Sewer <input type="checkbox"/> Cesspool <input type="checkbox"/>			Demolition		
Sewer Cap			Re-Roof		
Water Heater Vents			Signs		
Water Heater Final			Fences		
			Accessibility Comp		
FINAL	3/15/97		FINAL		

READY FOR FINAL INSPECTION

B9600062

I hereby affirm under penalty of perjury that I am licensed under provisions of Chapter 9 (commencing with Section 7000) of Division 3 of the Business and Professions Code, and my license is in full force and effect.

License Class C36 Lic. No. 683107 Date 1/1/96
 Contractor R. Bell

OWNER-BUILDER DECLARATION

I hereby affirm under penalty of perjury that I am exempt from the Contractors License Law for the following reason (Sec. 7001.5, Business and Professions Code: Any city or county which requires a permit to construct, alter, improve, demolish, or repair any structure, prior to its issuance, also requires the applicant for such permit to file a signed statement that he or she is licensed pursuant to the provisions of the Contractors License Law (Chapter 9 [commencing with Section 7000] of Division 3 of the Business and Professions Code) or that he or she is exempt therefrom and the basis for the alleged exemption. Any violation of Section 7001.5 by any applicant for a permit subjects the applicant to a civil penalty of not more than five hundred dollars (\$500):

- I, as owner of the property, or my employees with wages as their sole compensation, will do the work, and the structure is not intended or offered for sale (Sec. 7044, Business and Professions Code: The Contractors License Law does not apply to an owner of property who builds or improves thereon, and who does such work himself or herself or through his or her own employees, provided that such improvements are not intended or offered for sale. If, however, the building or improvement is sold within one year of completion, the owner-builder will have the burden of proving that he or she did not build or improve for the purpose of sale.)
- I, as owner of the property, am exclusively contracting with licensed contractors to construct the project (Sec. 7044, Business and Professions Code: The Contractors License Law does not apply to an owner of property who builds or improves thereon, and who contracts for such projects with a contractor(s) licensed pursuant to the Contractors License Law.)
- I am exempt under Sec. _____, B.&P.C. for this reason: _____

Date _____ Owner _____

WORKERS' COMPENSATION DECLARATION

I hereby affirm under penalty of perjury one of the following declarations:

- I have and will maintain a certificate of consent to self-insure for workers' compensation, as provided for by Section 3700 of the Labor Code, for the performance of the work for which this permit is issued.
- I have and will maintain workers' compensation insurance, as required by Section 3700 of the Labor Code, for the performance of the work for which this permit is issued. My workers' compensation insurance carrier and policy number are:

Carrier _____ Policy Number _____

(This section need not be completed if the permit is for one hundred dollars (\$100) or less.)

I certify that in the performance of the work for which this permit is issued, I shall not employ any person in any manner so as to become subject to the workers' compensation laws of California, and agree that if I should become subject to the workers' compensation provisions of Section 3700 of the Labor Code, I shall forthwith comply with those provisions.

Date 1/1/96 Applicant: R. Bell

WARNING: FAILURE TO SECURE WORKERS' COMPENSATION COVERAGE IS UNLAWFUL, AND SHALL SUBJECT AN EMPLOYER TO CRIMINAL PENALTIES AND CIVIL FINES UP TO ONE HUNDRED THOUSAND DOLLARS (\$100,000), IN ADDITION TO THE COST OF COMPENSATION, DAMAGES AS PROVIDED FOR IN SECTION 3706 OF THE LABOR CODE, INTEREST, AND ATTORNEY'S FEES.

CONSTRUCTION LENDING AGENCY

I hereby affirm under penalty of perjury that there is a construction lending agency for the performance of the work for which this permit is issued (Sec. 3067, Civ. C).

Lender's Name _____ Lender's Address _____

I certify that I have read this application and state that the above information is correct. I agree to comply with all city and county ordinances and state laws relating to building construction, and hereby authorize representatives of this county to enter upon the above-mentioned property for inspection purposes.

Signature of Applicant or Agent R. Bell 1/1/96
 Please send copy of permit.

JOB ADDRESS <u>324 W. PALM AVE</u>		
USE OF STRUCTURE		
<input checked="" type="checkbox"/> RESIDENTIAL <input type="checkbox"/> COMMERCIAL <input type="checkbox"/> INDUSTRIAL		
DATE <u>1-17-96</u>	APPLICATION FOR PLUMBING PERMIT DEPARTMENT OF COMMUNITY DEVELOPMENT CITY OF MONROVIA	
PERMIT NO. <u>R96-01-154</u>		
TOTAL FEES \$ <u>50.50</u>		
Checked by <u>R. Bell</u>		
Owner	Name <u>MARION KYLE MARCY</u>	
	Address <u>577 PALM</u>	
	City _____	Tel. No. <u>358-1618</u>
Contractor	Name <u>R. B. BELL</u>	
	Address <u>3940 VALLEY RD</u>	
	City <u>WALNUT</u>	Tel. No. <u>544-3686</u>
	State Lic. <u>683107</u>	City Lic. <u>BA0196CY</u>
DESCRIPTION OF WORK		
No.	ITEM	FEE
	FILING FEE	22 00
FIXTURES	<input type="checkbox"/> Sink <input type="checkbox"/> Lavatory <input type="checkbox"/> Water Closet	
	<input type="checkbox"/> Shower <input type="checkbox"/> Bath Tub <input type="checkbox"/> Auto Washer	
	<input type="checkbox"/> Urinal <input type="checkbox"/> Wash Tray <input type="checkbox"/> Floor Drain	
	<input type="checkbox"/> Disposal <input type="checkbox"/> Dishwasher <input type="checkbox"/> 8.75 ea.	
	Drainage or Vent Repair/Alter	4.50 ea.
	Sewer _____ Cap _____	22.00 ea.
Private Sewage System	65.50 ea.	
Cesspool or Drywell	33.25 ea.	
Interceptor _____	17.75 ea.	
Rainwater System - Inside Bldg. - per drain	8.75 ea.	
Water Piping System	4.25 ea.	
<u>Water Heater and/or Vents</u>	11.00 ea.	11 00
Gas Piping System Outlets	1-5 5.50 over 5 1.00 ea.	
Leak Sprinkler System	13.25 ea.	
Vacuum Breakers or Back Flow Devices	1-5 11.00 over 5 2.00 ea.	
Swimming Pools	Private 54.00 Public 61.50	
Spas	Private 27.00 Public 64.00	
Miscellaneous		33 00
Other Fees - Waste Impact 10.00, Computer Cost Recovery 3.00, Microfilming 4.50		17 50
TOTAL FEE		50 50

LICENSED CONTRACTORS' DECLARATION

I hereby affirm under penalty of perjury that I am licensed under provisions of Chapter 9 (commencing with Section 7000) of Division 3 of the Business and Professions Code, and my license is in full force and effect.

License Class _____ Lic. No. _____ Date FEB 15, '96

Contractor _____

OWNER-BUILDER DECLARATION

I hereby affirm under penalty of perjury that I am exempt from the Contractors License Law for the following reason (Sec. 7031.5, Business and Professions Code. Any city or county which requires a permit to construct, alter, improve, demolish, or repair any structure, prior to its issuance, also requires the applicant for such permit to file a signed statement that he or she is licensed pursuant to the provisions of the Contractors License Law (Chapter 9 [commencing with Section 7000] of Division 3 of the Business and Professions Code) or that he or she is exempt therefrom and the basis for the alleged exemption. Any violation of Section 7031.5 by any applicant for a permit subjects the applicant to a civil penalty of not more than five hundred dollars (\$500):

I, as owner of the property, or my employee with wages as their sole compensation, will do the work, and the structure is not intended or offered for sale (Sec. 7044, Business and Professions Code. The Contractors License Law does not apply to an owner of property who builds or improves thereon, and who does such work himself or herself or through his or her own employees, provided that such improvements are not intended or offered for sale. If, however, the building or improvement is sold within one year of completion, the owner-builder will have the burden of proving that he or she did not build or improve for the purpose of sale.)

I, as owner of the property, am exclusively contracting with licensed contractors to construct the project (Sec. 7044, Business and Professions Code. The Contractors License Law does not apply to an owner of property who builds or improves thereon, and who contracts for such projects with a contractor(s) licensed pursuant to the Contractors License Law.)

I am exempt under Sec. _____ B & P.C. for this reason: _____

Date FEB 15, '96 Owner [Signature]

WORKERS' COMPENSATION DECLARATION

I hereby affirm under penalty of perjury one of the following declarations:

I have and will maintain a certificate of consent to self-insure for workers' compensation, as provided for by Section 3700 of the Labor Code, for the performance of the work for which this permit is issued.

I have and will maintain workers' compensation insurance, as required by Section 3700 of the Labor Code, for the performance of the work for which this permit is issued. My workers' compensation insurance carrier and policy number are: _____

Carrier _____ Policy Number _____

(This section need not be completed if the permit is for one hundred dollars (\$100) or less.)

I certify that in the performance of the work for which this permit is issued, I shall not employ any person in any manner so as to become subject to the workers' compensation laws of California, and agree that if I should become subject to the workers' compensation provisions of Section 3700 of the Labor Code, I shall forthwith comply with those provisions.

Date: _____ Applicant: _____

WARNING: FAILURE TO SECURE WORKERS' COMPENSATION COVERAGE IS UNLAWFUL, AND SHALL SUBJECT AN EMPLOYER TO CRIMINAL PENALTIES AND CIVIL FINES UP TO ONE HUNDRED THOUSAND DOLLARS (\$100,000), IN ADDITION TO THE COST OF COMPENSATION, DAMAGES AS PROVIDED FOR IN SECTION 3706 OF THE LABOR CODE, INTEREST, AND ATTORNEY'S FEES.

CONSTRUCTION LENDING AGENCY

I hereby affirm under penalty of perjury that there is a construction lending agency for the performance of the work for which this permit is issued (Sec. 3097, Civ. C.)

Lender's Name _____ Lender's Address _____

I certify that I have read this application and state that the above information is correct. I agree to comply with all city and county ordinances and state laws relating to building construction, and hereby authorize representatives of this county to enter upon the above-mentioned property for inspection purposes.

Signature of Applicant or Agent _____ Date _____

JOB ADDRESS 324 W. PALM AVE

USE OF STRUCTURE
 RESIDENTIAL COMMERCIAL INDUSTRIAL

DATE FEB 15, '96
 PERMIT NO. 196-62-152
 TOTAL FEES \$ 53.00
 Checked by CB

APPLICATION FOR
PLUMBING PERMIT
 DEPARTMENT OF COMMUNITY
 DEVELOPMENT
 CITY OF MONROVIA

Owner Name MOLLERKOPF
 Address 324 W. PALM AVE
 City MONROVIA Tel. No. _____

Contractor Name OWNER
 Address _____
 City _____ Tel. No. _____
 State Lic. _____ City Lic. _____

DESCRIPTION OF WORK

No.	ITEM	FILING FEE	FEE
			22.00
FIXTURES	<input checked="" type="checkbox"/> Sink _____ Lavatory _____ Water Closet _____		
	_____ Shower _____ Bath Tub _____ Auto. Washer _____		
	_____ Urinal _____ Wash Tray _____ Floor Drain _____		
	_____ Disposal _____ Dishwasher _____	6.75 ea.	8.75
	Drainage or Vent Repair/Alter _____	4.50 ea.	
Sewer _____ Cap _____	22.00 ea.		
Private Sewage System _____	66.50 ea.		
Cesspool or Drywell _____	33.25 ea.		
Interceptor _____	17.75 ea.		
Rainwater System - Inside Bldg. - per drain _____	6.75 ea.		
1 Water Piping System _____	4.25 ea.	4.25	
Water Heater and/or Vent _____	11.00 ea.		
Gas Piping System Outlets _____	1-5 5.50 over 5 1.00 ea.		
Lean Sprinkler System _____	13.25 ea.		
Vacuum Breakers or Back Flow Devices _____	1-5 11.00 over 5 2.00 ea.		
Swimming Pools _____	Private 64.00 Public 81.60		
Spas _____	Private 27.00 Public 64.00		
Miscellaneous _____		35.50	
Other Fees - Waste Impact 10.00, Computer Cost Recovery 3.00, Microlensing 4.50		17.50	
	TOTAL FEE		53.00

LICENSED CONTRACTORS' DECLARATION

I hereby affirm under penalty of perjury that I am licensed under provisions of Chapter 9 (commencing with Section 7000) of Division 3 of the Business and Professions Code, and my license is in full force and effect.

License Class _____ Lic. No. _____ Date _____
Contractor _____

OWNER-BUILDER DECLARATION

I hereby affirm under penalty of perjury that I am exempt from the Contractors License Law for the following reason (Sec. 7031.5, Business and Professions Code: Any city or county which requires a permit to construct, alter, improve, demolish, or repair any structure, prior to its issuance, also require the applicant for such permit to file a signed statement that he or she is licensed pursuant to the provisions of the Contractors License Law (Chapter 9 [commencing with Section 7000] of Division 3 of the Business and Professions Code) or that he or she is exempt therefrom and the basis for the alleged exemption. Any violation of Section 7031.5 by any applicant for a permit subjects the applicant to a civil penalty of not more than five hundred dollars (\$500).):

I, as owner of the property, or my employees with wages as their sole compensation, will do the work, and the structure is not intended or offered for sale (Sec. 7044, Business and Professions Code: The Contractors License Law does not apply to an owner of property who builds or improves thereon, and who does such work himself or herself or through his or her own employees, provided such improvements are not intended or offered for sale. If, however, the building or improvement is sold within one year of completion, the owner-builder will have the burden of proving that he or she did not build or improve for the purpose of sale).

I, as owner of the property, am exclusively contracting with licensed contractors to construct the project (Sec. 7044, Business and Professions Code: The Contractors License Law does not apply to an owner of property who builds or improves thereon, and who contracts for such project with a contractor(s) licensed pursuant to the Contractors License Law).

I am exempt under Sec. _____ B. & P.C. for this reason: _____

Date 001/25/95 Owner Margaret S. Mollenkopf

WORKERS' COMPENSATION DECLARATION

I hereby affirm under penalty of perjury one of the following declarations:

I have and will maintain a certificate of consent to self-insure for workers' compensation, as provided for by Section 3700 of the Labor Code, for the performance of the work for which this permit is issued.

I have and will maintain workers' compensation insurance, as required by Section 3700 of the Labor Code, for the performance of the work for which this permit is issued. My workers' compensation insurance carrier and policy number are: _____

Carrier _____ Policy Number X

(This section need not be completed if the permit is for one hundred dollars (\$100) or less)

I certify that in the performance of the work for which this permit is issued, I shall not employ any person in any manner so as to become subject to the workers' compensation laws of California, and agree that if I should become subject to the workers' compensation provisions of Section 3700 of the Labor Code, I shall forthwith comply with those provisions.

Date: 26 Oct 95 Applicant: Margaret S. Mollenkopf

WARNING: FAILURE TO SECURE WORKERS' COMPENSATION COVERAGE IS UNLAWFUL AND SHALL SUBJECT AN EMPLOYER TO CRIMINAL PENALTIES AND CIVIL FINES UP TO ONE HUNDRED THOUSAND DOLLARS (\$100,000), IN ADDITION TO THE COST OF COMPENSATION, DAMAGES AS PROVIDED FOR IN SECTION 3706 OF THE LABOR CODE, INTEREST, AND ATTORNEY'S FEES.

CONSTRUCTION LENDING AGENCY

I hereby affirm under penalty of perjury that there is a construction lending agency for the performance of the work for which this permit is issued (Sec. 3087, Civ. C).

Lender's Name _____ Lender's Address _____

I certify that I have read this application and state that the above information is correct. I agree to comply with all city and county ordinances and state laws relating to building construction, and hereby authorize representatives of this county to enter upon the above-mentioned property for inspection purposes.

Signature of Applicant or Agent Margaret S. Mollenkopf Date 26 Oct 95

B 95 00530

CITY OF MONROVIA Paul Cook
DEPARTMENT OF 10-1-96
COMMUNITY DEVELOPMENT
415 S. IVY AVE.
MONROVIA, CA. 91016
(818) 359-3231

JOB ADDRESS 324 W. PALM AVE
APN Book 1500 Page 203 Parcel 10

(Legal description may be attached separately if necessary)
Use of Structure
Single Family Duplex
Unit Apt. Sign
Commercial Indust.
Other _____

APPLICATION FOR
BUILDING PERMIT
BUILDING & PLANNING
DIVISIONS
CITY OF MONROVIA

New _____ Add'n _____ Alter _____ Demo _____

Description of Work CONVERT EXIST'G ENCLOSED PORCH TO KITCHEN EXTENSION

Owner Name PEGGY MOLLENKOPF
Address 324 W. PALM AVE
City MONROVIA Tel. No. _____

Contractor Name OWNER/BUILD
Address _____
City _____ Tel. No. _____
State Lic. _____ City Lic. _____

Architect or Engineer Name ROSELUND ENGINEERING
Address 8453 E. YARROW
City S. SAN GABRIEL Tel. No. 818-572-2441
State Certificate No. _____

WORK COVERED BY THIS PERMIT
Height 12 Ft. Area 75 Sq. Ft.
No. of Stories ONE Valuation \$ 3000
Size of Lot 50 x 150 No. of Bldgs. 1
Use of Property SFD Now an Int. _____

Group Occupation B-3 Type of Const. EW Plan Check _____ Permit _____
Checked by R. Eding Approved by _____ Date 10/26/95
Receipt # _____ Fee \$ 295-10-253
52/6,85

ZONING

Zone _____ Minimum Setbacks
Required Parking Front _____ Rear _____
Spaces _____ side _____ side _____
Special Permits or Conditions _____
Zoning Approval Paul Cook 10/26/95

INSPECTION RECORD

APPROVALS	DATE	INSPECTOR
Forms & Foundation		
Reinforcing Steel		
Chimney Foundation		
Chimney Reinforcing		
Electrical Groundwork		
Plumbing Groundwork		
Duct Groundwork		
Masonry Steel		
Lift 4' <input type="checkbox"/> 8' <input type="checkbox"/> 12' <input type="checkbox"/>		
Final Lift & Grout		
Framing	11/22/95	CB
Insulation		
Sheathing Nailing		
Wall <input type="checkbox"/> Roof <input type="checkbox"/>		
Rough Electrical	2/13/96	CB
Rough Plumbing	2/15/96	CB
Gas Test Rough		
Rough Heating &		
Ventilating <input type="checkbox"/> A/C <input type="checkbox"/>		
Interior Lathing/Drywall		
Exterior Lathing		
Sewer <input type="checkbox"/> Cesspool <input type="checkbox"/>		
Electrical Fixtures <input checked="" type="checkbox"/>	1/24/97	CB
Service <input type="checkbox"/>		
Plumbing Fixtures	12/19/96	CB
Gas Test Final		
Final Heating &		
Ventilating <input type="checkbox"/> A/C <input type="checkbox"/>		
Pool Fence		
Parking		
Landscaping		
Walls <input type="checkbox"/> Fences <input type="checkbox"/>		
FIRE DEPT.		
FINAL	1/22/97	CB
NOTES:		

REMARKS

1) Pads poured prior to inspection. Verified depth & width 11/7/95

OTHER DIAGRAM _____

CERTIFICATE OF OCCUPANCY

A certificate of occupancy must be issued before building can be occupied.
 This form when properly endorsed is notice that the work described herein has been inspected and approved and the occupancy stated has been authorized.

Date _____ Building Inspector _____

- BUSINESS LICENSE**
- ONE TIME LICENSE
 - QUARTERLY LICENSE
 - YEARLY LICENSE
- EXP. DATE _____

LICENSED CONTRACTORS' DECLARATION

I hereby affirm under penalty of perjury that I am licensed under provisions of Chapter 9 (commencing with Section 7000) of Division 3 of the Business and Professions Code, and my license is in full force and effect.

License Class _____ Lic. No. _____ Date _____
Contractor _____

OWNER-BUILDER DECLARATION

I hereby affirm under penalty of perjury that I am exempt from the Contractors License Law for the following reason (Sec. 7031.5, Business and Professions Code: Any city or county which requires a permit to construct, alter, improve, demolish, or repair any structure, prior to its issuance, also requires the applicant for such permit to file a signed statement that he or she is licensed pursuant to the provisions of the Contractors License Law (Chapter 9 (commencing with Section 7000) of Division 3 of the Business and Professions Code) or that he or she is exempt therefrom and the basis for the stated exemption. Any violation of Section 7031.5 by any applicant for a permit subjects the applicant to a civil penalty of not more than five hundred dollars (\$500).)

I, as owner of the property, or my employee with wages as their sole compensation, will do the work, and the structure is not intended or offered for sale (Sec. 7044, Business and Professions Code: The Contractors License Law does not apply to an owner of property who builds or improves thereon, and who does such work himself or herself or through his or her own employees, provided that such improvements are not intended or offered for sale. If, however, the building or improvement is sold within one year of completion, the owner-builder will have the burden of proving that he or she did not build or improve for the purpose of sale.)

I, as owner of the property, am exclusively contracting with licensed contractors to construct the project (Sec. 7044, Business and Professions Code: The Contractors License Law does not apply to an owner of property who builds or improves thereon, and who contracts for such projects with a contractor(s) licensed pursuant to the Contractors License Law).

I am exempt under Sec. _____ B. & P. C. for this reason: _____

Date _____
Owner _____

WORKERS' COMPENSATION DECLARATION

I hereby affirm under penalty of perjury one of the following declarations:

I have and will maintain a certificate of coverage to self-insure for workers' compensation, as provided for by Section 3700 of the Labor Code, for the performance of the work for which this permit is issued.

I have and will maintain workers' compensation insurance, as required by Section 3700 of the Labor Code, for the performance of the work for which this permit is issued. My workers' compensation insurance carrier and policy number are:

Carrier _____ Policy Number _____

(This section need not be completed if the permit is for one hundred dollars (\$100) or less).

I certify that in the performance of the work for which this permit is issued, I shall not employ any person in any manner so as to become subject to the workers' compensation laws of California, and agree that if I should become subject to the workers' compensation provisions of Section 3700 of the Labor Code, I shall forthwith comply with those provisions.

Date _____ Applicant: _____

WARNING: FAILURE TO SECURE WORKERS' COMPENSATION COVERAGE IS UNLAWFUL AND SHALL SUBJECT AN EMPLOYER TO CRIMINAL PENALTIES AND CIVIL FINES UP TO ONE HUNDRED THOUSAND DOLLARS (\$100,000), IN ADDITION TO THE COST OF COMPENSATION, DAMAGES AS PROVIDED FOR IN SECTION 3700 OF THE LABOR CODE, INTEREST, AND ATTORNEY'S FEES.

CONSTRUCTION LENDING AGENCY

I hereby affirm under penalty of perjury that there is a construction lending agency for the performance of the work for which this permit is issued (Sec. 3097, Civ. C).

Lender's Name _____ Lender's Address _____

I certify that I have read this application and state that the above information is correct. I agree to comply with all city and county ordinances and state laws relating to building construction, and I hereby authorize representatives of this county to enter upon the above-mentioned property for inspection purposes.

Signature of Applicant or Agent _____ Date _____

JOB ADDRESS 324 W. PALM B9600194

USE OF STRUCTURE
 RESIDENTIAL COMMERCIAL INDUSTRIAL

DATE FEB 15, 90
PERMIT NO. B9602452
TOTAL FEES \$ 43.50
Checked by BL

APPLICATION FOR
ELECTRIC PERMIT
DEPARTMENT OF COMMUNITY DEVELOPMENT
CITY OF MONROVIA

Name MOLLENKOFF
Address 324 W. PALM AVE.
City _____ Tel. No. _____

Name OWNER
Address _____
City _____ Tel. No. _____
State Lic. _____ City Lic. _____

DESCRIPTION OF WORK

No.	ITEM	FEE	
		22	00
	New Residential _____ sq. ft.	R-1 0.045 R-2 0.050	
3	Receptacles, Outlets, Switches	First 20 @ 1.00 Additional @ .85	300
④	Light Fixtures, Sockets	First 20 @ 1.00 Additional @ .85	100
	Residential Appliances Ranges, Cook Tops, Air-Cond., Garb. Disp.	4.25 ea.	
	Non-Residential Appliances	4.25 ea.	
	Motor(s) _____	H.P.	
	Generator(s) _____	K.W.	
	Transformer(s) _____	KVA	
	Signs, Outline Lighting, Marquee	22.00 ea.	
	Signs-Additional Branch Circuits or Separate Feeders, etc.	4.25 ea.	
	Service Equipment Under 200 A. Ampe _____ Volts _____	27.25 ea.	
	Over 200 A., See Schedule		
	Temporary Service Res. 22.00	Com. of Underground 36.25	
	Burways _____ Length _____	6.50 per 100 ft.	
	Pvt. Selm. Pools	44.25 ea.	
	Miscellaneous		
			26 00
	Other Fees - Waste Impact 10.00, Computer Cost Recovery 3.00, Microfilming 4.50		17 50
	TOTAL FEE		43 50

City of MONROVIA

1887



Certificate of Occupancy

Department of Community Development - Building Division

CERTIFICATE OF OCCUPANCY

BUILDING ADDRESS AND ASSESSOR'S IDENTIFICATION NUMBER

324 W. Palm Ave 8505-003-005

Building Permit No: R95-10-233

Date of Completion: JANUARY 22, 1997

This building or portion thereof, has been inspected for compliance with applicable codes and ordinances of the City of Monrovia, California. Issuance of this Certificate of Occupancy shall not be construed as an approval of a violation of the applicable codes and ordinances of this jurisdiction. A new certificate of Occupancy is required for any changes in the character or use of the building for which this Certificate of Occupancy had been issued.

Description of Project

CONVERT EXISTING ENCLOSED PORCH TO KITCHEN EXTENSION
TOTAL AREA: 75 SQ. FT.

Occupancy Group: R-3

Type of Construction : V-N

Owner: PEGGY MOLLENKOPF

Address: 324 W. PALM AVE
MONROVIA, CA 91016

Comments:

Robert Castellano
Robert Castellano, Building Official
MBR

JANUARY 28, 1997
Date

CDFOSHL/C:

WORKERS' COMPENSATION DECLARATION

I hereby affirm that I have a certificate of consent to self insure, or a certificate of Workers' Compensation Insurance, or a certified copy thereof (Sec. 3800, Lab. C.)

Policy No. _____ Company _____

- Certified copy is hereby furnished.
- Certified copy is filed with the county building inspection department.

Date _____ Applicant _____

CERTIFICATE OF EXEMPTION FROM WORKERS' COMPENSATION INSURANCE

(This section need not be completed if the permit is for one hundred dollars (\$100) or less.)

I certify that in the performance of the work for which this permit is issued, I shall not employ any person in any manner so as to become subject to the Workers' Compensation Laws.

Date _____ Applicant _____

NOTICE TO APPLICANT: If, after making this Certificate of Exemption, you should become subject to the Workers' Compensation provisions of the Labor Code, you must forthwith comply with such provisions or this permit shall be deemed revoked.

LICENSED CONTRACTORS DECLARATION

I hereby affirm that I am licensed under provisions of Chapter 8 (commencing with Section 7000) of Division 3 of the Business and Professions Code, and my license is in full force and effect.

License Number _____ Lic. Class _____

Contractor _____ Date _____

- I am exempt from the licensing requirements as I am a licensed architect or a registered professional engineer acting in my professional capacity (Section 7051, Business and Professions Code).

Lic. or Reg. No. _____ Date _____

OWNER-BUILDER DECLARATION

I hereby affirm that I am exempt from the Contractor's License Law for the following reason (Section 7031.5, Business and Professions Code):

- I, as owner of the property, or my employees with wages as their sole compensation, will do the work and the structure is not intended or offered for sale (Section 7044, Business and Professions Code).
- I, as owner of the property, am exclusively contracting with licensed contractors to construct the project (Section 7044, Business and Professions Code).

CONSTRUCTION LENDING AGENCY

I hereby affirm that there is a construction lending agency for the performance of the work for which this permit is issued (Sec. 3097, Civ. C.)

Lender's Name _____

Lender's Address _____

I certify that I have read this application and state that the above information is correct. I agree to comply with all City ordinances and State laws relating to building construction, and hereby authorize representatives of this City to enter upon the above-mentioned property for inspection purposes.

Howard L. Mollenkopf
Signature of Applicant or Agent

JOB ADDRESS 324 W. PALM AVE

Nature of Installation
Residential Commercial _____ Industrial _____

DATE 11-19-86

PERMIT NO. 0130

TOTAL FEES \$52,90

Checked by RMA

APPLICATION FOR
ELECTRIC PERMIT
DEPARTMENT OF COMMUNITY DEVELOPMENT
CITY OF MONROVIA

Owner Name HOWARD L. MOLLENKOPF
Address 220 LAUREL AVE
City SAN ANSELMO CALIF. Tel. No. 415-456-4742

Contractor Name OWNER
Address _____
City _____ Tel. No. _____
State Lic. _____ City Lic. _____

DESCRIPTION OF WORK				FEE	
No.	ITEM	Filing Fee		13 50	
	Blanket Permit or Supplemental	5.50			
38	Receptacles, Outlets, Switches	First 20 @ .70 Additional @ .80		23.-	
12	Light Fixtures, Sockets	First 20 @ .70 Additional @ .80		8.40	
	Mercury Vapor, Pole Mounted Fixtures	2.50 ea.			
0	Residential Appliances Ranges, Cook Tops, Air-Cond., Garb. Disp.	4.00			
0	Non-Residential Appliances (Not Exceeding 5 H.P.)	8.00			
0	Motor(s) _____	H.P.			
0	Generator(s) _____	K.W.			
0	Transformer(s) _____	KVA			
0	Signs, Outline Lighting, Marquees	13.50 ea.			
1	Service Equipment, Under 200 A. Amps <u>100</u> Volts _____ Over 200 A., See Schedule	8.00		8.00	
	Temporary Service Res.	13.50	Comm. 26.00		
	Temporary Lighting	13.50			
	Bulbways Length _____	2.80/ft.			
	Miscellaneous—				
TOTAL FEE				<u>52.90</u>	

*For item not listed check with office personnel

I HEREBY CERTIFY that I have examined this completed application and the statements therein are true and correct, and that all work shall be done in accordance with all applicable City, County and State laws.

I HEREBY CERTIFY that I am properly registered and/or licensed as required by the City of Monrovia and State of California or that I am the legal owner of the above described residential property.

Howard L. Mollenkopf
Signature of Owner or Authorized Agent

JOB ADDRESS 324 W Palm

Nature of Installation

Plumbing Gas Sewer Furnace

DATE: 8-26-60
TOTAL FEES \$ 252
PERMIT NO. 3916
Checked by [Signature]

APPLICATION FOR
PLUMBING PERMIT
BUILDING DIVISION
CITY OF MONROVIA

Owner Name MP Wimbush
Address 324 W Palm Ave
City Monrovia Tel. No. EL 8-1618

Contractor Name Ben Walker
Address 323 S Calif Ave
City Monrovia Tel. No. EL 8-1969
Licenses: State 20255 City

DESCRIPTION OF WORK
PLUMBING

- | | |
|--|--|
| <input type="checkbox"/> Piping Only | <input type="checkbox"/> Automatic Washer |
| <input type="checkbox"/> Bath Tub | <input type="checkbox"/> Soda Fountain |
| <input type="checkbox"/> Shower | <input type="checkbox"/> Floor Drain |
| <input type="checkbox"/> Lavatory | <input type="checkbox"/> Sand Trap |
| <input type="checkbox"/> Kitchen Sink | <input type="checkbox"/> Water Softener |
| <input type="checkbox"/> Floor Sink | <input type="checkbox"/> Dishwasher |
| <input type="checkbox"/> Slop Sink | <input type="checkbox"/> Drinking Fountain |
| <input type="checkbox"/> Wash Tray | <input type="checkbox"/> Dental Lavatory |
| <input type="checkbox"/> Water Closet | <input type="checkbox"/> Garbage Disposal |
| <input type="checkbox"/> Urinal | <input type="checkbox"/> Vac. Breaker or |
| <input type="checkbox"/> Sewer | <input type="checkbox"/> Back Flow Valve |
| <input type="checkbox"/> Water Distr. Sys. | <input type="checkbox"/> Septic Tank |
| <input type="checkbox"/> Chemical Toilet | <input type="checkbox"/> Cesspool |

GAS PIPING

- | | |
|--|--|
| <input type="checkbox"/> Gas Piping Sys. | <input checked="" type="checkbox"/> Water Heater |
| <input type="checkbox"/> Outlets (over 10) | <input type="checkbox"/> Floor Furnace |
| <input type="checkbox"/> Space Heater | <input type="checkbox"/> Wall Furnace |

I HEREBY CERTIFY that I have examined this completed application and the statements therein are true and correct, and that all work shall be done in accordance with all applicable City, County and State laws.

[Signature]
Signature of Inspector or Authorized Agent

Approvals

Date

Inspector

Plumbing (Grd. Wk.)	<input type="checkbox"/>	_____	_____
(Rough)	<input type="checkbox"/>	_____	_____
<i>W.H.</i> (Finish)	<input type="checkbox"/>	<i>8-29-40</i>	<i>J.J.</i>
Gas (Grd. Wk.)	<input type="checkbox"/>	_____	_____
(Rough)	<input type="checkbox"/>	_____	_____
(Finish)	<input type="checkbox"/>	_____	_____
Sewer	<input type="checkbox"/>	_____	_____
Furnace (Vents)	<input type="checkbox"/>	_____	_____
(Finish)	<input type="checkbox"/>	_____	_____

REMARKS: _____

Meter Service Ordered _____

JOB ADDRESS 324 1/2 3rd Pkwn
~~534 Delta Vista~~

LEGAL DESCRIPTION _____

(Legal description may be attached separately if necessary)

Use of Structure
Single Family Duplex
Unit Apt. Sign
Commercial Indust.
Other _____

APPLICATION FOR
BUILDING PERMIT
BUILDING & PLANNING
DEPARTMENT
CITY OF MONROVIA

Description of Work verooj - stoek

Owner Name Mr. Ben Basakie
Address 534 Delta Vista
City Monrovia Tel. No. 358-1771

Contractor Name Jack K. Ramwater
Address 2061 Atlas
City Dunwoody Tel. No. 359-4939
State Lic. 295985 City Lic.

Architect or Engineer Name _____
Address _____
City _____ Tel. No. _____
State Certificate No. _____

Size of Lot _____ No. of Bldgs. Now on Lot _____
Use of Property _____

WORK COVERED BY THIS PERMIT

Height _____ Ft. Area _____ Sq. Ft.
No. of Stories 1 Valuation \$ 425.00

I HEREBY CERTIFY That I have examined this completed application and the statements therein are true and correct, and that all work shall be done in accordance with all applicable City, County and State laws.
Jack K. Ramwater
Signature of Owner or Authorized Agent

ZONING

Zone _____ Fire District _____ Minimum Setbacks
Required Parking Front _____ Rear _____
Spaces _____ side _____ side _____
Special Permits or Conditions _____

Zoning Approval _____ Date _____

Fire Dept. Approval _____ Date _____

Health Dept. Approval _____ Date _____

Group Occupancy	Type of Const.	Date	Plan Check	Permit
<u>Check</u>	<u>Approved by</u>			<u>10/17/75</u>
		Receipt #		<u>13870</u>
		Fee	\$	<u>\$5.00</u>

INSPECTION RECORD

APPROVALS	DATE	INSPECTOR
Forms & Foundation		
Reinforcing Steel		
Chimney Foundation		
Chimney Reinforcing		
Electrical Groundwork		
Plumbing Groundwork		
Duct Groundwork		
Masonry Steel		
Lift 4' <input type="checkbox"/> 8' <input type="checkbox"/> 12' <input type="checkbox"/>		
Final Lift & Grout		
Framing		
Insulation		
Sheathing Nailing <i>Re-roof</i>		
Wall <input type="checkbox"/> Roof <input type="checkbox"/>	<i>2-9-76</i>	<i>DM</i>
Rough Electrical		
Rough Plumbing		
Gas Test Rough		
Rough Heating & Ventilating <input type="checkbox"/> A/C <input type="checkbox"/>		
Interior Lathing/Drywall		
Exterior Lathing		
Sewer <input type="checkbox"/> Cesspool <input type="checkbox"/>		
Electrical Fixtures <input type="checkbox"/>		
Service <input type="checkbox"/>		
Plumbing Fixtures		
Gas Test Final		
Final Heating & Ventilating <input type="checkbox"/> A/C <input type="checkbox"/>		
Pool Fence		
Parking		
Landscaping		
Walls <input type="checkbox"/> Fences <input type="checkbox"/>		
FIRE DEPT.		
PUBLIC WORKS		

Re-roof *2-9-76* *DM*

NOTES: _____

JOB ADDRESS 324 W. Palm
 LEGAL DESCRIPTION Book _____ Page _____ Parcel _____

(Legal description may be attached separately if necessary)

Use of Structure
 Single Family Duplex
 Unit Apt. Sign
 Commercial Indust.
 Other _____

APPLICATION FOR
BUILDING PERMIT
 BUILDING & PLANNING
 DEPARTMENT
 CITY OF MONROVIA

New _____ Add'n _____ Alter _____ Demo _____
 Description of Work Composition
Shingles

Owner Name Umbach
 Address 324 W. Palm
 City Mon Tel. No. _____

Contractor Name Napper Roof Corp
 Address 145
 City Monrovia Tel. No. _____
 State Lic. 185374 City Lic. _____

Architect or Engineer Name _____
 Address _____
 City _____ Tel. No. _____
 State Certificate No. _____

Size of Lot _____ No. of Bldgs. Now on Lot _____
 Use of Property _____

WORK COVERED BY THIS PERMIT
 Height _____ Ft. Area _____ Sq. Ft.
 No. of Stories _____ Valuation \$ 490.00

I HEREBY CERTIFY That I have examined this completed application and the statements therein are true and correct, and that all work shall be done in accordance with all applicable City, County and State laws.
Chris Napper
 Signature of Owner or Authorized Agent

ZONING

Zone _____ Fire District _____ Minimum Setbacks
 Required Parking _____ Front _____ Rear _____
 Spaces _____ side _____ side _____

Special Permits or Conditions _____

Zoning Approval _____ Date _____

Fire Dept. Approval _____ Date _____


Health Dept. Approval _____ Date _____

Group Occupancy	Type of Const.	Date	Plan Check	Permit
Checked by	Approved by	Receipt #		<u>11-2576</u>
		Fee		<u>5802</u>
				<u>\$5.00</u>

INSPECTION RECORD

APPROVALS	DATE	INSPECTOR
Forms & Foundation		
Reinforcing Steel		
Chimney Foundation		
Chimney Reinforcing		
Electrical Groundwork		
Plumbing Groundwork		
Duct Groundwork		
Masonry Steel		
Lift 4' <input type="checkbox"/> 8' <input type="checkbox"/> 12' <input type="checkbox"/>		
Final Lift & Grout		
Framing		
Insulation		
Sheathing Nailing		
Wall <input type="checkbox"/> Roof <input type="checkbox"/>		
Rough Electrical		
Rough Plumbing		
Gas Test Rough		
Rough Heating &		
Ventilating <input type="checkbox"/> A/C <input type="checkbox"/>		
Interior Lathing/Drywall		
Exterior Lathing		
Sewer <input type="checkbox"/> Cesspool <input type="checkbox"/>		
Electrical Fixtures <input type="checkbox"/>		
Service <input type="checkbox"/>		
Plumbing Fixtures		
Gas Test Final		
Final Heating &		
Ventilating <input type="checkbox"/> A/C <input type="checkbox"/>		
Pool Fence		
Parking		
Landscaping		
Walls <input type="checkbox"/> Fences <input type="checkbox"/>		
FIRE DEPT.		
PUBLIC WORKS		

NOTES:

Complete 29 Nov 76


CERTIFICATE OF OCCUPANCY

A certificate of occupancy must be issued before building can be occupied.

This form when properly endorsed is notice that the work described herein has been inspected and approved and the occupancy stated has been authorized.

Date _____

Building Inspector

324 W. Palm Ave

ADDRESS

PERMIT No. 35

DATE 8/16/11

CARD NO.

OF

INFORMATION AS TO OWNER, CONTRACTOR, ETC., APPLIES TO ORIGINAL PERMIT ONLY

LOT

BL.

TR.

PERMIT FEE \$ 100

OWNER Laurie Umbach

GROUP

TYPE add.

INSP. FEE \$

ADDRESS 324 W. Palm

FIRE ZONE

ZONE

EX. FEE \$

CONTRACTOR owner

VALUE \$ 10000

TOTAL \$

ALL BUILDING AND SUB-CONTRACT PERMITS

WORK	NUMBER	DATE	CONTRACTOR	INSPECTIONS		
					FINAL	INSP. FEE
FORMS						
FRAMING						
STEEL						
STEEL						
WIRING						
FIXTURES						
PLUMBING						
GAS						
SEWER						
HEATING						
PLAST. INT.						
PLAST. EXT.						
FINAL						

LICENSED CONTRACTORS' DECLARATION

I hereby affirm under penalty of perjury that I am licensed under provisions of Chapter 9 (commencing with Section 7000) of Division 3 of the Business and Professions Code, and my license is in full force and effect.

License Class _____ License No. _____ Date _____

Contractor _____

OWNER-BUILDER DECLARATION

I hereby affirm under penalty of perjury that I am exempt from the Contractors License Law for the following reason (Sec. 7031.5, Business and Professions Code: Any city or county which requires a permit to construct, alter, improve, demolish, or repair any structure, prior to its issuance, also requires the applicant for such permit to file a signed statement that he or she is licensed pursuant to the provisions of the contractors License Law (Chapter 9 [commencing with Section 7000] of Division 3 of the Business and Professions Code) or that he or she is exempt therefrom and the basis for the alleged exemption. Any violation of Section 7031.5 by any applicant for a permit subjects the applicant to a civil penalty of not more than five hundred dollars (\$500):

I, as owner of the property, or my employees with wages as their sole compensation, will do the work and the structure is not intended or offered for sale (Sec. 7044, Business and Professions Code: The Contractors License Law does not apply to an owner of property who builds or improves thereon, and who does such work himself or herself or through his or her own employees, provided that such improvements are not intended or offered for sale. If, however, the building or improvement is sold within one year of completion, the owner-builder will have the burden of proving that he or she did not build or improve for the purpose of sale.)

I, as owner of the property, am exclusively contracting with licensed contractors to construct the project (Sec. 7044, Business and Professions Code: The Contractors License Law does not apply to an owner of property who builds or improves thereon, and who contracts for such projects with a contractor(s) licensed pursuant to the Contractors License Law.)

I, am exempt under Sec. _____ B & P.C. for this reason: _____

Date _____ Owner _____

WORKERS' COMPENSATION DECLARATION

I hereby affirm under penalty of perjury one of the following declarations:

I, have and will maintain a certificate of consent to self-insure for workers' compensation, as provided for by Section 3700 of the Labor Code, for the performance of the work for which this permit is issued.

I, have and will maintain workers' compensation insurance, as required by Section 3700 of the Labor Code, for the performance of the work for which this permit is issued. My workers' compensation insurance carrier's policy number are:

Carrier _____ Policy Number _____

(This section need not be completed if the permit is for one hundred dollars (\$100) or less.) I certify that in the performance of the work for which this permit is issued, I shall not employ any person in any manner so as to become subject to the workers' compensation provisions of Section 3700 of the Labor Code, I shall forthwith comply with those provisions.

Date _____ Applicant: _____

WARNING: FAILURE TO SECURE WORKERS' COMPENSATION COVERAGE IS UNLAWFUL, AND SHALL SUBJECT AN EMPLOYER TO CRIMINAL PENALTIES AND CIVIL FINES UP TO ONE HUNDRED THOUSAND DOLLARS (\$100,000), IN ADDITION TO THE COST OF COMPENSATION, DAMAGES AS PROVIDED FOR IN SECTION 3700 OF THE LABOR CODE, INTEREST, AND ATTORNEY'S FEES.

CONSTRUCTION LENDING AGENCY
I hereby affirm under penalty of perjury that there is a construction lending agency for the performance of the work for which this permit is issued (Sec. 3097, Civ. C).

Lender's Name _____ Lender's Address _____

I certify that I have read this application and state that the above information is correct. I agree to comply with all city and county ordinances and state laws relating to building construction, and hereby authorize representatives of this country to enter upon the above-mentioned property for inspection purposes.

Signature of Applicant or Agent _____ Date 11-19-04

**CITY OF MONROVIA
DEPARTMENT OF
COMMUNITY DEVELOPMENT
415 S. IVY AVE.
MONROVIA, CA: 91016**

BLD 2004-11035

JOB ADDRESS 324 W. Palm
 APN Book 8505 Page 003 Parcel 005

(Legal description may be attached separately if necessary)
 Use of Structure
 Single Family Duplex
 Unit Apt. Sign
 Commercial Indust.
 Other _____

**APPLICATION FOR
BUILDING PERMIT**
 BUILDING & PLANNING
 DIVISIONS
 CITY OF MONROVIA

New _____ Add'n _____ Alter _____ Demo _____

Description of Work Flr, Rosheth & Comp shingles - Garage - Room

Name M.L. Malenkoff
 Address 324 W. Palm
 City _____ Tel. No. _____

Name _____
 Address _____
 City _____ Tel. No. 303 2828
 State Lic. _____ City Lic. _____

Name _____
 Address _____
 City _____ Tel. No. _____
 State Certificate No. _____

WORK COVERED BY THIS PERMIT
 Height _____ Ft. Area _____ Sq. Ft.
 No. of Stories _____ Valuation \$ 2500
 Size of Lot _____ No. of Bldgs. Now on Lot _____
 Use of Property _____

Group Occupancy	Type of Const	Date	Plan Check	Permit
Checked by	Approved by	Receipt #	Fee	\$
				11/19/04
				\$ 187.15

EXPIRED
7/21/09

Zone _____ Front _____ Rear _____
 Required Parking _____ side _____ side _____
 Spaces _____
 Special Permits or Conditions _____
 Zoning Approval _____ Date _____

EXPIRED
 7/21/09

INSPECTION RECORD

APPROVALS	DATE	INSPT	APPROVALS	DATE	INSPT
STRUCTURAL:			MECHANICAL:		
Forms & Foundation			Heating Rough		
Reinforcing Steel			Final		
Chimney Foundation			A/C-Fan Rough		
Chimney Reinforcing			Final		
Roof Sheathing Nailing	11/23/04		Exhaust Fan		
Masonry Steel			Compressor		
Lift 4' x 8'			Boiler		
Final Lift & Grout			SWIMMING POOL:		
Shear Panel Nail/Hdwre			Setbacks		
Framing			Overhead Wires		
Insulation			Sewer Loc./P-Trap		
Interior Lath/Drywall			Main Drain		
Exterior Lathing			Pool Piping		
ELECTRICAL:			Reinforcing		
Power Pole			Bonding		
Groundwork			Underground Conduit		
Conduit			Pool Equip. Location		
Fixtures/Rough			Pool Heater Rough		
Finish			Final		
Service			Health Dept-non-SFR		
Signs			Pool Fences & Gates		
PLUMBING:			Backwash		
Groundwork			Pool Cover (Heated)		
Fixtures/Rough			Final Pool Electr		
Final			Final Pool Plumbing		
Gas Groundwork			Final Health-non-SFR		
Gas Test & Rough			Final Pool Approval		
Gas Final			MISCELLANEOUS:		
Sewer <input type="checkbox"/> Cesspool <input type="checkbox"/>			Demolition		
Sewer Cap			Re-Roof		
Water Heater Vents			Signs		
Water Heater Final			Fences		
			Accessibility Comp		
FINAL			FINAL		

LICENSED CONTRACTORS DECLARATION

I hereby affirm under penalty of perjury that I am licensed under provisions of Chapter 9 (commencing with Section 7000) of Division 3 of the Business and Professions Code, and my license is in full force and effect.

License Class C-40 License No. 196541 Date 11/22/05
 Contractor TALBOT & HEORIX

OWNER-BUILDER DECLARATION

I hereby affirm under penalty of perjury that I am exempt from the Contractors License Law for the following reason (Sec. 7031.5, Business and Professions Code: Any city or county which requires a permit to construct, alter, improve, demolish, or repair any structure, prior to its issuance, also requires the applicant for such permit to file a signed statement that he or she is licensed pursuant to the provisions of the contractors License Law (Chapter 9 [commencing with Section 7000] of Division 3 of the Business and Professions Code) or that he or she is exempt therefrom and the basis for the alleged exemption. Any violation of Section 7031.5 by any applicant for a permit subjects the applicant to a civil penalty of not more than five hundred dollars (\$500).):

I, as owner of the property, or my employees with wages as their sole compensation, will do the work and the structure is not intended or offered for sale (Sec. 7044, Business and Professions Code: The Contractors License Law does not apply to an owner of property who builds or improves thereon, and who does such work himself or herself or through his or her own employees, provided that such improvements are not intended or offered for sale. If, however, the building or improvement is sold within one year of completion, the owner-builder will have the burden of proving that he or she did not build or improve for the purpose of sale.)

I, as owner of the property, am exclusively contracting with licensed contractors to construct the project (Sec. 7044, Business and Professions Code: The Contractors License Law does not apply to an owner of property who builds or improves thereon, and who contracts for such projects with a contractor(s) licensed pursuant to the Contractors License Law.)

I, am exempt under Sec. _____ B & P.C. for this reason _____

Date _____ Owner _____

WORKERS' COMPENSATION DECLARATION

I hereby affirm under penalty of perjury one of the following declarations:

I, have and will maintain a certificate of consent to self-insure for workers' compensation, as provided for by Section 3700 of the Labor Code, for the performance of the work for which this permit is issued.

I, have and will maintain workers' compensation insurance, as required by Section 3700 of the Labor Code, for the performance of the work for which this permit is issued. My workers' compensation insurance carrier and policy number are:

Carrier STATE FUND Policy Number 1717137

(This section need not be completed if the permit is for one hundred dollars (\$100) or less). I certify that in the performance of the work for which this permit is issued, I shall not employ any person in any manner so as to become subject to the workers' compensation provisions of Section 3700 of the Labor Code, I shall forthwith comply with those provisions.

Date: 1/22/05 Applicant: R. J. [Signature]

WARNING: FAILURE TO SECURE WORKERS' COMPENSATION COVERAGE IS UNLAWFUL, AND SHALL SUBJECT AN EMPLOYER TO CRIMINAL PENALTIES AND CIVIL FINES UP TO ONE HUNDRED THOUSAND DOLLARS (\$100,000), IN ADDITION TO THE COST OF COMPENSATION, DAMAGES AS PROVIDED FOR IN SECTION 3700 OF THE LABOR CODE, INTEREST, AND ATTORNEY'S FEES.

CONSTRUCTION LENDING AGENCY

I hereby affirm under penalty of perjury that there is a construction lending agency for the performance of the work for which this permit is issued (Sec. 3097, Civ. C).

Lender's Name _____ Lender's Address _____

I certify that I have read this application and state that the above information is correct. I agree to comply with all city and county ordinances and state laws relating to building construction, and hereby authorize representatives of this country to enter upon the above-mentioned property for inspection purposes.

Signature of Applicant or Agent _____ Date 1/22/05

JOB ADDRESS 324 W. Palm

USE OF STRUCTURE
 RESIDENTIAL COMMERCIAL INDUSTRIAL

DATE 1/22/05
PERMIT NO. _____
TOTAL FEES \$ 82.47
Checked by RA

APPLICATION FOR ELECTRIC PERMIT
 DEPARTMENT OF COMMUNITY DEVELOPMENT
 CITY OF MONROVIA

Owner
 Name Peggy Malenkov
 Address 324 W. Palm
 City Monrovia Tel. No. 626-358-6678

Contractor
 Name TALBOT Elect
 Address 128, 9th Washington Blvd
 City Pasadena Tel. No. 626-798-1165
 State Lic. 196541 City Lic. 2003-0061

DESCRIPTION OF WORK

No.	ITEM	FEE
	FILING FEE	22.55
	New Residential _____ sq. ft.	R-1 0.050 R-3 0.055
	Receptacles, Outlets, Switches	First 20 @ 1.05 Additional @ .70
	Light Fixtures	First 20 @ 1.05 Additional @ .70
	Residential Appliances	4.35 ea.
	Ranges, Cook Tops, Air-Cond., Garb. Disp.	
	Non-Residential Appliances	4.35 ea.
	Motors _____	H.P.
	Generators _____	K.W.
	Transformers _____	KVA
	Signs, Outline Lighting, Marquees	22.55 ea.
	Signs-Additional Branch Circuits or Separate Feeders, etc.	4.35 ea.
<u>1</u>	Electrical Service Equipment Under 200 Amps	27.95 ea. <u>27.95</u>
	Service Equipment: Over 200 Amps	
	Amps _____ Volts _____	
	Over 200 A., See Schedule _____	
	Temporary Service R.E.S. 22.55	Com or Underground 39.20 ea.
	Busways _____ Length _____	6.70 per 100 ft.
	Priv. Swim. Pools _____	45.35
<u>1</u>	Miscellaneous <u>SUB PANEL</u>	<u>13.97</u>
	Other Fees - Waste Impact 10.00	
	Computer Cost Recovery 3.25, Microfilming 4.75	<u>64.47</u>
	TOTAL FEE	82.47

ELE2005-11031

EXPIRED

1/21/09

Approvals	
	Date Inspector
Electrical (Power Pole) <input type="checkbox"/>	_____
(Grd. Wlk) <input type="checkbox"/>	_____
(Conduit) <input type="checkbox"/>	_____
(Rough) <input type="checkbox"/>	_____
(Finish) <input type="checkbox"/>	_____
(Service) <input type="checkbox"/>	_____
(Signal) <input type="checkbox"/>	_____
(Other) <input type="checkbox"/>	_____
(Other) <input type="checkbox"/>	_____
(Other) <input type="checkbox"/>	_____
(Other) <input type="checkbox"/>	_____
REMARKS: _____	

REMARKS

EXPIRED 1/21/09

BUSINESS LICENSE
 ONE TIME LICENSE
 QUARTERLY LICENSE
 YEARLY LICENSE
 EXP. DATE _____

324 W. PALM

USE OF STRUCTURE

RESIDENTIAL COMMERCIAL INDUSTRIAL

DATE NOV 17, 2005

PERMIT NO. _____

TOTAL FEES \$ 74.62

Checked by RA

APPLICATION FOR
ELECTRIC PERMIT
DEPARTMENT OF COMMUNITY
DEVELOPMENT
CITY OF MONROVIA

Owner Name M. L. Mollenkopf
Address 324 W. PALM AVE
City MONROVIA Tel. No. _____

Contractor Name OWNER/BLDR
Address _____
City _____ Tel. No. _____
State Lic. _____ City Lic. _____

DESCRIPTION OF WORK

No.	ITEM	FEE
	FILING FEE	22.55
	New Residential sq. ft.	R-1 0.050 R-3 0.055
<u>6</u>	Receptacles, Outlets, Switches	First 20 @ 1.05 Additional @ .70
<u>96</u>	Light Fixtures	First 20 @ 1.05 Additional @ .70
<u>1</u>	Residential Appliances Ranges, Cook Tops, Air-Cond., Garb. Dstps.	w/h 4.35 ea.
	Non-Residential Appliances	4.35 ea.
	Motors	H.P.
	Generators	K.W.
	Transformers	KVA
	Signs, Outline Lighting, Marquees	22.55 ea.
	Signs-Additional Branch Circuits or Subpanels, Fishers, etc.	4.35 ea.
	Electrical Service Equipment Up To 200 Amps	27.65 ea.
	Service Equipment Over 200 A Amps _____ Volts _____	
	Temporary Service R.E.S. 22.55	Corner Underground 39.20 ea.
	Burrows _____ Length	6.70 per 100 ft.
	Pvt. Swim. Pools	45.35
<u>1</u>	Miscellaneous <u>SUB PANEL IN GARAGE</u>	<u>13.97</u>
	Other Fees - Waste Impact 10.00 Computer Cost Recovery 3.25, Micromining 4.75	<u>56.62</u>
	TOTAL FEE	74.62

EXPIRED

7/21/09

FILE 2005-11028

I hereby affirm under penalty of perjury that I am licensed under provisions of Chapter 9 (commencing with Section 7000) of Division 3 of the Business and Professions Code, and my license is in full force and effect.

License Class _____ License No. _____ Date _____

Contractor _____

OWNER-BUILDER DECLARATION

I hereby affirm under penalty of perjury that I am exempt from the Contractors License Law for the following reason (Sec. 7031.5, Business and Professions Code: Any city or county which requires a permit to construct, alter, improve, demolish, or repair any structure, prior to its issuance, also requires the applicant for such permit to file a signed statement that he or she is licensed pursuant to the provisions of the contractors License Law (Chapter 9 (commencing with Section 7000) of Division 3 of the Business and Professions Code) or that he or she is exempt therefrom and the basis for the alleged exemption. Any violation of Section 7031.5 by any applicant for a permit subjects the applicant to a civil penalty of not more than five hundred dollars (\$500).):

I, as owner of the property, or my employees with wages as their sole compensation, will do the work and the structure is not intended or offered for sale (Sec. 7044, Business and Professions Code: The Contractors License Law does not apply to an owner of property who builds or improves thereon, and who does such work himself or herself or through his or her own employees, provided that such improvements are not intended or offered for sale. If, however, the building or improvement is sold within one year of completion, the owner-builder will have the burden of proving that he or she did not build or improve for the purpose of sale.)

I, as owner of the property, am exclusively contracting with licensed contractors to construct the project (Sec. 7044, Business and Professions Code: The Contractors License Law does not apply to an owner of property who builds or improves thereon, and who contracts for such projects with a contractor(s) licensed pursuant to the Contractors License Law.)

I, am exempt under Sec. _____ B & P.C. for this reason: _____

Date 11/17/05 Owner Margaret S. Mollenkopf

WORKERS' COMPENSATION DECLARATION

I hereby affirm under penalty of perjury one of the following declarations:

I, have and will maintain a certificate of consent to self-insure for workers' compensation, as provided for by Section 3700 of the Labor Code, for the performance of the work for which this permit is issued.

I, have and will maintain workers' compensation insurance, as required by Section 3700 of the Labor Code, for the performance of the work for which this permit is issued. My workers' compensation insurance carrier and policy number are:

Carrier _____ Policy Number _____

(This section need not be completed if the permit is for one hundred dollars (\$100) or less).
I certify that in the performance of the work for which this permit is issued, I shall not employ any person in any manner so as to become subject to the workers' compensation provisions of Section 3700 of the Labor Code, I shall forthwith comply with those provisions.

Date: _____ Applicant: _____

WARNING: FAILURE TO SECURE WORKERS' COMPENSATION COVERAGE IS UNLAWFUL, AND SHALL SUBJECT AN EMPLOYER TO CRIMINAL PENALTIES AND CIVIL FINES UP TO ONE HUNDRED THOUSAND DOLLARS (\$100,000), IN ADDITION TO THE COST OF COMPENSATION, DAMAGES AS PROVIDED FOR IN SECTION 3700 OF THE LABOR CODE, INTEREST, AND ATTORNEY'S FEES.

CONSTRUCTION LENDING AGENCY

I hereby affirm under penalty of perjury that there is a construction lending agency for the performance of the work for which this permit is issued (Sec. 3097, Civ. C).

Lender's Name _____ Lender's Address _____

I certify that I have read this application and state that the above information is correct. I agree to comply with all city and county ordinances and state laws relating to building construction, and hereby authorize representatives of this country to enter upon the above-mentioned property for inspection purposes.

Signature of Applicant or Agent Margaret S. Mollenkopf Date 11/17/05

LICENSED CONTRACTORS' DECLARATION

I hereby affirm under penalty of perjury that I am licensed under provisions of Chapter 9 (commencing with Section 7000) of Division 3 of the Business and Professions Code, and my license is in full force and effect.

License Class _____ License No. _____ Date _____
 Contractor _____

OWNER-BUILDER DECLARATION

I hereby affirm under penalty of perjury that I am exempt from the Contractors License Law for the following reason (Sec. 7031.5, Business and Professions Code: Any city or county which requires a permit to construct, alter, improve, demolish, or repair any structure, prior to its issuance, also requires the applicant for such permit to file a signed statement that he or she is licensed pursuant to the provisions of the contractors License Law (Chapter 9 [commencing with Section 7000] of Division 3 of the Business and Professions Code) or that he or she is exempt therefrom and the basis for the alleged exemption. Any violation of Section 7031.5 by any applicant for a permit subjects the applicant to a civil penalty of not more than five hundred dollars (\$500).):

I, as owner of the property, or my employees with wages as their sole compensation, will do the work and the structure is not intended or offered for sale (Sec. 7044, Business and Professions Code: The Contractors License Law does not apply to an owner of property who builds or improves thereon, and who does such work himself or herself or through his or her own employees, provided that such improvements are not intended or offered for sale. If, however, the building or improvement is sold within one year of completion, the owner-builder will have the burden of proving that he or she did not build or improve for the purpose of sale.)

I, as owner of the property, am exclusively contracting with licensed contractors to construct the project (Sec. 7044, Business and Professions Code: The Contractors License Law does not apply to an owner of property who builds or improves thereon, and who contracts for such projects with a contractor(s) licensed pursuant to the Contractors License Law.)

I, am exempt under Sec. _____ B & P.C. for this reason: _____

Date _____ Owner AGENT FOR MILMOLLENKOPF

WORKERS' COMPENSATION DECLARATION

I hereby affirm under penalty of perjury one of the following declarations:

I, have and will maintain a certificate of consent to self-insure for workers' compensation, as provided for by Section 3700 of the Labor Code, for the performance of the work for which this permit is issued.

I, have and will maintain workers' compensation insurance, as required by Section 3700 of the Labor Code, for the performance of the work for which this permit is issued. My workers' compensation insurance carrier and policy number are:

Carrier _____ Policy Number _____

[This section need not be completed if the permit is for one hundred dollars (\$100) or less.]

I certify that in the performance of the work for which this permit is issued, I shall not employ any person in any manner so as to become subject to the workers' compensation provisions of Section 3700 of the Labor Code, I shall forthwith comply with those provisions.

Date: _____ Applicant: _____

WARNING: FAILURE TO SECURE WORKERS' COMPENSATION COVERAGE IS UNLAWFUL, AND SHALL SUBJECT AN EMPLOYER TO CRIMINAL PENALTIES AND CIVIL FINES UP TO ONE HUNDRED THOUSAND DOLLARS (\$100,000), IN ADDITION TO THE COST OF COMPENSATION, DAMAGES AS PROVIDED FOR IN SECTION 3700 OF THE LABOR CODE, INTEREST, AND ATTORNEY'S FEES.

I hereby affirm under penalty of perjury that there is a construction lending agency for the performance of the work for which this permit is issued (Sec. 3097, Civ. C).

Lender's Name _____ Lender's Address _____

I certify that I have read this application and state that the above information is correct. I agree to comply with all city and county ordinances and state laws relating to building construction, and hereby authorize representatives of this country to enter on the above-mentioned property for inspection purposes.

Signature of Applicant or Agent _____ Date 9-23-04

FROM 228 Limited
 CITY OF MONROVIA Post CARD
 DEPARTMENT OF ET AL
 COMMUNITY DEVELOPMENT 12-06-07
 415 S. IVY AVE.
 MONROVIA, CA 91018

BLD: 2005-01006

JOB ADDRESS 324 W. PALM AVE.
 APN Plot _____ Page _____ Parcel _____

(Legal description may be attached separately if necessary)

Use of Structure
 Single Family Duplex
 Unit Apt. Sign
 Commercial Indust.
 Other _____

APPLICATION FOR BUILDING PERMIT
 BUILDING & PLANNING DIVISIONS
 CITY OF MONROVIA

New _____ Add'n _____ Alter _____ Demo _____

Description of Work BUILDING FLOOR, CONCRETE FORMS + SLABS + ROUGH DRAW

Owner Name MILMOLLENKOPF
 Address 324 W. PALM AVE
 City _____ Tel. No. _____

Contractor Name MASTER HOUSEHOVER / OWNER
 Address 20961 Flower Park Dr
 City CIN-CITY OH Tel. No. _____
 State Lic. _____ City Lic. _____

Architect/Engineer Name _____
 Address _____
 City _____
 State Certificate _____

Height _____ Sq. Ft. _____
 No. of Stories _____
 Size of Lot _____
 Use of Property _____

Inspector 3/14/04
See me before making inspection
Trunks
Chen

Group Occupancy	Type of Const	Date	Plan Check	Permit
Checked by _____	Approved by _____	Receipt # _____	Fee \$ _____	\$ _____

ZONING

Zone _____
 Required Parking Spaces _____
 Front side _____ Rear side _____
 Special Permits or Conditions _____
 Zoning Approval Mark Date 12/15/04

PER P.C. CONDITIONS
 STRUCTURE MOVED FROM
 228 Lynwood.

EXPIRED
 7/21/09

INSPECTION RECORD

APPROVALS	DATE	INSPT	APPROVALS	DAT	INSPT
STRUCTURAL:			MECHANICAL:		
Forms & Foundation			Heating Rough		
Reinforcing Steel		<u>4/1/06</u>	Final	<u>5/22/06</u>	<u>EN</u>
Chimney Foundation			A/C-Fan Rough		
Chimney Reinforcing			Final		
Roof Sheathing Nailing			Exhaust Fan		
Masonry Steel			Compressor		
LIR 4" x 8"			Boiler		
Final Lift & Groul			SWIMMING POOL:		
Shear Panel Nail/Hdwre			Setbacks		
Framing		<u>4/2/06</u>	Overhead Wires		<u>EN</u>
Insulation			Sewer Loc./P-Trap		
Interior Lath/Drywall		<u>4/3/06</u>	Main Drain		<u>EN</u>
Exterior Lathing			Pool Piping		
ELECTRICAL:			Reinforcing		
Power Pole			Bonding		
Groundwork			Underground Conduit		
Conduit			Pool Equip. Location		
Fixtures/Rough		<u>4/22/06</u>	Pool Heater Rough		<u>EN</u>
Finish			Final		
Service			Health Dept-non-SFR		
Signs			Pool Fences & Gates		
PLUMBING:			Backwash		
Groundwork			Pool Cover (Heated)		
Fixtures/Rough		<u>4/22/06</u>	Final Pool Electr		<u>EN</u>
Final			Final Pool Plumbing		
Gas Groundwork			Final Health-non-SFR		
Gas Test & Rough			Final Pool Approval		
Gas Final			MISCELLANEOUS:		
Sewer <input type="checkbox"/> Cesspool <input type="checkbox"/>			Demolition		
Sewer Cap			Re-Roof		
Water Heater Vents			Signs		
Water Heater Final			Fences		
			Accessibility Comp		
FINAL			FINAL		

CONSTRUCTION SUBJECT
 TO FIELD INSPECTION

LICENSES CONTRACTORS DECLARATION

I, hereby, affirm under penalty of perjury that I am licensed under provisions of Chapter 9 (commencing with Section 7000) of Division 3 of the Business and Professions Code, and my license is in full force and effect.

License Class _____ License No. _____ Date _____
 Contractor _____

OWNER-BUILDER DECLARATION

I, hereby affirm under penalty of perjury that I am exempt from the Contractors License Law for the following reason (Sec. 7031.5, Business and Professions Code: Any city or county which requires a permit to construct, alter, improve, demolish, or repair any structure, prior to its issuance, also requires the applicant for such permit to file a signed statement that he or she is licensed pursuant to the provisions of the contractors License Law (chapter 9 [commencing with Section 7000] of Division 3 of the Business and Professions Code) or that he or she is exempt there from and the basis for the alleged exemption. Any violation of Section 7031.5 by any applicant for a permit subjects the applicant to a civil penalty of not more than five hundred dollars (\$500):

I, as owner of the property, or my employees with wages as their sole compensation, will do the work and the structure is not intended or offered for sale (Sec. 7034, Business and Professions Code: The Contractors License Law does not apply to an owner of property who builds or improves thereon, and who does such work himself or herself or through his or her own employees, provided that such improvements are not intended or offered for sale. If, however, the building or improvement is sold within one year of completion, the owner-builder will have the burden of proving that he or she did not build or improve for the purpose of sale).

I, as owner of the property, am exclusively contracting with licensed contractors to construct the property (Sec. 7031.5, Business and Professions Code: The Contractors License Law does not apply to an owner of property who builds or improves thereon, and who contracts for such projects with a contractor(s) licensed pursuant to the Contractors License Law):

I am exempt under Sec. _____ B & P.C. for this reason: _____

Date: 2/15/08 Owner: Margaret E. Mollenkopf

WORKERS COMPENSATION DECLARATION

I hereby affirm under penalty of perjury one of the following declarations:

I have and will maintain a certificate of consent to self-insure for workers compensation, as provided for by Section 3700 of the Labor Code, for the performance of the work for which this permit is issued.

I have and will maintain workers compensation insurance, as required by Section 3700 of the Labor Code, for the performance of the work for which this permit is issued. My workers compensation insurance carrier and policy number are:

Carrier: _____ Policy Number: _____

(This section need not be completed if the permit is for one hundred dollars (\$100 or less). I certify that in the performance of the work for which this permit is issued, I shall not employ any person in any manner so as to become subject to the workers compensation provisions of Section 3700 of the Labor Code, I shall forthwith comply with those provisions.

Date: 2/15/08 Applicant: Margaret E. Mollenkopf

WARNING: FAILURE TO SECURE WORKERS COMPENSATION COVERAGE IS UNLAWFUL, AND SHALL SUBJECT AN EMPLOYER TO CRIMINAL PENALTIES AND CIVIL FINES UP TO ONE HUNDRED THOUSAND DOLLARS (\$100,000) IN ADDITION TO THE COST OF COMPENSATION, DAMAGES AS PROVIDED FOR IN SECTION 3700 OF THE LABOR CODE, INTEREST, AND ATTORNEYS FEES.

CONSTRUCTION LENDING AGENCY

I hereby affirm under penalty of perjury that there is a construction lending agency for the performance of the work for which this permit is issued (Sec. 3097, Civ. Code).

Lender's Name: _____ Lender's Address: _____

I certify that I have read this application and state the above information is correct. I agree to comply with all city and county ordinances and state laws relating to building construction, and hereby authorize representatives of this county to enter upon the above-mentioned property for inspection purposes.

Signature of Applicant or Agent: Margaret E. Mollenkopf Date: 2/15/08
 Approvals

JOB ADDRESS 324 West Palm Ave
 USE OF STRUCTURE

RESIDENTIAL COMMERCIAL INDUSTRIAL

DATE: 2/15/08
 PERMIT NO. _____
 TOTAL FEES \$ 821.35
 Checked by: AM

City of Monrovia
 Department of Community
 Development
 APPLICATION FOR
 ELECTRICAL PERMIT

Owner: Name MARGARET E. MOLLENKOPF
 Address 324 WEST PALM AVE
 City MONROVIA Tel No. (626) 358-1618

Contractor: Name OWNER/BDR
 Address _____
 City _____
 State Lic. _____ City Lic. _____

DESCRIPTION OF WORK

No.	ITEM	FILING FEE			
		25	00		
	New Residential sq. ft.	FI-1 FI-3	0.080 0.080		
<u>9</u>	Receptacles, Outlets, Switches	First 20 @ Additional @	1.25 1.25	<u>11</u>	<u>25</u>
<u>7</u>	Light Fixtures	First 20 @ Additional @	1.25 1.25	<u>8</u>	<u>75</u>
<u>1</u>	Residential Appliances es. 2, 1, 2 Ranges, Cook Tops, Air Conditioner, Garbage Disposal		7.35		<u>7.35</u>
	Non-Residential Appliances ea.		7.35		
	Motors		H.P.		
	Generators		K.W.		
	Transformers		KVA		
	Signs, Outline Lighting, Marquees		25.00 ea.		
	Signs-Additional, Branch Circuits Or Separate Flashers, etc.		8.00 ea.		
	Electrical Service Equipment up to 200 Amps		35.00 ea.		
	Service Equipment over 200 A Amps		Vols		
	Temporary Service R.E.S. 37.00 Com or Underground		40.00 ea.		
	Busways Length		13.00		
	Pvt. Swimming Pools		50.00		
	Miscellaneous				<u>65.35</u>
	Other Fees - Waste Impact 4.00 1.00				<u>27.00</u>
	Computer Cost Recovery \$5.00, Microfilming \$9.00				
				TOTAL FEE	<u>821.35</u>

EXPIRED
 7/21/09

		Date	Inspector
Electrical (Power Pole)	<input type="checkbox"/>	_____	_____
(Grd. Wk)	<input type="checkbox"/>	_____	_____
(Conduit)	<input type="checkbox"/>	_____	_____
(Rough)	<input type="checkbox"/>	_____	_____
(Finish)	<input type="checkbox"/>	_____	_____
(Service)	<input type="checkbox"/>	_____	_____
(Signs)	<input type="checkbox"/>	_____	_____
(Other)	<input type="checkbox"/>	_____	_____
(Other)	<input type="checkbox"/>	_____	_____
(Other)	<input type="checkbox"/>	_____	_____

REMARKS:

EXPIRED

7/21/09

Motor Service Ordered: _____

List Motors, Generators, Transformers:

BUSINESS LICENSE

- ONE TIME LICENSE YEARLY LICENSE
 QUARTERLY LICENSE EXP. DATE _____

LICENSES CONTRACTORS DECLARATION

I hereby affirm under penalty of perjury that I am licensed under provisions of Chapter 9 (commencing with Section 7000) of Division 3 of the Business and Professions Code, and my license is in full force and effect.

License Class _____ License No. _____ Date _____

OWNER-BUILDER DECLARATION

I hereby affirm under penalty of perjury that I am exempt from the Contractors License Law for the following reason (Sec. 7031.5, Business and Professions Code): Any city or county which requires a permit to construct, alter, improve, demolish, or repair any structure, prior to its issuance, also requires the applicant for such permit to file a signed statement that he or she is licensed pursuant to the provisions of the contractors License Law (Chapter 9 [commencing with Section 7000] of Division 3 of the Business and Professions Code) or that he or she is exempt there from and the basis for the alleged exemption. Any violation of Section 7031.5 by any applicant for a permit subjects the applicant to a civil penalty of not more than five hundred dollars (\$500):

I, as owner of the property, or my employees with wages as their sole compensation will do the work and the structure is not intended or offered for sale (Sec. 7044, Business and Professions Code). The Contractors License Law does not apply to an owner of property who builds or improves thereon and who does such work himself or herself or through his or her own employees, provided that such improvements are not intended or offered for sale. If, however, the building or improvement is sold within one year of completion, the owner-builder will have the burden of proving that he or she did not build or improve for the purpose of sale.

I, as owner of the property, am exclusively contracting with licensed contractors to construct the project (Sec. 7044, Business and Professions Code). The Contractors License Law does not apply to an owner of property who builds or improves thereon, and who contracts for such projects with a contractor(s) licensed pursuant to the Contractors License Law.

I am exempt under Sec. _____ B & P.C. for this reason:

Date: 3/12/08 Owner: Margaret S. Mollenkopf

WORKERS COMPENSATION DECLARATION

I hereby affirm under penalty of perjury one of the following declarations:

I have and will maintain a certificate of consent to self insure for workers compensation, as provided for by Section 3700 of the Labor Code, for the performance of the work for which this permit is issued.

I have and will maintain workers compensation insurance, as required by Section 3700 of the Labor Code, for the performance of the work for which this permit is issued. My workers compensation insurance carrier and policy number are:

Carrier: _____ Policy Number: _____

This section need not be completed if the permit is for one hundred dollars (\$100 or less). I certify that in the performance of the work for which this permit is issued, I shall not employ any person in any manner so as to become subject to the workers compensation provisions of Section 3700 of the Labor Code, I shall forthwith comply with those provisions.

Date: 3/12/08 Applicant: Margaret S. Mollenkopf

WARNING: FAILURE TO SECURE WORKERS COMPENSATION COVERAGE IS UNLAWFUL, AND SHALL SUBJECT AN EMPLOYER TO CRIMINAL PENALTIES AND CIVIL FINES UP TO ONE HUNDRED THOUSAND DOLLARS (\$100,000) IN ADDITION TO THE COST OF COMPENSATION, DAMAGES AS PROVIDED FOR IN SECTION 3700 OF THE LABOR CODE, INTEREST, AND ATTORNEYS FEES.

CONSTRUCTION LENDING AGENCY

I hereby affirm under penalty of perjury that there is a construction lending agency for the performance of the work for which this permit is issued (Sec. 3097, Civ. C).

Lender's Name: _____ Lender's Address: _____

I certify that I have read this application and state the above information is correct. I agree to comply with all city and county ordinances and state laws relating to building construction, and hereby authorize representatives of this county to enter upon the above-mentioned property for inspection purposes.

Signature of Applicant or Agent: Margaret S. Mollenkopf Date: 3/12/08

JOB ADDRESS 324 West Palm Ave.

USE OF STRUCTURE

RESIDENTIAL COMMERCIAL INDUSTRIAL

DATE 3/13/08
PERMIT NO. _____
TOTAL FEES \$ 630.00
Checked by PM

City of Monrovia
Department of Community
Development
APPLICATION FOR
PLUMBING PERMIT

Owner Name: Margaret L. Mollenkopf
Address: 324 West Palm Ave.
City: Monrovia Tel No. 626-358-1618

Contractor Name: OWNER/BLDG
Address: _____
City: _____
State Lic. _____ City Lic. _____

DESCRIPTION OF WORK

ITEM	FEE	
	28	00
Sinks _____ Lavatory _____ Water Closet _____ Showers _____ Bath Tub _____ Auto Washer _____ Urns _____ Wash Tray _____ Floor Drain _____ Disposal _____ Dishwasher _____ 15.00 ea		
Drainage or Vent Repair/Alter _____	5.00 ea	
Sewer Cap _____	27.00 ea	
Private Sewage System _____	75.00 ea	
Caspool or Drywall _____	45.00 ea	
Interceptor _____	25.00 ea	
Rainwater System - Inside Bldg. per drain _____	12.00 ea	
Water Piping System _____	0.00 ea	
Water Heater and/or Vent _____	15.00 ea	
1 Gas Piping System: Outlets 1-5 _____ 8.00 ea		8.00
Over 5 _____ 2.00 ea		
Lawn Sprinkler System _____	20.00 ea	
Vacuum Breakers or Back Flow Devices 1-5 _____ 15.00 ea		
Over 5 _____ 4.00 ea		
Swimming Pools _____	55.00	
_____	Public 56.00	
Spas _____	Private 33.00	
_____	Public 55.00	
Miscellaneous _____		36.00
Other Fees - Waste Impact 15.00 15.00 _____		27.00
Computer Cost Recovery 5.00 _____	Microfilming 9.00 _____	
	TOTAL FEE	630.00

EXPIRED
7/21/09

Approvals

REMARKS

Date

Inspector

Plumbing (Grd. Wk.)

(Rough)

03/14/08

Chan

(Finish)

Gas (Grd. Wk.)

(Rough)

(Finish)

Sewer

Water Heater (Vents)

(Finish)

REMARKS:

EXPIRED
7/21/09

Meter Service Ordered:

I hereby affirm under penalty of perjury that I am licensed under provisions of Chapter 9 (commencing with Section 7000) of Division 3 of the Business and Professions Code, and my license is in full force and effect.

License Class _____ License No. _____ Date _____

Contractor _____

OWNER-BUILDER DECLARATION

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I, as owner of the property, or my employees with wages as their sole compensation, will do the work and the structure is not intended or offered for sale (Sec. 7044, Business and Professions Code: The Contractors License Law does not apply to an owner of property who builds or improves thereon, and who does such work himself or herself or through his or her own employees, provided that such improvements are not intended or offered for sale. If, however, the building or improvement is sold within one year of completion, the owner-builder will have the burden of proving that he or she did not build or improve for the purpose of sale).

I, as owner of the property, am exclusively contracting with licensed contractors to construct the project (Sec. 7044, Business and Professions Code: The Contractors License Law does not apply to an owner of property who builds or improves thereon, and who contracts for such projects with a contractor(s) licensed pursuant to the Contractors License Law).

I am exempt under Sec. _____ B & P.C. for this reason: _____

Date 11/14/05 Owner Margaret S. Mollenkopf

WORKERS' COMPENSATION DECLARATION

I hereby affirm under penalty of perjury one of the following declarations:

I have and will maintain a certificate of consent to self-insure for workers' compensation, as required by Section 3700 of the Labor Code, for the performance of the work for which this permit is issued.

I have and will maintain workers' compensation insurance, as required by Section 3700 of the Labor Code, for the performance of the work for which this permit is issued. My workers' compensation insurance carrier and policy number are: _____ Policy Number 721101

Carrier _____
 (This section need not be completed if the permit is for one hundred dollars (\$100) or less).
 I certify that in the performance of the work for which this permit is issued, I shall not employ any person in any manner so as to become subject to the workers' compensation provisions of Section 3700 of the Labor Code, I shall forthwith comply with those provisions.

Date _____ Applicant: _____

WARNING: FAILURE TO SECURE WORKERS' COMPENSATION COVERAGE IS UNLAWFUL, AND SHALL SUBJECT AN EMPLOYER TO CRIMINAL PENALTIES AND CIVIL FINES UP TO ONE HUNDRED THOUSAND DOLLARS (\$100,000), IN ADDITION TO THE COST OF COMPENSATION, DAMAGES AS PROVIDED FOR IN SECTION 3700 OF THE LABOR CODE, INTEREST, AND ATTORNEY'S FEES.

CONSTRUCTION LENDING AGENCY

I hereby affirm under penalty of perjury that there is a construction lending agency for the performance of the work for which this permit is issued (Sec. 3097, Civ. C).
 Lender's Name _____ Lender's Address _____

I certify that I have read this application and state that the above information is correct. I agree to comply with all City and County ordinances and state laws relating to building construction, and hereby authorize representatives of this country to enter upon the above-mentioned property for inspection purposes.

Signature of Applicant or Agent Margaret S. Mollenkopf Date 11/14/05

JOB ADDRESS: 374 W. PALM AVE

USE OF STRUCTURE: RESIDENTIAL COMMERCIAL INDUSTRIAL

DATE: Nov. 14, 2005

PERMIT NO. _____

TOTAL FEES \$ 2235

Checked by AM

APPLICANT FOR: **PLUMBING PERMIT**
 DEPARTMENT OF COMMUNITY DEVELOPMENT
 CITY OF MONROVIA

Owner Name: M.L. MOLLENKOPF
 Address: 374 W. PALM AVE
 City: MONROVIA Tel. No. _____

Contractor Name: OWNER/BDR
 Address: _____
 City: _____ Tel. No. _____
 State Lic. _____ City Lic. _____

DESCRIPTION OF WORK			FILED FEE	FEES
No.	ITEM			
				<u>2235</u>
FIXTURES	Sink	Lavatory	Water Closet	
	Shower	Bath Tub	Auto. Washer	
	Urinal	Wash Tray	Floor Drain	
	Ceeposal	Dishwasher		9.00 ea.
	Drainage or Vent Repair/Alter		4.50 ea.	
	Sewer Cap		22.55 ea.	
	Private Sewage System		68.20 ea.	
	Cesspool or Drywell		34.10 ea.	
	Interceptor		18.20 ea.	
	Rainwater System - Inside Bldg. - per drain		9.00 ea.	
	Water Filing System		4.35 ea.	<u>43</u>
	Water Heater and/or Vent		11.30 ea.	
	Gas Piping System Outlets	1-5 over 5	5.83 1.05 ea.	
	Leak Sprinkler System		9.75 ea.	
	Vacuum Breakers or Back Flow Devices	1-5 over 5	11.30 2.05 ea.	
	Swimming Pools	Private Public	55.95 83.55	
	Spas	Private Public	27.70 55.35	
	Miscellaneous			
	Other Fees - Waste Impact	10.00		18.00
	Computer Cost Recovery	3.25		
	Microfilming	4.75		
	TOTAL FEE			<u>2235</u>

SUPPLEMENTAL PERMIT

PLM 2005-11017

I hereby affirm under penalty of perjury that I am licensed under provisions of Chapter 9 (commencing with Section 7000) of Division 3 of the Business and Professions Code, and my license is in full force and effect.

License Class _____ License No. _____ Date _____
 Contractor _____

OWNER-BUILDER DECLARATION

I hereby affirm under penalty of perjury that I am exempt from the Contractors License Law for the following reason (Sec. 7031.5, Business and Professions Code: Any city or county which requires a permit to construct, alter, improve, demolish, or repair any structure, prior to its issuance, also requires the applicant for such permit to file a signed statement that he or she is licensed pursuant to the provisions of the contractors License Law (Chapter 9 (commencing with Section 7000) of Division 3 of the Business and Professions Code) or that he or she is exempt therefrom and the basis for the alleged exemption. Any violation of Section 7031.5 by any applicant for a permit subjects the applicant to a civil penalty of not more than five hundred dollars (\$500):

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I am exempt under Sec. _____, B & P.C. for this reason: _____

Date: 11/17/05 Owner: Margaret S. Moltenkopf

WORKERS' COMPENSATION DECLARATION

I hereby affirm under penalty of perjury one of the following declarations:

I, have and will maintain a certificate of consent to self-insure for workers' compensation, as provided for by Section 3700 of the Labor Code, for the performance of the work for which this permit is issued.

I, have and will maintain workers' compensation insurance, as required by Section 3700 of the Labor Code, for the performance of the work for which this permit is issued. My workers' compensation insurance carrier and policy number are:

Carrier _____ Policy Number _____

(This section need not be completed if the permit is for one hundred dollars (\$100) or less.)
 I certify that in the performance of the work for which this permit is issued, I shall not employ any person in the State of California so as to become subject to the workers' compensation provisions of Section 3700 of the Labor Code, and I shall forthwith comply with those provisions.

Date: _____ Applicant: _____

WARNING: FAILURE TO SECURE WORKERS' COMPENSATION COVERAGE IS UNLAWFUL, AND SHALL SUBJECT AN EMPLOYER TO CRIMINAL PENALTIES AND CIVIL FINES UP TO ONE HUNDRED THOUSAND DOLLARS (\$100,000), IN ADDITION TO THE COST OF COMPENSATION, DAMAGES AS PROVIDED FOR IN SECTION 3700 OF THE LABOR CODE, INTEREST, AND ATTORNEY'S FEES.

CONSTRUCTION LENDING AGENCY

I hereby affirm under penalty of perjury that there is a construction lending agency for the performance of the work for which this permit is issued (Sec. 3097, Civ. C).
 Lender's Name _____ Lender's Address _____

I certify that I have read this application and state that the above information is correct. I agree to comply with all city and county ordinances and state laws relating to building construction, and hereby authorize representatives of this country to enter upon the above-mentioned property for inspection purposes.

Signature of Applicant or Agent: Margaret S. Moltenkopf Date: 11/17/05

USE OF STRUCTURE
 RESIDENTIAL COMMERCIAL INDUSTRIAL

DATE: NOV. 17, 05
 PERMIT NO.: _____
 TOTAL FEES \$: 101.20
 Checked by: RA

APPLICATION FOR
PLUMBING PERMIT
 DEPARTMENT OF COMMUNITY
 DEVELOPMENT
 CITY OF MONROVIA

Owner Name: M.L. MOLLENKOPF
 Address: 324 W. PALM AVE
 City: MONROVIA Tel. No. _____

Contractor Name: OWNER/BDR
 Address: _____
 City: _____ Tel. No. _____
 State Lic. _____ City Lic. _____

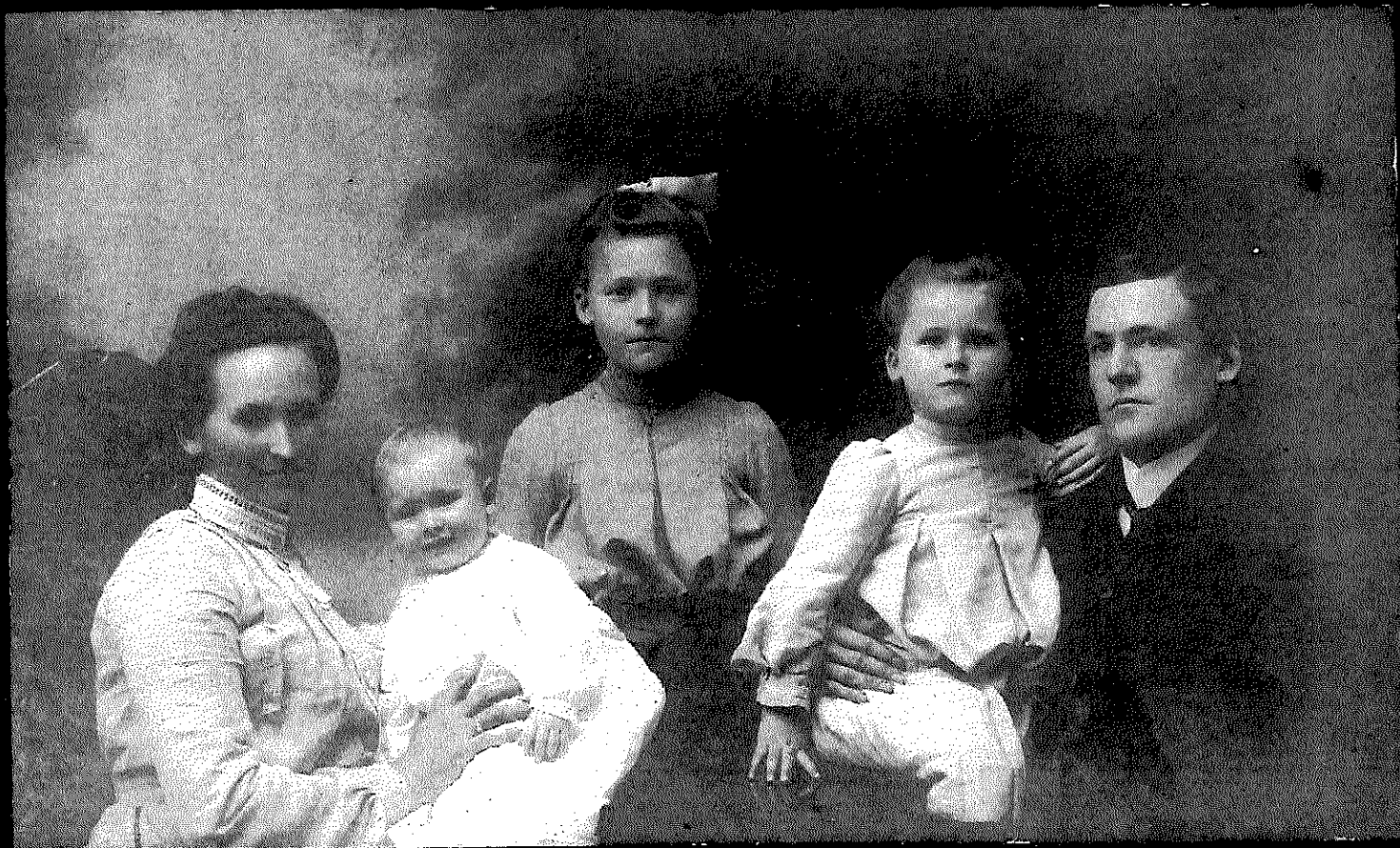
DESCRIPTION OF WORK				FEE	
No.	ITEM				
		PLUMBING FEE		22.55	
FIXTURES	Sink	1	Levatory	1	Water Closet
	Shower	1	Bath Tub	1	Auto Washer
	Urinal	1	Wash Tray		Floor Drain
	Disposal		Dishwasher	9.00 ea.	
					45.00
	Drainage or Vent Repair/Alter		4.50 ea.		
	Sewer Cap		22.55 ea.		
	Private Sewage System		68.20 ea.		
	Gaspool or Drywell		34.10 ea.		
	Interceptor		18.20 ea.		
	Rainwater System - Inside Bldg. - per drain		9.00 ea.		
1	Water Piping System		4.35 ea.		435
1	Water Heater and/or Vent		11.30 ea.		1130
	Gas Piping System Outlets	1-5 over 5	5.63% 1.65 ea.		
	Lawn Sprinkler System		9.75 ea.		
	Vacuum Breakers or Back Flow Devices	1-5 over 5	11.30 2.05 ea.		
	Swimming Pools	Private Public	55.55 83.55		
	Spas	Private Public	27.70 55.35		
	Miscellaneous				
	Other Fees - Waste Impact 10.00, Computer Cost Recovery 3.25, Microfilming 4.75		83.20		18.00
				TOTAL FEE	101.20

11/17/05 - 11/17/05

EXPIRED
 7/21/09



Louis Umbach



The Umbach Family, March 1904

Louise (mother)
Mildred (8 months)
Della (10 years 8 months)
Fern (3 years, 9 months)
Louis (father)

Jacobson
PHOTOGRAPHER

288-238
SOUTH MAIN ST
LOS ANGELES, CAL.

Louis Umbach

Louis Umbach was born on December 18, 1867 in Evansville, Indiana. At age 20, he went into the tailoring business with his half-brother, William Diederich. Two years later, Louis married Louisa Griese. For twenty-four years he pursued the tailoring business, working for tailors in Evansville, St. Louis, Kansas City, Memphis, St. Joseph, and Paducah.¹

In 1903, Louis moved his wife and three daughters to Monrovia, California. His daughters were Della (age 10), Fern (age 3), and Mildred (under 1 year of age). In the Spring of 1904, Louis purchased their newly built home at 324 West Palm Ave. for \$300 dollars. The house consisted of three rooms with a front porch.

According to Louisa's obituary in 1965, Louis was the first tailor in Monrovia.² New to the community, "he began in a small way having a table in a millinery establishment with all the stock he possessed in a show window."³ The name or location of the millinery shop is unknown. As his reputation and success grew, in 1908 he and Louisa took out a \$500 mortgage on their house, and with the money purchased equipment and inventory to open his own tailor shop at 624 South Myrtle Ave. The shop was 25'x60' and he kept a "well selected stock of all kinds of cloth."⁴ Louis employed two assistants.

In 1911, at age 44, Louis Umbach was battling a serious illness, possibly pleurisy, that was going to take his life. On July 12, 1911, Louis

¹ A document published around 1908 highlighting people and businesses who were contributing to Monrovia's progress. The publication is unknown. A copy of the page describing Louis Umbach is included herein.

² Daily News Post, Monrovia, April 26, 1965, page 3.

³ Document published around 1908.

⁴ Document published around 1908.

sold his tailoring business for \$500 to L. G. Wick, and the payment was to be made in full by Aug. 1, 1911. With the money, Louis began to put into motion a plan to make the house at 324 West Palm Ave. more comfortable for his wife and daughters. In August 1911, Louis took out a building permit to add a sleeping porch addition to the front northwest corner of the house. This is all that Louis could accomplish because on December 27, 1911, Louis died at home, nine days after his 45th birthday.¹

In February 1912, Louise (she changed the "a" to an "e") took out a building permit to add a second sleeping porch, kitchen, pantry, bathroom, and utility porch across the back of the house. In March, she made the final payment on the 1908 mortgage.

As for their daughters, Della was married in June 1912 to Earl Mollenkopf ², son of Worth Mollenkopf, a city councilman and mayor of Monrovia from 1914-1916.³ She and Earl were married in the front parlor of her parent's home and resided as a married couple in Sierra Madre. Earl was an electrician and put the first electric lights in the Umbach house. They had five children. Worth Mollenkopf and his family lived on the same block on the southeast corner of West Palm Ave. and Alta Vista Ave. The house no longer exists.

Fern would one day board a train at the Monrovia train station, waving goodbye to her girlfriends, and travel across country to marry a soldier. She had one son. Mildred never married, although she had an opportunity to, but she felt an obligation to care for her mother. Louise Umbach died on April 24, 1965 at age 92.

¹ Monrovia News, Dec. 30, 1911, page 6.

² Monrovia Daily News, June 21, 1912, page 1.

³ Los Angeles County, *Historical Volume and Reference Works*, volume III, (Historical Publishers, Arlington, Calif., 1964), page 284.

3 Monrovia Centennial Committee, *Monrovia Centennial Review*, (Monrovia, Calif., 1985), pages 115, 118.

3 John L. Wiley. *History of Monrovia*, (Press of Pasadena Star-News, Pasadena, Calif., 1927), pages 126, 134-135, 191.

the Meeks Baking Company of Los Angeles, granted him the exclusive right to make, sell, deliver the celebrated Butternut Bread. The Health Bread is another popular product that has a large sale among Mr. Fork's numerous customers.

Besides his famous breads, cakes and pies, Mr. Fork keeps a large and complete stock of all kinds of fresh candies; is a dispenser of soda water and has a splendid stock of delicious jellies on his shelves. He has been a resident of Monrovia for 18 years and before embarking in the bakery business, conducted a dairy for over seven years.

L. UMBACH

One cannot help but admire pluck, energy and perseverance in the characteristics of a man. Here is Mr. Umbach, the Tailor, for instance, who for twenty-four years has given his time and study to the business, until today he is admitted a leader in his profession. In Evansville, Ind., St. Louis, Kansas City, Memphis, St. Joseph and Paducah, he has industriously followed his avocation with the leading tailors of the above named cities, and recognizing the future growth and prosperity of Monrovia, decided to make this his home, coming here four years ago. He began in a small way, having a table in a millinery establishment with all the stock he possessed in a show window. Gradually, by giving entire satisfaction to his customers, his business as well as his reputation increased to such an extent that he was compelled to occupy larger quarters, and today finds him in his present large 25x60 store-room, where he keeps constantly on hand a well selected stock of all kinds of cloths. Mr. Umbach guarantees perfect satisfaction on all his work. He employs two skilled and experienced workmen.

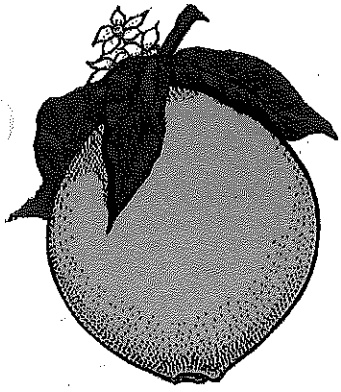
CAPT. A.H. JOHNSON

Of the many men who have contributed to Monrovia's progress, none is more worthy of mention than Capt. A.H. Johnson. There are few of the residents of Monrovia today whose identification with its interests and upbuilding antedates the arrival of Capt. Johnson, which was in January, 1837, less than a year after its foundation. He was born on a farm near Weathersfield, Wyoming County, New York, April 23, 1836. When he was twelve years of age his father took the family to Wisconsin. As a boy he worked on the railroad, first in Illinois and later on the U.P. and N.P. railroads.

Written about 1908

Source unknown





L. UMBACH MERCHANT TAILOR

624 SOUTH MYRTLE AVENUE

Monrovia, Cal., _____ *190*



"This is FAST BLACK and d'ont you forget it!"



The sale of his tailoring business in 1911.

AGREEMENT.....

THIS AGREEMENT, Made this twelfth day of July, A. D. 1911, by and between LOUIS UMBACH, of Monrovia, Los Angeles County, State of California, party of the first part, and L. O WICK, of the City and County of Los Angeles, State of California party of the second part,

WITNESSETH: That the said party of the first part, for and in consideration of the agreements and covenants on the part of the said party of the second part hereinafter contained, agrees to sell and convey unto the said party of the second part, and the said party of the second part ~~ga~~ agrees to buy the tailoring business of the party of the first part, conducted at No. 622 South Myrtle avenue, consisting of his "good will" and the following articles:

- 7 Tables;
- 2 Basels;
- 5 Display Rods;
- 15 feet of brass railing;
- 7 Complete plates;
- 19 Cuts of Cloth;
- 1 Mirror;
- 1 Fire Proof Safe;
- 1 Small Desk;
- 3 Clothes Racks;
- 1 Roll of Paper;
- 6 Chairs;
- 1 Rocker;
- 1 Stool;
- Miscellaneous Suit Boxes;
- 3 Doz of Stock Boards;
- 2 Wooden Signs;
- 1 Glass Sign;
- 2 Press Stands;
- 1 Pair Oriental Curtains;
- 1 Gas Iron and Hose-Metal;
- 2 Pressing Blocks-Cheese;
- 1 Edge Block;
- 3 Solid Pressing Irons;
- 1 Rug;
- 1 Singer Sewing Machine;
- 1 Button Machine;
- 1 Water Jar;
- 4 Vases;
- 1 Skirt Chart;
- Stock of Buttons

2 Gasoline Presser Lamps;
All Trimmings in the house;
1 Stove and Stove pipes;
1 Clock;
1 Button Hole Cutter;
1 American Gentlemen Cutting System;
1 Division Square;
1 Yard Stick;
1 Curb Stick;
1 Order Book;
2 Awings in Back;
6 Tungsten Burners with Globe;
1 Rubber Hose;
1 Water Motor;
3 pairs of Shears,

For the sum of Five Hundred Dollars (\$500.00), and the said party of the second part in consideration of the premises, agree to pay to the said party of the first part the said sum of Five Hundred Dollars (\$500.00), as follows, to-wit:

Twenty-five Dollars (\$25.00) cash upon the delivery of this agreement, the receipt of which is hereby acknowledged; Seventy-five Dollars (\$75.00) on the seventeenth day of July, 1911; and the balance of Four Hundred Dollars on the first day ^{or before} August, 1911.

Time is the essence of this agreement, and in the event of a failure to comply with any of the terms and conditions hereof by the party of the second part, all moneys paid hereunder shall be applied in full as rent of said premises, and said party of the first part shall be released from all obligations, in law or equity, to convey said property, and shall be entitled to the immediate possession thereof.

IT IS FURTHER AGREED AND UNDERSTOOD, that the party of the first part hereby agrees not to start in the tailoring business in the City of Monrovia within one year from the date of this agreement. And it is further agreed that all orders on books at time of final payment to belong to the said party of the second part. Possession is to be given when final payment is made. IN WITNESS WHEREOF, The parties hereto have hereunto

Death of Louis Umbach.

Form Thursday's Dally.

Louis Umbach, who has been critically ill for some time, died at his late residence on West Palm last night.

He was born in Evansville, Ind., December 18, 1868, and went into business with his half-brother, William Diederich, at the age of 20. Two years later he married. In September, 1903, he came with his family to Southern California and in the February following engaged in business in this city. He leaves a widow and three children, Della, Fern and Mildred, two brothers in Evansville, Ind., Harry Umbach and Ben Diederich, and one brother William Diederich, in Los Angeles.

Funeral services, conducted by Rev. Clark Marsh, will be held Sunday afternoon at the Reynolds funeral parlors. Interment will be made in Inglewood cemetery Monday morning.

Mr. Umbach had many friends and business associates in Monrovia who sincerely mourn his loss.

MONROVIA NEWS
Saturday, Dec. 30, 1911
Page 6

Identical Obituary
MONROVIA DAILY NEWS
Thursday, Dec. 28, 1911
Page 1

Louise Umbach's release from 1908 mortgage.

1840
166

Release

INDIVIDUAL

Harvey W. Williams.

—TO—

Louise A. Umbach.

Dated March 1st 1912

Title Abstract and Trust Co.
INCORPORATED MARCH 20, 1899

N. W. CORNER FIRST AND BROADWAY

LOS ANGELES, CAL.

Order No.

When recorded please mail this instrument to

Louise A. Umbach,

Monrovia Cal.

Document 77310
Book MOORE

RECORDED AT REQUEST OF

W. J. ...

MAR 5 1912

Abstr. 1 min. past 10 AM
in Book 384 Page 146

of Releases
Los Angeles County Records

C. L. LOGAN

By *H. W. ...*

Dec 8 1912
13 59

288

In Consideration of the payment of the debt secured by the mortgage executed by..... Louis Umbach and Louise A. Umbach, husband & wife.....

and recorded May 1st..... 1908....., in Book 1840....., Page 166..... of Mortgages, in the office of the Recorder of Los Angeles County, California, the undersigned hereby releases the property described in said mortgage from the lien thereof.

Dated March 1st 1912.

Harvey W. Williams

State of California }
County of Los Angeles, } ss.

On this First day of March 1912.

before me, F.F. Rives,

a Notary Public in and for said County, personally appeared.....

Harvey W. Williams.

known to me to be the person whose name is subscribed to the within instrument, and acknowledged that he executed the same.

Witness my hand and official seal.

E. E. [Signature]
Notary Public Los Angeles County, California

ated by the att-
ness of city officers
other members of
Jamlet
mentioned was Charles
ed that he is a rex-
and a builder. When
or defendant wheth-
ed opinion in regard
narrower being "no."
prosecution objected

on Page 1.)

IT

on, the
cause we
avia. The
ich shows
added to
though we

affords convincing proof of the growth
of the bank, as it shows the steady
increase of deposits. It will be re-
membered that the demands upon the
institution made necessary the in-
crease of the capital stock from \$30,
000 to \$50,000 and the enlargement of
the directorate to nine members.

Marriage at Umbach Home

Miss Della Umbach and Earl Mol-
lenkopf were married yesterday even-
ing at 7 o'clock at the home of the
bride's mother, Rev. C. H. Marsh of
Seattle. In addition to the members
of the immediate families of the con-
tracting parties there were present
Mr. and Mrs. William Diederich and
two sons, Los Angeles; Miss Lulu
Jordan, Evansville, Ind. The rooms
were decorated in white and
pink, Shasta daisies, coral fern and
pink hydrangeas being the flowers
used. After a wedding supper the
young people left for Sierra Madre.
Mr. Mollenkopf is in the electrical
business there and it will be their
future home.

Imperial Valley Squatters

Through a misunderstanding of the
law a large number of people have set-
tled on land made available by the re-
cent evaporation of the Salton sea,

supplies and employing me:
in fighting forest fires. It
is a favorite with the boys
of Monrovia, who will re-
his appointment.

Welcome Birthday G

R. L. Casner of 219 West
ave, who is a prosperous y
near man of Ninth and Broad
Angeleno, has just purchased
baker touring car and pres-
ent wife for a birthday gift.
ner says "it pays to pay car
saved a large amount by
Hope they will enjoy it and
him a prosperous year. Go
see "Hab," go to it.

Progress on State High

Accompanied by three
the members of the state
commission are making an
of the Tejon and Tehachap
determining which of them will
be the best route for the main
way. The survey of the st-
way between Fresno and It
northern boundary of the st-
plan, will be completed about
the of next week, according
housement made by the dis-
ginner. Two crews are now

Monrovia Daily News
Friday, June 21, 1912
page 1



—Daily News-Post Photo

LOYALTY DAY—Monrovia Mayor Roy Kropke signs proclamation designating Saturday as Loyalty Day. VFW Commander John T. Kennedy and Past Commander George Klein will conduct special program.

FOR MONROVIA

Mayor Proclaims Loyalty Day May 1

Mayor Roy Kropke today proclaimed Saturday as Loyalty Day in Monrovia.

The special program celebrating the day, however, will be held Friday night in the Clifton School auditorium.

The proclamation states the first day in the month of May each year has been designated by the U.S. Congress and by the President as Loyalty Day throughout the nationwide.

It is a day all citizens can reaffirm their loyalty to the United States and give special attention to our heritage of public demonstrations and cere-

doms and national unity."

The public programs begun by the Veterans of Foreign Wars of the United States, and its many co-sponsors are designed to implement fully the patriotic intent of Loyalty Day and are highly commendable, the proclamation states.

"Every man, woman and child, every school and church, every business establishment, organization and home should display proudly the flag of our country and participate in the public demonstrations and cere-

Kindergarten Enroll For Children Over

Myth

Parents may register children for kindergarten on May 12 from 9 a.m. to 4 p.m. at the office of the elementary school in their area.

Any child born on or before Dec. 2, 1960, is eligible for kindergarten beginning in September 1965.

State law requires that at registration parents present documentary evidence of birth in the form of a certificate of birth, a duly attested baptism certificate, a passport, or an affidavit of the parent, guardian, or custodian of the minor. All pupils who enroll must

also present evidence of polio immunization or a signed statement by the parent requesting exemption on the basis of religious belief.

For pupils immunized with three injections prior to Jan. 1,

Famous Art For Monrovia

Famous institutions as well as individuals will be represented with paintings in the "Collector's Choice" one-night exhibition of the Monrovia Art Festival Assn. May 12.

From the Los Angeles County Museum in Exposition Park will come three early California masterpieces in the John Jewell Garland collection.

Works will be shown by William Keith, landscape artist; Thomas Hill, famous for nature scenes; and J. Bond Francisco, noted for selling his paintings for as much as \$4,000 "hot off the easel."

The Los Angeles City Art Commission is loaning three paintings from its permanent collection in the City Hall—"Bird on the Moon" by Edmund Kohn; "Piccadilly Circus," by Benton Scott; and "Motherhood," by Francis de Erdely.

Other collectors have loaned paintings ranging from Goya

Mrs. Umbach Of Monrovia Dies at 92

Louise A. Umbach, 92, of 324 W. Palm, Monrovia, died Saturday at her home.

Mr. and Mrs. Umbach built the home on Palm 62 years ago and she has resided there since that time. The late Mr. Umbach was the first tailor in Monrovia.

She was a 50 year member of the Pythian Sisters, Mount Monrovia Temple No. 33, Club 33 and a 74 year member of the Woodmen of the World.

She is survived by three daughters, Mildred Umbach of Monrovia, Della Umbach Melenkopf of Hermosa Beach and Fern Umbach Brown of Denver, Colo.

Services are to be held Tuesday at 2 p.m. at Temple and LaGorge Chapel with the Rev. Edna Drebert of the Unity Center officiating.

Burial will be in the Inglewood Park Cemetery. Friends may call at the Temple and LaGorge Chapel Monday until 9 p.m.

Hub Caps Stolen From Woman's Car

Theft of four hub caps, valued at \$45, from her car parked in the public lot in the 100 block of W. Lime Avenue, was reported to Monrovia police by Betty J. Kerth, of La Puente, an employee of the California Water and Telephone Company.

Eight Groups Sign Up for Mardi Gras

Although Monrovia's annual Mardi Gras Street Sale is more than a month away, eight civic organizations have signed up for participation in the May 28-29 event.

Sponsored by the Retail Division of the Monrovia Chamber of Commerce, the Mardi Gras is primarily a retail promotion, but a limited amount of space is available for club booths and industrial exhibits.

Daily News Post
A Copley Newspaper

Munday, April 26, 1965
page 3

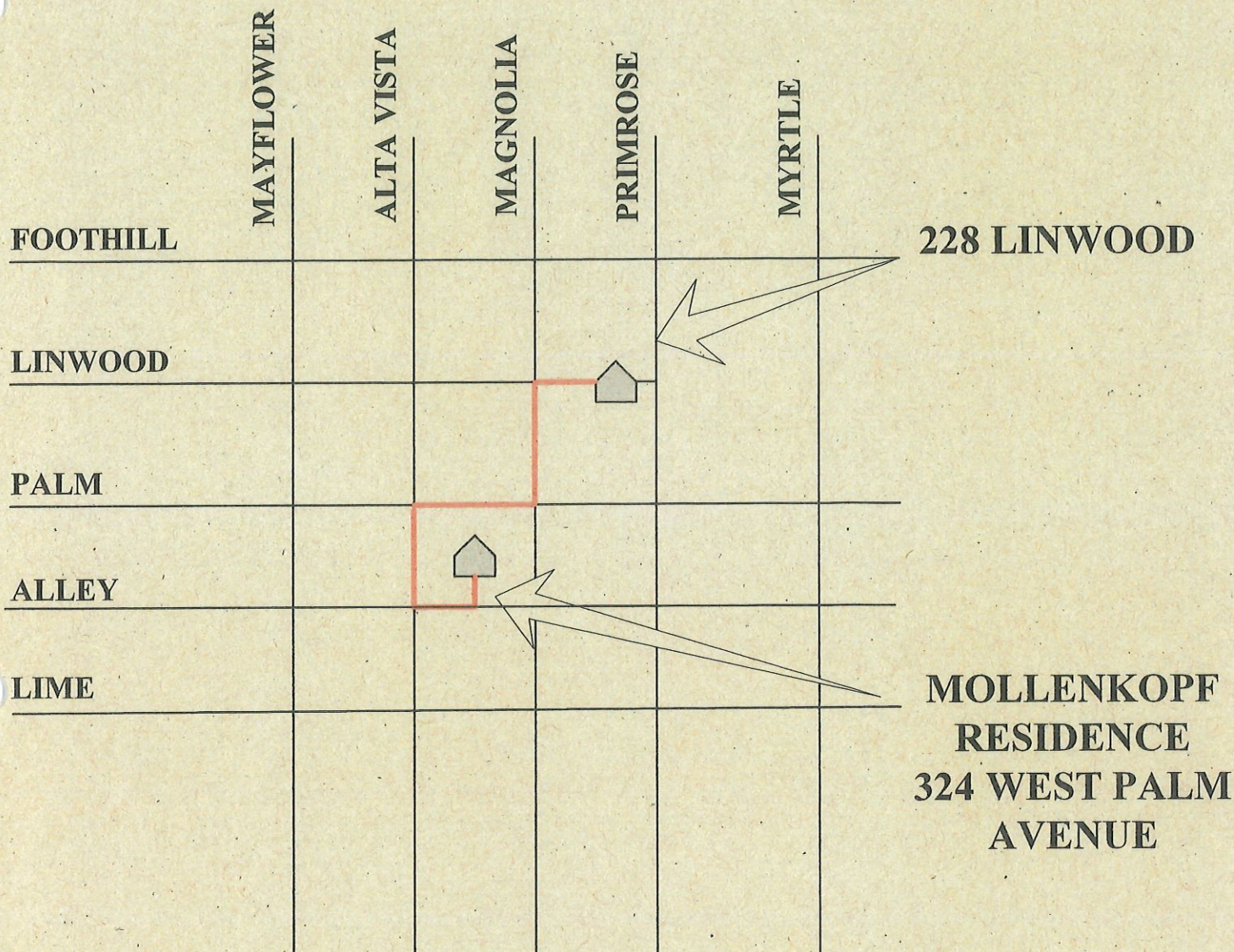
Garage



In 2005, a small 1904 cottage at 228 West Linwood Ave., Monrovia was scheduled to be demolished. With the valuable help of Jimi and Dana Hendrix, the owner agreed to give the 1904 structure to me. I would have to pay for the house to be moved and relocated to the back of my property at 324 West Palm Ave. The structure was cut into two parts and the porch was carefully removed and placed on a truck. In February 2005, the cottage was lifted off its foundation, placed by house movers on a flatbed and rolled down Linwood to Palm Ave., down Palm Ave. to Alta Vista, and then left to the alley behind my property. It was carefully shifted from the truck to the waiting concrete slab, where it now sits. It still appears as it did as a cottage with the exception of a garage door on the alley end. It functions as a garage/studio with a laundry room and bathroom.

Description

A pyramidal roof caps this wood-frame, one-story single-family residence. The mass-plan vernacular, National style dwelling exhibits Neo Classical stylistic detailing in its design. Roof elements include slightly overhanging boxed eaves with cornice board trim. The primary (north) elevation is punctuated by two pairs of elongated double-hung windows framed by flat wooden surrounds, as well as the front door. The glazed panel entry door is situated at the far west side of the facade and is sheltered by a simple hipped roof canopy supported by square wooden posts.



228 LINWOOD

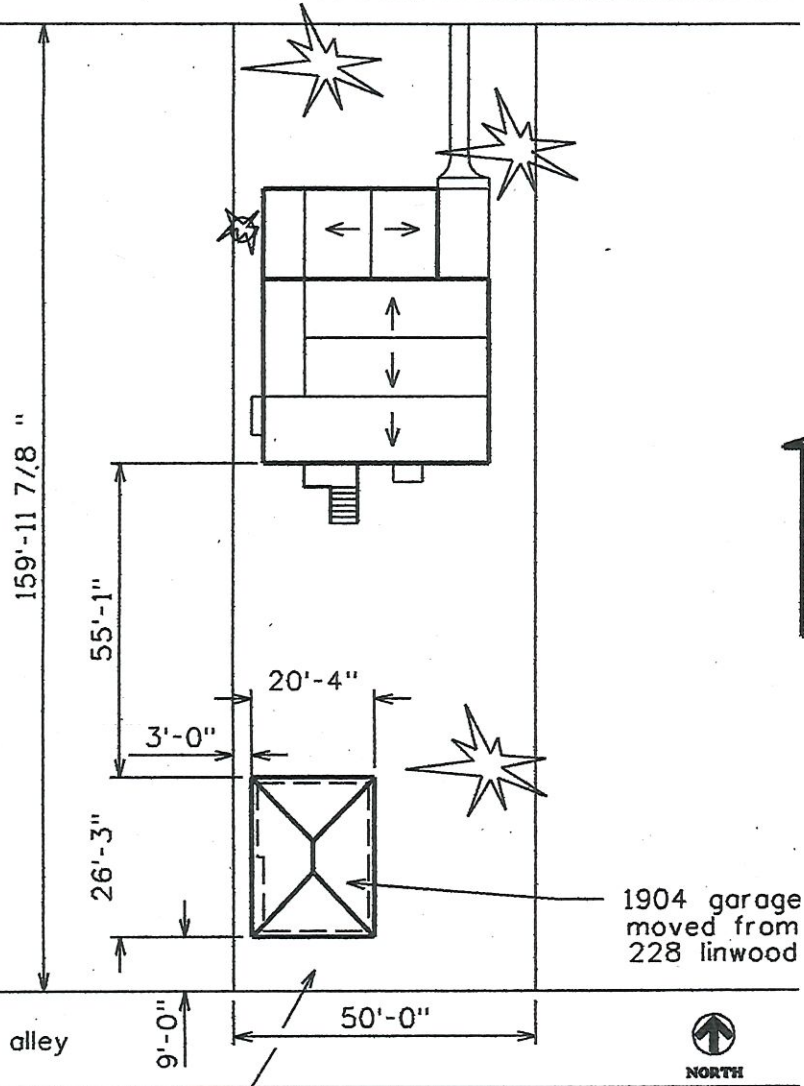
**MOLLENKOPF
RESIDENCE
324 WEST PALM
AVENUE**



NORTH

**ROUTE MAP FOR 1904 GARAGE MOVED
FROM 228 LINWOOD TO 324 WEST PALM
AVENUE**

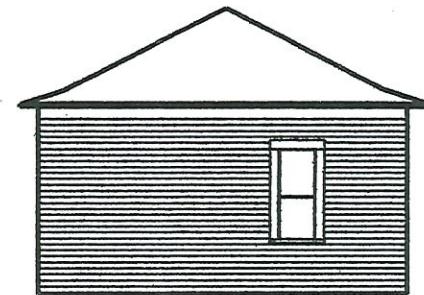
west palm avenue



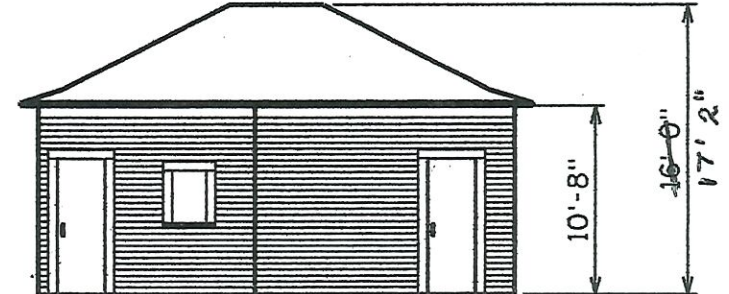
east



north



south



west

MOLLENKOPF RESIDENCE
 324 West Palm Avenue
 Monrovia, CA 91016

heg
5/18

08-04-04

S I T E P L A N

E L E V A T I O N S



228 Linwood Ave.







Moving the structure to new foundation.





The structure today.



Monday Evening Edition

THE *Monrovia* WEEKLY

ONLY THE SKY COVERS YOU BETTER

MONDAY, FEBRUARY 14 - FEBRUARY 20, 2005

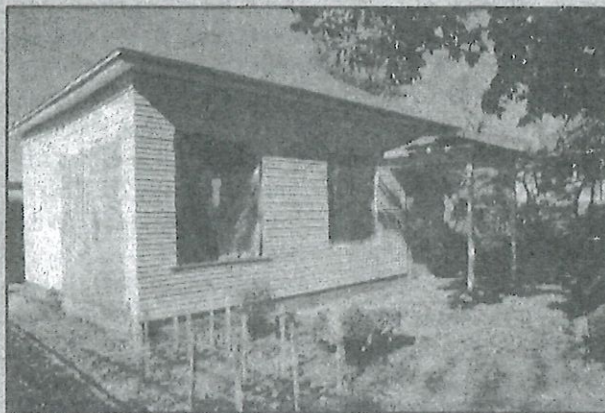
The Community Newspaper For The City Of Monrovia

VOLUME 10 No. 13



HAPPY
VALENTINES
DAY

Century Old Structure Finds New Home, Use



The Monrovia Old House Preservation Group helped to relocate this 1904 historic home, saving it from demolition. —Photo by Terry Miller

By
JENNIFER MACDONALD

In a city like Monrovia many original structures date back to the turn of the century. Development looms on the horizon for many of these old buildings and some residents are clamoring to preserve them instead of allowing them to be demolished.

A team of such resi-

dents was involved in preserving a 1904 home residing on Linwood Avenue where Century 21 Village Realty's sales associate "Lady Bird" and her husband Greg Bird were planning to begin construction of two new homes. The couple originally considered renovating the 100-year-old structure.

"I really loved that little house but it was getting too expensive," she said.

Lady Bird contacted the Monrovia Old House Preservation Group (MOHPG) to see if they wanted to collect any pieces from the house including windows, the front door, siding and molding.

MOHPG member, Peggy Mollenkopf, whose great-grandparents built another 1904 home located on West Palm Avenue where she now lives, intended on building a new garage behind her home. She was familiar with Lady Bird's property located only two blocks away so when it became available Mollenkopf offered to take the whole house with the help of fellow MOHPG member Jimi Hendrix.

"I had always loved it," she said. "I never

See **HOME** on page 3

HOME

Continued from page 1

dreamed that it would be mine one day. When Jimi said it was going to be demolished it upset me."

After a three month long process of gaining approval from the city and her neighbors, the approximately 500 square foot home was cut in half and rolled down the one and a half block route to Mollenkopf's back yard.

"It was pretty breathtaking," she said. "A lot of it was muscle, guys pushing. Everything went ok, which I was very thankful for."

To accommodate the structure's passage, telephone, cable and electrical wires in the alley behind Mollenkopf's property had to be temporary shut off for safety. A gas line also had to be moved because its position under the ground ran under the planned placement of the structure.

"The city was pro relocation," Hendrix said. He even obtained handouts available from city hall on the process of relocating old buildings in the area.

"Both the staff and the community feel the historical flavor of our town is what makes us unique," said Monrovia Director of Community Development Alice Griselle.

There is a 120 day hold on demolishing any property in Monrovia built prior to 1940 to "try to preserve good historic housing stock" in the city, Griselle said. The hold allows the Historic Preservation Commission to assess the structure and recommend whether the structure should be preserved. Residents are encouraged to keep their house if it's salvageable however if they decide to tear it down, the MOHPG is alerted so they can consider what can be saved.

"As the real estate prices escalate in Monrovia, these buildings are endangered and because they're small, with the slightest bit of decay they become eligible for demolition," Hendrix said. Hendrix is one of seven members of the Historic Preservation Commission who are appointed by the city council. "Moving is a good alternative to demolition," he said.

Now proudly standing behind Mollenkopf's home, the structure has been painted white with pea green trim to match her house. Her plans include installing an old-fashioned sliding barn door, a laundry room, a bathroom and a closet. Half the structure will be paved for use as a garage and original wood floors will be re-installed on the other half. Originally lived in as a house about 10 years ago, the structure had one bedroom and a living room area.

Preservation Conversation

Volume XI
Number 7
Sept. 2004



An Almost Monthly Publication of the Monrovia Old House Preservation Group

MEETING NEWS

.....

1904 HISTORIC HOME IS ON THE MOVE!!!!

.....

INSTEAD OF DEMOLISHING ONE OF MONROVIA'S HISTORIC HOMES, 'LADY BIRD' FROM VILLAGE C-21 REALTY HAS GIVEN IT TO MOHPG MEMBER, PEGGY MOLLENKOPF!!!

.....

PLEASE JOIN US AS WE FOLLOW THIS HISTORIC STRUCTURE FROM 228 LINWOOD TO ITS NEW HOME AT 324 WEST PALM AVENUE. THE HOME WILL BE CUT INTO 2 PIECES!! AND TAKEN WEST ON LINWOOD, SOUTH ON MAGNOLIA, WEST ON PALM, SOUTH TO THE ALLEY BETWEEN PALM AND LIME, THEN EAST ON THE ALLEY AND WHEELED RIGHT INTO MS. MOLLENKOPF'S BACKYARD.

.....

THE HOUSE MOVE IS SCHEDULED FOR MONDAY, SEPTEMBER 27 AT 9:00 A.M., DRIVE BY ON YOUR WAY TO AND FROM WORK!!! PHONE JIMI + DANA HENDRIX @ 303-2828 FOR LAST MINUTE INFORMATION.

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Restoration Work Still In Progress

The two front porch railings on the east side of the porch are still in the process of restoration. My goal is to have the railings installed by the end of August.

Reference Sources

Personal family documents and photos as well as information passed on by word-of-mouth from previous generations.

Los Angeles County Records, Book 17 (map), page 59, Miscellaneous Records.

Los Angeles County Records, Book 137, page 361 of Deeds. May 27, 1904.

Los Angeles County Records, Book 2333, page 1207 of Deeds, June 20, 1905.

Office of the Recorder of Los Angeles County, Book 1840, page 166 of Mortgages, May 1, 1908.

Newspapers

City of Monrovia Public Works, building permits starting in 1911.

Monrovia News, Dec. 30, 1911, page 6.

Monrovia Daily News, June 21, 1912, page 1.

Daily News Post April 26, 1965

Reference Books

Los Angeles County, *Historical Volume and Reference Works, volume III*, (Historical Publishers, Arlington, Calif., 1964), page 284

Monrovia Centennial Committee, *Monrovia Centennial Review*, (Monrovia, Calif., 1985), pages 115, 118

Wiley, John L., *History of Monrovia*, (Press of Pasadena Star-News, Pasadena, Calif., 1927), pages 126, 134-135, 191.