

### HISTORIC PRESERVATION COMMISSION STAFF REPORT

APPLICATION: HL-152 AGENDA ITEM: PH-1

PREPARED BY: Teresa Santilena MEETING DATE: August 28, 2019

**Associate Planner** 

**TITLE:** Historic Landmark HL-152

324 West Palm Avenue Monrovia, CA 91016

**APPLICANT:** Margaret L. Mollenkopf

324 West Palm Avenue Monrovia, CA 91016

**REQUEST:** Historic landmark designation

**ENVIRONMENTAL DETERMINATION:** Categorical Exemption (Class 31)

**BACKGROUND:** Pursuant to the Historic Preservation Ordinance, the property owner of 324 West Palm Avenue has filed an application for consideration of historic landmark designation. The home appears on the Potential Landmark List which was based on a 1985 survey of historic structures and was adopted by City Council resolution in 1995. The owner is not requesting a Mills Act contract.

**ANALYSIS:** The subject property located on the south side of West Palm Avenue between South Magnolia and South Alta Vista Avenues. It is improved with a 1,206 square foot singlefamily Folk Victorian residence that was built in 1903. A small single family home with similar architecture was relocated from 228 West Linwood Avenue



and moved onto the parcel to serve as a 1-car garage and attached accessory structure in 2005.

The application submittal contains a very thorough assessment of the property, including an architectural description, construction history, ownership history with biographical information.

as well as photos that document the alterations the house has undergone since it was constructed. The Applicant is requesting designation under Monrovia Landmark Designation Criteria 4. This designation criteria is applicable to structures that embody one or more distinctive characteristics of style, type, period, design, materials, detail, or craftsmanship as outlined in Monrovia Municipal Code §17.40.060(B). The applicant's evaluation assessment is included in this report as Exhibit "A."

### Architectural Description

The Folk Victorian residence has a cross-gabled roof plan with moderate eave overhang and boxed eaves. A 1911 addition with a shed roof was constructed on the west side of home and features a separate front entry door on the front façade. The recessed front porch on the east side of the home exemplifies several features common to Victorian architecture. The flat roof shelters the two front entries, which is common to Folk Victorian homes. Each of these entries still have the original doors. The porch also features a painted wood floor and bead board ceiling. The low decorative wood railing has turned posts and a square spindle detail that is mimicked in the trim that runs along the top of the porch. Finally, the porch is the only original portion of the home that has exposed rafters; boxed eaves are used on the rest of the original portions of the house.

The home is clad in horizontal clapboard redwood siding with cornerboards. Rectangular attic vents with horizontal louvers are located in the center of each gable. Two original elongated wood framed double hung sash windows with matching trim are centrally located on the front façade. Two more pairs of these windows are located the east and west elevations, situated centrally under the original side gables. There are four screen doors on the home; two on the front porch, one on the front façade of the 1911 addition, and one in the rear. Two of the four screen doors on the home are the restored originals; the other two have been replicated based on the originals. The house was seismically retrofitted in 1992 and sits on a concrete foundation.

### **Construction History**

Building permit history shows that the home has undergone several alterations since its construction. The City of Monrovia does not have the original building permit for the home due to its early construction date. The first permit of record was issued in 1911 for an addition. The property owner's records indicate that this addition was for a sleeping porch on the northwest corner of the home and is visible on the front façade. In 1912, another permit was issued for an addition to the rear of the home to construct a second sleeping porch, kitchen pantry, bathroom, and utility porch. This 1912 addition spans across the entire rear façade and has a shed roof.

In the late 1980s, the current property owner replaced seven casement windows on the east and south façades, within the area of the 1912 addition. The replacement windows maintain the original fenestration but were modified so that each window now contains two pieces. The bottom half of each of the windows remain casement in style, however the top half of the



windows are awning style, having the hinge placed at the top of the sill and the window opening outward. This allows for additional security while not restricting airflow.

The home was altered again in 1995, when a permit was issued to enclose the utility porch in the rear to create an extension of the kitchen. A small attached storage shed was also added to the property on the southwest portion of the home in the rear. This shed houses the water heater and provides additional storage.

Finally, in 2005, a small house was relocated from 228 West Linwood Avenue to 324 West Palm Avenue to serve as an accessory structure in the form of a one-car garage and studio. The home on Linwood Avenue was built in 1904 and, like the primary residence, also has Folk Victorian details, including a simple square floor plan, hipped roof with boxed eaves, wood exterior cladding, and simple window and door surrounds. A sliding, barn style garage door was also installed.

### Ownership History

According to the applicant's research, the house at 324 West Palm Avenue has been in the same family since just after its construction. In 1905, Louis Umbach purchased the new home from A.W. and Mary J. Barka. Louis Umbach and his family had moved to Monrovia in 1903, where he began a small business. He ran a small tailoring service out of a millinery (hat making) shop in town and may have been the first tailor in the City. The location of the millinery business is not known, but in 1908, Louis opened his own tailoring shop at 624 South Myrtle Avenue. Unfortunately, due to illness, Louis had to sell the shop in 1911.

After Louis Umbach passed away in late 1911, the property transferred to his wife, Louise, where she lived with their daughter, Mildred, until her passing in 1965. Mildred Umbach also lived in the house until her death, which occurred in 1985, when it then passed to her sister, Fern Brown. In 1986, Mrs. Brown sold the home to her nephew, Howard L. Mollenkopf (a grandson of Louis Umbach). Howard Mollenkopf then placed the house in a trust for his daughter, Margaret Mollenkopf, who became the owner of the house in 2007, and still resides in this location.

### Criteria and Guidelines

Pursuant to Monrovia Municipal Code (MMC) Section 17.40.060(A), the Historic Preservation Commission (HPC) may recommend City Council designation of a property as a Historic Landmark. The property must meet one or more of the designation criteria contained in MMC Section 17.40.060(B), subsections one through seven.

Based on staff's review of the information contained in the applicant's nomination materials, analyses of the designation criteria contained in MMC Section 17.40.060(B)(4) is as follows:

• **Criterion Number 4** – It embodies one or more distinctive characteristics of style, type, period, design, materials, detail, or craftsmanship.

The City's Context Statement indicates that Folk Victorian homes tended to be "smaller and simpler than pure Queen Anne examples with decorative details confined to the porch or gable ends," which is reflected in the home at 324 West Palm Avenue. The Context Statement describes the character defining features of a Folk Victorian property, which include, but are not limited to: simple square or rectangular form, gabled or hipped roof with boxed or open eaves, wood exterior cladding, simple window and door surrounds, and porch supports with turned spindles or square posts.

The Context Statement also provides a list of registration requirements and integrity thresholds that must be met for a Folk Victorian property to be eligible for individual listing. The registration requirements state that the property should exemplify tenets of the Victorian era and Folk Victorian style, have been built during the period of significance (1885-1905), retain most of its character-defining features, and retain the essential aspects of integrity. The integrity thresholds state that retention of design, workmanship, and materials will usually be more important than location, setting, feeling, and association.

The home at 324 West Palm Avenue is a good example of this architecture with its cross-gabled roof system, elongated double hung windows, recessed front porch with decorative trim, and decorative wood siding. It maintains integrity of location, materials, workmanship, feeling and association.

As part of the implementation of the Historic Preservation Program in 1995, the City Council adopted Resolution No. 95-15 establishing a list of "Potential Historic Landmarks". This list was based on several sources, however, it heavily relied on the 1985 survey conducted by MOHPG. While ratings were not assigned at that time, the properties identified were determined to have historic value and were designated as Potential Historic Landmarks. The provisions of the Historic Preservation Ordinance provide for advisory review for any exterior modifications by the Historic Preservation Commission. Although most of the properties on this list have not been rated, an early policy of the Commission determined that properties on this list qualified for landmark status.

The house at 324 West Palm Avenue is on the *potential* list and was included on the 1985 survey.

### **DPR Form**

Staff prepared the property's DPR 523A survey form with a status code of 5S3, an individual property that is eligible for local designation.

**RECOMMENDATION:** Staff recommends that the Historic Preservation Commission forward a Nomination Statement to the City Council recommending that the house at 324 West Palm Avenue be designated as a historic landmark based on Criterion 4.

If the Historic Preservation Commission concurs with this recommendation and determines that the property meets at least one of the seven criteria for historic landmark designation, and the information provided on the DPR is accurate, then following the public hearing, the following motion is appropriate:

Designate the property at 324 West Palm Avenue as Historic Landmark Number 152 and so recommend to the City Council.

City of Monrovia
Department of Community Development
PRIMARY RECORD

Primary # HRI # Trinomial

CHR Status Code 5S3

Other Listings

		Review Code	Reviewer	Date	
Page	<u>1</u> of <u>6</u>	*Resource Name or #:	324 West Palm Avenue – HL152		
P1	Other Identifie	r:			
*P2	Location:	■ Not for Publicatio	n 🛛 Unrestricted	_	
	a. County:	Los Angeles			
	c. Address:	324 West Palm Avenue	City:	Monrovia Zip	: 91016
	e. Other Locat	ional Data: APN # 850	5-003-005		
P3a	Description: (	Describe resource and its major	r elements. Include design, materials,	condition, alterations, size, setting, ar	nd boundaries)
	was constructe recessed front original front do	d on the west side of home porch on the east side of the pors. The porch also feature	gabled roof plan with moderate ear and features a separate front entry ne home has a flat roof and two fr es a painted wood floor, bead boa mimicked in the trim that runs alor	y door on the front façade with a stront entries. Each of these entries and ceiling, and low decorative wo	shed roof. The s still have the ood railing with
	are located in tare centrally loc	he center of each gable. Tw cated on the front façade. Tw	redwood siding with cornerboards. wo original elongated wood framed wo more pairs of these windows ar e house was seismically retrofitted	d double hung sash windows with re located the east and west eleva	matching trim
P3b *P4 P5a	Resource Attr Resources Pre Photograph	,	des) HP2. Single Family Property Structure    Object    Site	☐ District ☐ Element of Distr  P5b Description of Ph date)  Facing north, July 2019	noto: (view,
	40000000000000000000000000000000000000			(See Continuation She	
				P6 Date Constructed	
				Source: Margare P7 Owner and Addres	•
		Sea.		Margaret Mollenkopf 324 West Palm Avenue	
				Monrovia, CA 91016	
	/编制			P8 Recorded by:	
				City of Monrovia	A
			ALL STATES	P9 Date Recorded:	August 2019
				P10 Survey Type:	Individual
P11 R	eport Citation:	None			
☐ Arc	chaeological Red		Sketch Map		

City of Monrovia Primary # **Department of Community Development** HRI# BUILDING, STRUCTURE, AND OBJECT RECORD Trinomial \_2 of 6 \*Resource Name or #: Page 324 West Palm Avenue – HL152 **B1 Historic Name: Common Name: B3 Original Use** Single-Family Residential В4 **Present Use** Single-Family Residential **Architectural B5** Style Folk Victorian Construction History (Construction date, alterations, and date of alterations) 1903 - Main dwelling constructed 1911 - Addition 1912 - 458 Addition 1992 - Foundation retrofit 1995 - Kitchen extension, Porch enclosure 2005 - Accessory structure moved on to parcel **B7** Moved: No **Date Moved** N/A Original Location N/A R8 **Related Features:**  Accessory Structure (noncontributing) B9a Architect: Unknown b. Builder: Unknown Residential **B10** Significance: Theme: Development Area: Monrovia

This home is associated with the Residential Development Theme, Single-Family Residential Sub-theme, when suburban development started to spread out from Monrovia's downtown core to the north and west. The construction date of 1903 indicates that this property is on the cusp between the first and second phases of residential development within the City. The Folk Victorian architecture is a scaled-down version of more ornate Victorian style houses, with most of the decorative features confined to the front porch. Two additions were made to the home within ten years after it was originally constructed.

**Property Type** 

### **B11** Additional Resource Attributes:

Period of Significance:

### B12 References:

- City of Monrovia Context Statement
- Sanborn Maps LA County Tax Assessor Website
- Landmark Application by Margaret Mollenkopf, 2019

1903-1940

Discuss importance in terms of historical or architectural context as well as integrity.

B13 Remarks

B14 Evaluator /Date City of Monrovia August 2019



HP2 - Single Family Residential

City of Monrovia	Primary #
Department of Community Development	HRI #
CONTINUATION SHEET	Trinomial

Page 3 of 6 \*Resource Name or #: 324 West Palm Avenue – HL152



Front (North) Elevation



Rear (South) Elevation

City of Monrovia	Primary #
Department of Community Development	HRI #
CONTINUATION SHEET (con't)	Trinomial

Page 4 of 6 \*Resource Name or #: 324 West Palm Avenue – HL152



East Elevation



West Elevation (1911 Addition)

City of Monrovia	Primary #
Department of Community Development	HRI #
CONTINUATION SHEET (con't)	Trinomial

Page <u>5</u> of <u>6</u> \*Resource Name or #: <u>324 West Palm Avenue – HL152</u>





West Elevation



City of Monrovia	Primary #
Department of Community Development	HRI #
CONTINUATION SHEET (con't)	Trinomial

Page 6 of 6 \*Resource Name or #: 324 West Palm Avenue – HL152



Accessory Structure South Elevation



# UMBACH HOUSE

324 WEST PALM AVE.



### Architectural Style

In <u>Monrovia's Heritage</u>, <u>An Architectural Perspective</u>, the house at 324 West Palm Ave., located in the southwest quadrant of Monrovia (page 70), is described as a "turn-of-the-century Victorian farmhouse" or it may possibly be a Folk Victorian.1 It was constructed as a simple three-room house, each room measuring approximately  $14' \times 14\frac{1}{2}'$  with a porch measuring  $8\frac{1}{2}' \times 15'$ . The porch has a wood tongue-and-groove ceiling and floor with turned posts and spindle railings as well as decorative spindles around the top of the porch. The eaves on the original three-room structure are boxed, but the additions made in 1911 and 1912 have open eaves. The front porch also has open eaves, it's not known if they were originally boxed. The house maintains the original wood siding and wood sash windows and the wood screens have been replicated. The front doors are original. Two of the original four screen doors were restored and duplicated to make two more. The two bedrooms consist of two sleeping porches with seven casement windows in each room, the hinged screens are on the interior.

1 Charlotte A. Schamadan, ed., Monrovia's Heritage, An Architectural Perspective (Monrovia: Monrovia Old House Preservation Group, 1996), page 70

### <u>Ownership</u>

The house at 324 West Palm Ave., Monrovia, Lot Six (6) in Block "E" of Spence's Addition, was built in 1903.

Louis Umbach was the first owner of the property. He purchased it in 1904 for \$300 and received the title for the property on May 27, 1904.

When Louis Umbach died on Dec. 27, 1911, his wife, Louise Umbach, became the beneficiary. She lived in the house with her daughter, Mildred, until her death.

When Louise Umbach died on April 24, 1965, her daughter Mildred became the beneficiary. Mildred never married and lived in the house until her death.

When Mildred Umbach died on Oct. 6, 1985, her only surviving sister, Mrs. Fern Brown, became the beneficiary. Fern Brown, the only surviving member of the Umbach family, sold the house to her nephew, Howard L. Mollenkopf, the grandson of Louis Umbach. He purchased the house from her on Aug. 4, 1986 for \$70,000. Howard Mollenkopf was also the grandson of Worth Mollenkopf, the mayor of Monrovia, 1914-1916.

Howard Mollenkopf placed the house in a trust for his daughter, Margaret Mollenkopf, the great-granddaughter of Louis Umbach. On Feb. 26, 2007, Jacquelyn Mollenkopf, widow and trustee of Howard Mollenkopf's Trust, released the 324 West Palm Ave. property to her daughter, Margaret Mollenkopf, the present owner who resides there.

# Certificate Title

Lot 6 in Block Es,

E. F. SPENCE'S ADD.TO

MONROVIA.

### Title Abstract and Trust Company

INCORPORATED
CAPITAL STOCK, \$100,000.00
TELEPHONES
SUNSET MAIN 920 / Home A 9188

SUNSET MAIN 920 HOME A STOCK 141-143 N. BROADWAY LOS ANGELES, CAL. DIRECTORS
WARREN GILLELEN, PREST.
ABBOT KINNEY,
GEO. F. COPE,
W.B. SCARBOROUGH,
ALBERT MERCER, V. PREST.
ALLIN L. RHODES, SECY TREAS,

TRUST (O. INCORPORATED CAPITAL STOC

ALBERT M.STEPHENS WM W.STEPHENS ALBERT M.STEPHENS JR.

TELEPHONES SUNSET JAMES 1691 HOME 2888.

LOS ANGELES, CAL.

### Unlimited Certificate

No.17302.

Made at the request of A. W. Barka.

After an examination of the Official Records of the County of Los Angeles, State of California, and of the Federal Offices located at Los Angeles, in relation to the title of the real property hereinafter described, the

### Title Abstract and Trust Company

hereby certifies that the title of said property, as it appears from said records is vested in

### A. W. BARKA.

### FREE OF ALL INCUMBRANCES.

EXCEPT: - lst. Taxes of the fiscal year 1904-1905, a lien but not yet payable.

2nd. Right of way over said property for water pipes, as provided in deed recorded in Book 137, Page 361 of Deeds.

### -: DESCRIPTION:

Lot Six (6) in Block "E" of E. F. Spence's Addition to Monrovia, in the City of Monrovia, County of Los Angeles, State of California, as per map recorded in Book 17, Page 59, Miscellaneous Records of Said County.

### This Certificate does not Include an Examination of

- 1. Municipal Records (except the City of Los Angeles).
- Records of Irrigation, Drainage, Reclamation, Sanitary or Levee Districts.
- 3. Proceedings to construct sewers or improve or open streets or alleys in the City of Los Angeles, until the same become a lien under the statute.
- 4. Mining locations, water locations or matters relating thereto or reservations contained in Letters Patent.

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Title Abstract and Trust Company,

By

Hann Gillelen
President.

Allin Forhody Secretary.

ToDEED.

125

C. E. SLOSSON,

Real Estate Agent

NOTARY PUBLIC AND CONVEYANCER Monrovia - California.

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whose name subscribed to the annexed instrument as a part of thereto, personally known to me to be the same person described in and who executed the said annexed instrument, and who duly acknowledged to me that he said annexed the same freely and voluntarily and for the uses and purposes therein mentioned.

In Witness whereof, I have hereunto set my hand and official Seal, the day and year, in this certificate first shove written.

tificale first above written.

Notary Public.

Recording Requested by: JAMES R. HASTINGS

Attorney for

Jacquelyn Rita Mollenkopf

When Recorded Mail to:

JAMES R. HASTINGS Attorney at Law

851 Irwin Street, Suite 206

San Rafael, CA 94901-3343

Documentary Transfer Tax: \$0 This is a bonafide gift, and the grantor received nothing in return.

[Revenue and Taxation Code § 11911]

Prepared by:

James R. Hastings, Esq.

Attorney for Jacquelyn Mollenkopf

Assessor's Parcel Number: 8505-3-5

Common Address: 324 West Palm Avenue

Monrovia, California

Signature of Declarant purigent desermining tex. Firm Name

05/07/07

20071093372

DEED OF GIFT

JAMES RATMOND HASTINGS

IN CONSIDERATION OF NATURAL LOVE AND AFFECTION,

JACQUELYN RITA MOLLENKOPF, as an individual, and JACQUELYN RITA MOLLENKOPF, as trustee of the Survivor's Trust of the HOWARD LOUIS MOLLENKOPF AND JACQUELYN RITA MOLLENKOPF REVOCABLE TRUST dated November 21, 1985, as amended ("Survivor's Trust"), does hereby remise, release, and forever quitclaim both all remaining interest held by her as an individual and all remaining interest held by her as trustee of the Survivor's Trust, to MARGARET L. MOLLENKOPF, an unmarried woman, as her separate property, the following described real property in the City of Monrovia, County of Los Angeles, State of California:

Lot 6 in Block "E" of E. F. Spence's Addition to the Town of Monrovia as per map recorded in Book 17, Page 59 of Miscellaneous Records, in the office of the County Recorder of said county.

Dated:

FEB 2 6 2007

Jacquelyn Rita Mollenkoff

Dated:

FEB 2 6 2007

JACQUELYN RITA MOLLENKOPF Trustee, Survivor's Trust

Mail Tax Statements to:

Ms. Margaret L. Mollenkopf 324 West Palm Avenue Monrovia, CA 91016

### ACKNOWLEDGMENT

State of California	)	
	)	SS
County of Marin	)	

On FEB 2 6 2007 before me, JAMES RAYMOND HASTINGS, a Notary Public in and for the State of California, personally appeared JACQUELYN RITA MOLLENKOPF, personally known to me (or proved to me on the basis of satisfactory evidence) to be the person(s) whose name is/are subscribed to the within instrument and acknowledged to me that he/she/they executed the same in his/her/their authorized capacity(ies), and that by his/her/their signature(s) on the instrument, the person(s), or the entity upon behalf of which the person(s) acted, executed the instrument.

WITNESS my hand and official seal.

Signature (SEAL)

JAMES RAYMOND HASTINGS
Commission # 1631859
Notury Public - California
Marin County
My Comm. Expires Dec 22, 2009

## Building Permits 1911-1999

Permit #	Date	Owner	Contractor	Purpose
35	8/16/1911	Louis Umbach	Louis Umbach	Residence addition (\$100)
130	2/13/1912	Mrs. L. Umbach	Ben Overturff	Residence addition (\$200)
788	2/1/49	Mrs. L. Umbach		Unknown (\$40)
5916	8/26	M. Umbach	Ben Walker	Water heater
	10/7/75	M. Umbach	Jack R. Rainwater	Reroof
	11/25/76	M. Umbach	Hopper Roofing	Composition shingles
0130	11/14/86	H. L. Mollenkopf	H. L. Mollenkopf	Service panel, outlets, switches
	10/12/88	H. L. Mollenkopf	Hopper Roofing	Remove roofing
	6/16/92	H. L. Mollenkopf	Ed Sylvis	Foundation retrofit
B9500530	10/26/95	Mollenkopf	Roselund Engineering	Enclosed porch, kitchen extension
	1/17/96	Mollenkopf	RBT, Inc.	Water heater
B9600194	2/15/96	Mollenkopf		Electrical outlets, switches
	2/19/96	Mollenkopf	Jimi Hendrix	Sink
B9700920	8/15/97	Mollenkopf	Paul Colburn	Storage shed
B9901340	10/13/99	Mollenkopf	Daniels Roofing	Roof shingles

# CITY OF MONROVIA CONSTRUCTION INSPECTION RECORD

THIS CARD MUST BE POSTED AND MAINTAINED IN A CONSPICUOUS LOCATION AT OR NEAR THE POOL SITE UNTIL FINAL INSPECTION AND APPROVAL. FAILURE TO PROTECT THIS CARD MAY RESULT IN JOB DELAY. PRESERVE THIS RECORD OF YOUR INSPECTIONS.

FOR INSPECTIONS CALL: (818) 359-3231

INSPECTION	APPROVED BY DATE
	SEISMIC SAFETY
	ED SYLVIS CONSTRUCTION
	License Nos. 529415 593518 Eal Hazard R Structure
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### CONTRACTUAL AGREEMENT

(Seismic Reinforcement)

Made this(	(x) day of(x)	in the year 1992 between the owner
Margaret I	Mollenkops (358-1618) of 324 W. Palm	Ave. Monrovia CA 91016 and the contractor
_	Sylvis (791-4089) of 981 Elizabeth St.	

This trim example of California's turn of the century contstruction, has been in your family for almost 100 years, it is now an emblem of security and your personal home. It has weathered many storms and it has withstood some modest shakes since it's construction in 1904, and might suffer through some light to moderate future quakes. However there is no lateral bracing for the cripple walls and no evidence of mechanical anchorage that would secure the house, in a great quake, to the foundation system. Further the cripple walls are unbraced and are candidate for collapse under sufficient stress. Friction is the only element keeping this structure in place. We quote the Executive Director of California's Seismic Safety Commission "House-bolting and cripple wall bracing are the best forms of earthquake insurance a home owner can buy" NOTE: Our anchoring system greatly increases resistance of lateral forces generated during a major ground motion event; but our system will not nor will any other system, reduce cosmetic damage in finish surfaces ie. plaster cracks etc. in the walls above the ground floor level.

SPIRIT OF THE WORK

Prior to commencement, at no extra cost to you, your project will be reviewed at the site by the structural engineer. The engineer will prepare a packet of instructions and details for work permit by the local building authorities. All of our work will be performed in a professional manner with the specially trained personnel of The Ed Sylvis Seismic Safety Team. The primary goal is to anchor the floor plane, through the perimeter seismic load path, to the foundation system. All materials are required to meet a quality equal to or better than the industry's standard. Our work will be diligently pursued to completion, except for delays caused by acts of God, inclement weather, changes in the work, and/or failure of the owner to make prompt progress payments. Commencement & completion to be by mutual agreement prior to commencement.

THE PROJECT is located at the owners address above and will involve:

- 1. A City approved, structurally engineered, retrofit configuration for anchorage of the structure to the foundation system.
- 2. Anchors are to consist of 5/8" expansion bolts drilled through the sill plate and into the concrete foundation. Or an approved substitute configuration as job conditions may require.

  (a). Where vertical tool clearance is insufficient, A 9"X9" steel seismic plate will be used at the same intervals.
- 3. Anchors to be installed within 12" of each corner and at prescribed intervals thereafter for the entire perimeter.
- 4. Provide A-35 framing anchors from the sill plate to the entire rim joist perimeter, at 24" centers, if a rim joist is absent, install solid blocking between joists at 4'-0" intervals; connect blocks to plate with two A35F framing anchors each block, or an approved substitute as job conditions may dictate.
- 5. Add cripple studs as needed to form a basis for plywood shears. Provide sill plate 2x4 blocking to accommodate 3/8" plywood shear panels at all perimeter crippled walls.
- 6. Shear panels to cover a minimum of 50% of the perimeter cripple wall area
- 7. Costs of building permits and fees required by the City.
- 8. Clean up all debris generated by this work.
- 9. Contractor will be allowed display of trade sign for one week prior to commencement and until final payment is made a (\$120.00 allowance has been built into the base price for this

### 1911 and 1912 Additions

In 1911, at age 44, Louis Umbach was aware that he had a terminal illness and he did not have long to live. He wanted to make the small house more comfortable for his wife and three daughters (Della now 18, Fern 11, and Mildred 8), and so on July 12, 1911, Louis sold his tailoring business, including all of his inventory, to L. G. Wick for \$500, to be paid in full by Aug. 1, 1911.

With some of the sale money, Louis began to enlarge the small house by adding a screened sleeping porch to the front northwest corner of the house. The sleeping porch had seven screen openings and an exterior entry door (His wife, Louise, would later rent out part of the house after Louis' death to help support herself and her daughters). That is all that Louis could accomplish, because on Dec. 27, 1911, Louis died from his illness, nine days after his 45<sup>th</sup> birthday. He died at home in the new sleeping porch.

In February 1912, his wife Louise continued his plan to enlarge the small house and obtained a building permit for additional rooms across the back of the house: a second sleeping porch, a small kitchen with a screened utility porch, a pantry, and a bathroom. The contractor was Ben Overturff. A few of Louise's surviving receipts dated during that time period for lumber, hardware, and plumbing, as well as an estimate of 26 days to complete the work backs this up.

### Alterations made by present owner

### Electrical

When I first moved into the house in 1986, the interior and exterior of the house were in poor condition. The house originally had gas lights. My grandfather, Earl Mollenkopf, an electrician, installed the first electrical lighting with knob and tube wiring. His son, Howard Mollenkopf, my father, replaced the knob and tube wiring with modern wiring and an updated electrical panel. The original gas fixtures were found in the attic. They were restored and installed as electric lights in the three original rooms.

### Rear Sleeping Porch Windows

The sleeping porch at the rear southeast corner of the house had seven casement windows with hinged screens on the interior. When I moved in, the windows were large casement windows that swung out. The wood windows were badly deteriorated with rot from exposure to sun and rain. I took an adult woodworking class at the Monrovia High School and designed a casement-type window of Douglas fir that would allow the bottom half of the window to be secured while the top half is open. The top half of the window can also be opened under an awning. This design offered better security, especially at night (there was no air conditioning at the time). The interior screens have been maintained. See photos.

### **Awnings**

In 1992, canvas awnings were installed over windows on the east and west sides of the house as well as the exterior entrance door to the front sleeping porch room. The awnings were installed to protect the original wood windows, the new windows on the rear sleeping porch room, and the entry door in an effort to protect them from the sun and the rain.

### Seismic Reinforcements

In 1992, foundation retrofits were completed for seismic safety. See copy of contract description and inspection.

### Kitchen Alteration and Exterior Affect

When I moved into the house in 1986, the kitchen was small with six doors entering into it, leaving little room for workspace, stove and refrigerator. The refrigerator and water heater were located on the screened utility porch, which was hot and dusty. A small toilet room off the utility porch was converted to a small shower room meaning that taking a shower required going outside to the utility porch, a chilly venture in winter. Access to the refrigerator was awkward.

In 1995, with the valuable help of Jimi Henrix, I made the decision to make the utility porch part of the kitchen by opening the wall between the two, bringing the refrigerator and shower room indoors. The existing original wall of the utility porch remained and the screens were replaced with pocket windows that drop into the wall giving a similar screen porch appearance. The kitchen back door was moved to the exterior wall with the original screen door. A support beam was installed in the kitchen where the wall was opened up. A second support beam on piers was also installed in the basement.

On the exterior, the original vertical tongue and groove siding was maintained. The eaves over the former utility porch were extended three feet to give better protection from the weather. A small  $4'\times4\frac{1}{2}'$  wood porch was added to the west side of the existing concrete porch.

### Water Heater Shed

In 1997, a building permit was obtained to build a small shed against the back southwest corner of the house to house the water heater and garden supplies. The size of the shed is  $3'\times10'$  and it is not visible from the front or back yard.









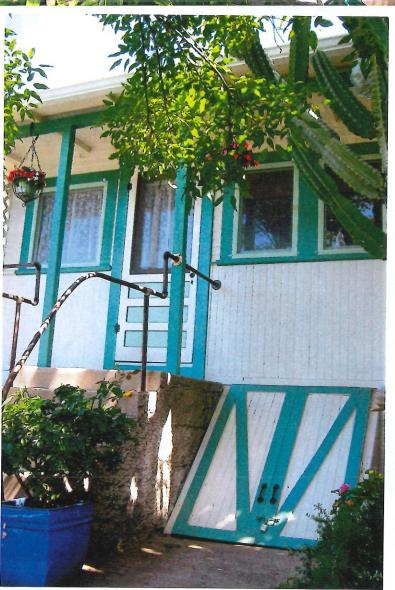


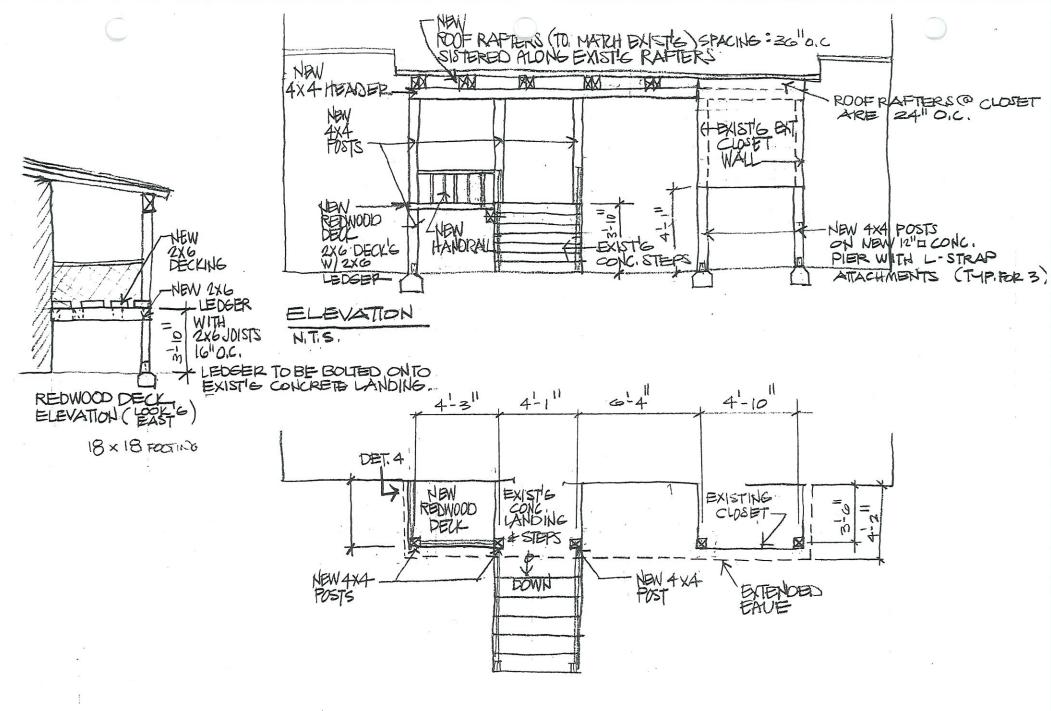
The back of the house before the kitchen renovation.



The back of the house after the renovation.

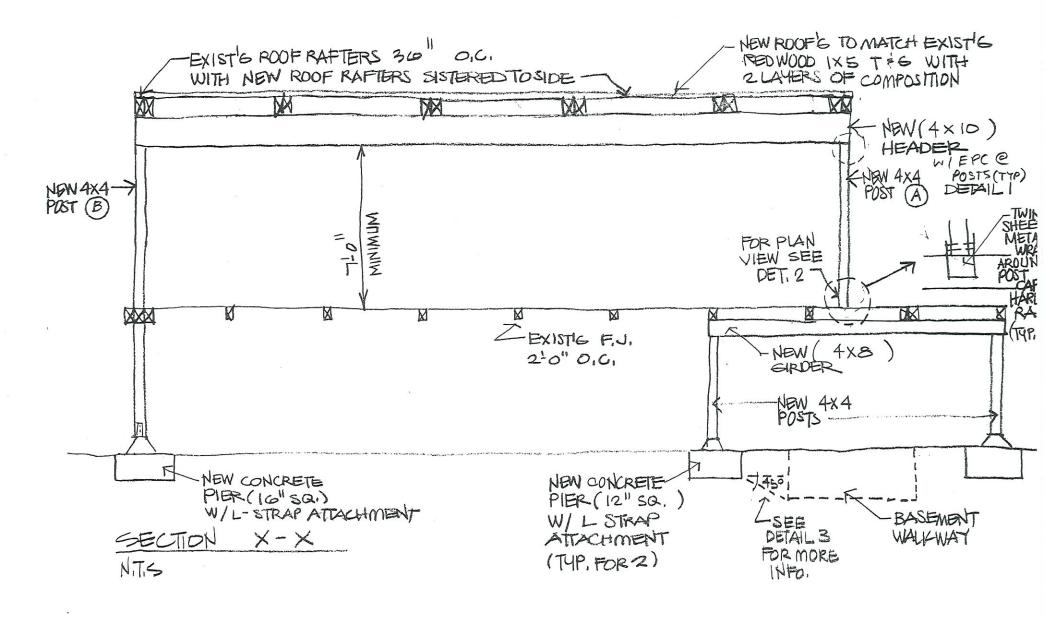






PLAN TOPTH

OLT 23, 1995



OCT. 25, 1995 DEH



### **CITY OF MONROVIA**

Community Development Department Building and Safety Division 415 South Ivy Ave, Monrovia, CA 91016

FOR BUILDING INSPECTIONS CALL: (626) 932-5581 FIRE DEPT. INSPECTIONS: (626) 256-8181 PUBLIC WORKS INSPECTIONS: (626) 932-5575

PERMIT #	<u>t</u>
BLDG.	PHT 2018 -536
ELEC.	4. 00
MECH.	
PLUMB.	
сомв.	

-1-	JOB CARD	
JOB ADDRESS:	324 W. PALM AUT.	DATE: 10/3/18
DESCRIPTION:	REPOSE WI COMP. SHURLES	22 Squares.

INSPECTION	INSPECTOR	DATE	INSPECTION	INSPECTOR	DATE
PRE-FOUNDATION			INSULATION (CF-2R a)	3	
□ PROTECTION FENCING □ SEWER CAP			□ FLOORS/OVERHANG		
□ PAD CERTS □ SOILS □ GRADING			□ WALLS		
FOUNDATION			□ ROOFS		
□ FOOTING ·			SURFACE COVERING		
□ SLAB			□ DRYWALL		
□ WATERPROOFING			□ EXTERIOR LATH		
UFER: □ STEEL □ COPPER			□ INTERIOR LATH □ SHOWER/TUB LATH		
BLOCKWALL/MASONRY			□ SHOWER PAN		1
□ RETAINING FOOTING? YES □ NO □		5	OUTSIDE BUILDING		
□ OK TO GROUT 1st LIFT			□ SEWER		
□ OK TO GROUT 2 <sup>ND</sup> LIFT			□ WATER		
OK TO GROUT 3rd LIFT			□ GAS	1776	
UNDERFLOOR			□ CLEANOUT TO GRADE		74. 47
□ ELECTRICAL			POOL/SPA		
□ PLUMBING			□ PRE-GUNITE/STEEL □ BONDING		94.14
□ MECHANICAL			UNDERGROUND GAS ELECTRICAL DRAIN LINES FILTRATION HEATER		
□ FLOOR JOIST			□ DECKING □ BONDING	1. 1.	
□ FLOOR SHEATHING	1.		□ FENCING □ GATES □ ALARMS	1111	
ROUGH MEP'S			SERVICE PANELS	- 11	54.14
□ ELECTRICAL	1/2		AMPS:   100   200   400+   SUB-PANEL(S)   TPP (EDISON RELEASE   )	-	
□ PLUMBING			SOLAR/ELECTRIC VEHICLE CHARGING		100
□ MECHANICAL □ GAS TEST			☐ SOLAR/PV ☐ ELEC. VEHICLE CHARGING☐ BATTERTY STORAGE	120	
STRUCTURAL FRAME/ROOF ( PLANNING   FIRE)			FINALS (III PLANNING III PUBLIC WORKS III L.A. COUNTY HEALTH)	417	
□ SHEAR PANELS (Obs. Report □)			□ ELECTRICAL		
□ ROOF SHEATHING	m	10-10-18			
□ FRAMING	,	1	☐ MECHANICAL/HVAC (HERS REPORT □)		1 10
□ T-BAR/LIGHTS			BUILDING (RE-ROOFX /POOL a/ SIGN a)	EN	10/10/1
GRADE BEAM REPORT:   STEEL CERTS  GLU-LAM CERTS  SPECIAL INSPECTOR			☐ FIRE PROJECT FINAL		

INAL INSPECTION DATE:	10/16/18	INSPECTORS SIGNATURE:	

# FIRE DEPARTMENT INSPECTIONS

INSPECTION	INSPECTOR	DATE	NOTES
☐ Overhead Hydro/Rough Piping			
☐ Underground Hydro			
☐ Underground Flush	A SECTION I		
☐ Underground Final			
☐ Other Fire Protection System Final			
☐ Fire Alarm Final			· · · · · · · · · · · · · · · · · · ·
☐ Knox Box Location/Gates Final			
☐ Sprinkler Final			

### INSPECTION INFORMATION

- The approved plans and this job card must be available to the inspector at the time of inspection.
- This card is your permanent record of inspections for this permit, so preserve it accordingly.
- A permit shall expire and become null and void if the work authorized by the permit is not commenced within 180 days, or of the work is suspended or abandoned for a period of 180 days. If the work is progressing but approaching the end of the 180 day period from the last recorded date of inspection, a progress inspection must be obtained to keep the permit active, not to exceed the two-year imitation period.
- NO WORK SHALL BE CONCEALED WITHOUT PRIOR APPROVAL BY THE CITY BUILDING INSPECTOR.
- A RE-INSPECTION FEE MAY BE ASSESSED WHEN WORK IS NOT READY, THE INSPECTION CARD IS NOT AVAILABLE, APPROVED PLANS
  ARE NOT AVAILABLE, FOR FAILURE TO PROVIDE ACCESS FOR INSPECTIONS, OR FOR DEVIATING FROM THE APPROVED PLANS WITHOUT
  PROPER APPROVAL.

EICENSES CONTRACTORS DECLARATION	LOB ADDRESS 324W. PACM AUF
hereby affirm under penalty of partury that I am ilcansed under provisions of Chapter 3 (commencion with Section 7000) of	USE OF STRUCTURE
Division 3 of the Business and Professions Code, and my Roense is in full force and effect.  License Class Date	RESIDENTIAL O COMMERCIAL O INDUSTRIAL
Contractor Date	DATE \$17/05 APPPLICATION FOR
CONNECTOR	PERMIT NO ELECTRIC PERMIT
CWNER-BUILDER DECLARATION	TOTAL FEES & S 50 DEPARTMENT OF COMMUNITY
I hereby affirm under penalty of perjury that I am exempt from the Contractors License Law for the following reason (Sec. 7031.5, Business and Professions Code: Any city or county which requires a permit to construct, atter, improve, demolish, or	Checked by DEVELOPMENT CITY OF MONROVIA
repair any structure, prior to its issuance, also requires the applicant for such permit to file a signed statement that he or sha	Name M. L. MOLLENKOPE
is illeansed pursuant to the provisions of the contractors License Law (Chapter 9 (commencing with Section 7000) of Division 3 of the Business and professions Code) or that he or she is exempt therefrom and the basis for the Billeged exemption. Any	Address 324 W. PALM AVE
violation of Section 7031,5 by any applicant for a permit subjects the applicant to a civil penalty of not more than five hundred	6 City MONROVIA Tel. No. 358 1618
dollare (\$500).:	S Name COUNTY /SLST
1, as owner of the property, or my amployaes with wages as their sole compensation, will do the work and the structure is not intended or offered for sale (Sac. 7044, Business and Professions Code: The Contractors License Law does not apply	9 Address
to an owner of property who builds or improves thereon, and who does such work himself or herself or through his or her own	CityTel. No.
employees, provided that such improvements are not intended or offered for sate. If, however, the building of improvement is said within one year of complation, the owner-builder will have the burden of proving that he or she did not build or improve for	State Lic. City Lic.
the purpose of sale.),	DESCRIPTION OF WORK
1, as owner of the property, am exclusively contracting with licensed contractors to construct the project	No. ITEM FEE
(Sec. 7044, Business and Professions Code: The Contractors License Law does not apply to an owner of property who builds or improves thereon, and who contracts for such projects with a contractor(s) (consedipursuant	FILMS FEE 22 55
) to the Contractors License Law.).	3q. fl. fl-3 0.055
I, am exempt under Sec	Receptacies, Oudets, Switches First 20 © 1.05 Additional © 70
XDate JULY 30, 7005 Owner Mangaret & Molankapy	Light Flatures, Feet 20 © 1.05 Additional © .70
	Finestjential Appliances Ranges, Cook Tops, Alt-Cond., Gerb, Disc. 4.95 ea.
WORKERS' COMPENSATION DEGLARATION	Non-Hasidential Appliances 4,35 as.
I hereby affirm under penalty of perjury one of the following declarations:	
I, have and will maintain a certificate ci consent to self-insure for workers' compensation, as provided for by Section 3700 of the Labor Code, for the performance of the work for which this permit is issued.	MotorsH.P.
I, have and will maintain workers' compensation insurance, as required by Section 3700 of the Labor Code, for the performance of the work for which this permit is issued. My workers' compensation insurance carrier and policy number are:	Thenekormere KVA
CarrierPolicy Number	Signs, Outline Lighting, Marqueea 22.55 gg.
(This section need not be completed if the permit is for one hundred dollars (\$100) or less).	Ciona Adelilland Branch Claudia
certify that in the performance of the work for which this permit is issued. I shall not employ any person in any manner so as to become subject to the workers' compensation provisions of Section 3700 of the Labor Code, I shall forthwith comply with	or Separate Flactors, etc.
those provisions.	Electrical Service Equipment Under 200 Ampa 27.95 etc. 27 95
Date: Applicant:	Service Equipment: Under 2001 A
WARNING: FAILURE TO SECURE WORKERS' COMPENSATION COVERAGE IS UNLAWFUL, AND SHALL SUBJECT AN	AmpsVolts Over 200 A, See Schedufe
EMPLOYER TO CRIMINAL PENAL TIES AND CIVIL FINES UP TO ONE HUNDRED THOUSAND DOLLARS (\$1\$0,000), IN ADDITION TO THE COST OF COMPENSATION, DAMAGES AS PROVIDED FOR IN SECTION 3700 OF THE LABOR	Temporary Service R.E.S. 22.55 Com or Underground 39.20 ea.
CODE, INTEREST, AND ATTORNEY'S FEES.  (1) CONSTRUCTION LENDING AGENCY	BuswayaLength 8.70 per 100 ft.
herby affirm under penalty of perjury that there is a construction lending agency for the performance of the world for which this permit is issued (Sec. 3097, Civ. C).	Pvt. Swtm. Pools 45.36
Ricender's Name Lender's Address	Miscellaneous
certify that I have read this application and state that the above information is correct. Lagree to comply with all city and coun-	50.50
	Other Fogs - Wasta Impact 10 00
101 / 20 1005	Computer Cost Recovery 3.25, Microfilming 4.75 (18 00
y drainances and state lews relating to building construction, and hereby authorize representatives of this country to enter mentioned property for inspection or purposes.  Out 30, 2005	TOTAL FEE 6850
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ELE2005-07039

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City of Monrovia CD - BUILDING

PAID

MC

Cash Receipts Summary Worksheet 27 2007 (626) 932-5581 or (626) 932-5527

CITY OF MONROWIAD /07/07

Name:

ML Mollenkopf

Job Address:

324 w. Palm Ava

Code	Account Description	Account Number	Amount
i in this head,	BUILDING PERMITS		
BD1	Additional Plan Check/Inspection	28152060-3200	Yes Williams
BD2	Plan Check Fee	28152060-3198	2 11/2
BD3	Building Permit /PC	28152060_3051	erie Notae en al anti-
BD4	Building Permit without Plan Check	28152060-3066	
BD5	Building Demo	28152060-3067	7
BD6	Electrical Permit	28152060-3052	
BD7	Mechanical Permit	28152060-3056	
BD8	Plumbing Permit	28152060-3065	
SURCHARGE			
BD9	Computerization Cost Recovery - \$5.00 each	28152060-3203-52001	
BD10	Records Microfilming Fee - \$9.00 each	28152060-3345-52003	
BD11	Waste Mgmt Fee (SRRE) - \$13.00.00 ea. +	43171260-3326	
BD12	Historic Preservation - Surcharge \$3.00 each (B.P. only)	28153060-3166-53006	
BD13	Construction Tax	31125055-3032	
BD14	Plans Microfilming Fee	28152060-3345-52002	
BD15	State Seismic Fee (SMIP)	281-2003	*.
OTHERS			
BD16	General Plan Cost Recovery	28153060-3207-53003	
BD17	Investigation Fee	28152060-3061	
BD18	Plan Revision Checking	28152060-3202	
BD19	Printing/Publication Charges	28153060-3329	
BD20	Re-inspection Fee	28152060-3072	49.00
BD21	Relocation inspection	28152060-3071	<i>V</i> * · · · · · · · · · · · · · · · · · ·
BD22	Water Connection Fee	41174160-3312	
BD23	Waste Construction & Demolition Deposit	431-2131	
BD24	Art in Public Places	11161050-3397-61003	
BD25	Planning Division Plan Check – 15% of Building Permit Fee	28153060-3425	
		Total	49

Prepared By:			
Job Valuation \$	Nla		
	7-1		

City of MONROVIA

Community Development Department • Building Division
415 South Ivy Avenue, Monrovia, California 91016-2888

BUILDING RELOCATION APPLICATION (Authority: Monrovia Municipal Code, Chapter 15.24)

Address From Which Building is to be Moved 228 WEST UNWOOD AVE
Legal Description
Address to Which Building Will be Moved 324 W. PALM AVE
Legal Description
Provide a photograph of the building to be moved and a map showing the route to be used for the move. (M.M.C. Section 15.24.020)
Present Use of Building VACENT RESIDENTAL (10 YAS)
Proposed Use of Building ONE CAR GATLAGE W/ LAUNDRY TOM
Size of Building (maximum width x maximum length) / 9 x Z6
Number of Stories ONE Maximum Height—Loaded, Above Pavement /9 Feet
Date of Move SEPT. 27, 2004 Time of Move (Start-End) 9-1000
Name of Building Owner PAM & GREG BIND DEVLORMENT
Address 228 WEST LINWOOD AVE
Phone Number (616) 355 5276
Relocation Contractor MASTER HOUSEMOVERS
Address 28961 FLOWER PARK DR.
CANYON COUNTRY CA 91387
Phone Number (818) 675 66 30 State License No.
Person Responsible and In Charge of Move TED HOLLENGEN
Address ABOVE
Phone Number (

Building Relocation Application—Page 2

Jane	PUBLIC UTILITY APPROVALS:	
VETUE	ON OTE MITCH DUPIS	Date
CHAMMO	Edison LYLE TREEND	Date
	DEPARTMENTAL APPROVALS: @DRC HEAR	ING
	Public Works DAND FIKE	Date AUS, 11, 2009
	Police Dept RICK MICHA	_ Date
	Fire Dept SAM DIGENOVA	_ Date
	Community Services GLEN OUTUS	_ Date
	Planning Division AUCE GRIZEUE	_ Date
	Building Division	_ Datc
	City Attorney	Date
WAIVE	Damage Deposit. A cash deposit of \$1,000 is required to indemnify the The deposit, less the amount of any damages, will be returned upon complete the properties of the three has been no damage.  Completion Bond. A cash or surety bond in the amount equal to #25, minigroup is required.	te city for any damage to public property.  Policion of the move after the Public Works
*.	Name of Applicant	
	Address	
. '	Phone Number ()Bor	nd \$
	Applicant agrees that in the event that the amount of the Completion Bor the costs of completing the move or relocation of the building by the Ci the applicant, the applicant shall pay to the City of Monrovia such additional relocation together with all costs and expenses of collecting same.	ty of Monrovia in the event of default by ional sum as mat be required to complete
	Sign	nature of Applicant
	Damage Deposit Returned:	
	DateBy	
•		-

(f) Insulated Fittings. Where raceways containing ungrounded conductors No. 4 or larger enter a cabinet, box enclosure, or raceway, the conductors shall be protected by a substantial fitting providing a smoothly rounded insulating surface, unless the conductors are separated from the fitting or raceway by substantial insulating material securely fastened

Exception: Where threaded hubs or bosses that are an integral part of in place. a cabinet, box enclosure, or raceway provide a smoothly rounded or flared

entry for conductors. Conduit bushings constructed wholly of insulating material shall not be used to secure a fitting or raceway. The insulating fitting or insulating material shall have a temperature rating not less than the insulation temperature rating of the installed conductors.

#### 300-5. Underground Installations.

- (a) Minimum Cover Requirements. Direct buried cable or conduit or other raceways shall be installed to meet the minimum cover requirements
- (b) Grounding. All underground installations shall be grounded and of Table 300-5. bonded in accordance with Article 250 of this Code.
- (c) Underground Cables under Buildings. Underground cable installed under a building shall be in a raceway that is extended beyond the outside walls\_of the building.
- (d) Protection from Damage. Direct buried conductors and cables emerging from the ground shall be protected by enclosures or raceways extending from the minimum cover distance required by Section 300-5(a) below grade to a point at least 8 ft (2.44 m) above finished grade. In no case shall the protection be required to exceed 18 in. (457 mm) below finished grade.

Conductors entering a building shall be protected to the point of

Where the enclosure or raceway is subject to physical damage, the entrance. conductors shall be installed in rigid metal conduit, intermediate metal conduit, Schedule 80 rigid nonmetallic conduit, or equivalent.

- (e) Splices and Taps. Direct buried conductors or cables shall be permitted to be spliced or tapped without the use of splice boxes. The splices or taps shall be made in accordance with Section 110-14(b).
- (f) Backfill. Backfill containing large rock, paving materials, cinders, large or sharply angular substance, or corrosive material shall not be placed in an excavation where materials may damage raceways, cables, or other substructures or prevent adequate compaction of fill or contribute to corrosion of raceways, cables, or other substructures.

Where necessary to prevent physical damage to the raceway or cable, protection shall be provided in the form of granular or selected material, suitable running boards, suitable sleeves, or other approved means.

(g) Raceway Seals. Conduits or raceways through which moisture may contact energized live parts shall be scaled or plugged at either or both ends.

nches of any direct ete, or similar cover.)	LO .	Circuits for Control of irrigation and Landscape Lighting Limited to Not More than 30 Volts and installed with Type UF or in Other
s, Nominal, Burial in li bint on the top surface finished grade, concr	4	Residential Branch Circuits Rated 120 Volts or less with GFCI Protection and Maximum Overcurrent
Table 300-5. Minimum Cover Requirements, 0 to 600 Volts, Nominal, Burial in Inches (Cover is defined as the shortest distance measured between a point on the top surface of any direct enductor, cable, conduit, or other raceway and the top surface of finished grade, concrete, or similar cover.)	Type of Wiring Method or Circuit	Nonmetallic Raceways 2 Listed for Direct Burial Conduit or without Concrete
Table 300-5. Mir (Cover is defined as the eductor, cable, conductor).		

#### Petra Avila

To:

Kirk Talbott

Subject: RE: 324 W. Palm Ave.

I have provided you with the section of the electrical code ,once you correct the correction per Sec. 300.5(d) called in for reinspection.

----Original Message-----

From: Kirk Talbott [mailto:kirk@talbott.com]
Sent: Monday, December 05, 2005 9:20 AM

To: Petra Avila

Subject: RE: 324 W. Palm Ave.

Ms. Avila:

I went through the code section that you mentioned and I looked through the entire section on non-metallic rigid conduit. What constitutes the need for schedule 80 conduit based on the code requirements. I can understand the need for schedule 80 conduit when there is the chance of physical damage. I have been required to use Schedule 80 conduit along driveways, or in a garage where it was in an area that receives vehicle traffic and the potential for damage is great. Given this is in a residential backyard, it is unlikely that there is much danger of it being bumped by more than a lawn mower. I believe that Schedule 40 conduit is sufficient to withstand abuse of this nature.

Kirk Talbott Talbott Electric

From: Petra Avila [mailto:pavila@ci.monrovia.ca.us] |

Sent: Monday, December 05, 2005 8:10 AM

To: Kirk Talbott

Subject: RE: 324 W. Palm Ave.

300.5

-----Original Message-----

From: Kirk Talbott [mailto:kirk@talbott.com]
Sent: Friday, December 02, 2005 2:07 PM

To: Petra Avila

Subject: 324 W. Palm Ave.

Ms. Avila,

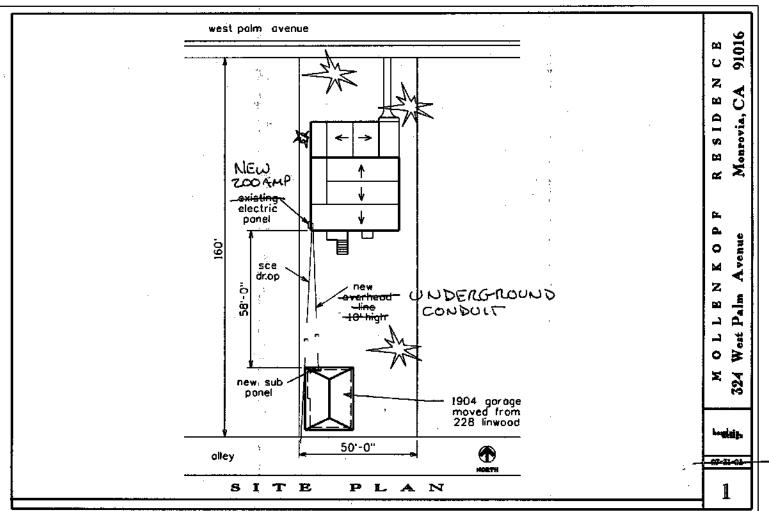
I am writing you about the above job. I had an inspection this week and you turned the job down because of PVC conduit being exposed above ground. My employee said that you told him that it needed to be Schedule 80 PVC conduit. I am aware that Schedule 80 conduit is required in some instances, but normally only required when there is the possibility of damage or the conductors are unfused. Can you provide me with the code section that applies to this situation. I would appreciate the information for future projects.

Thank you,

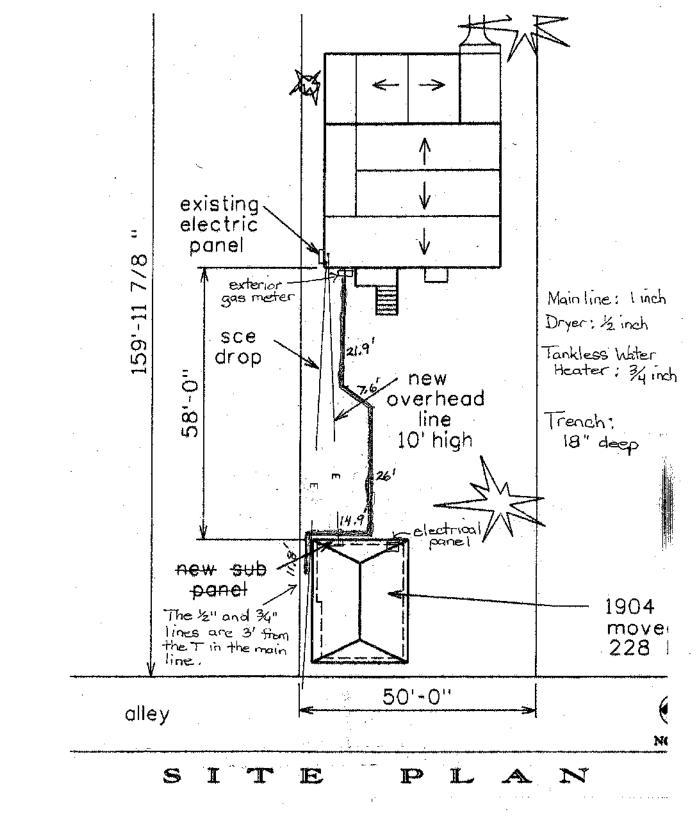
Kirk Talbott

Talbott Electric Inc. v. 3. 24 1 as 10 wit

324	W. PALM AVE. TO CLENKOPF	Nov. 15,0
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11.17.05





## DATA SHEET 1

#### Planning Conditions

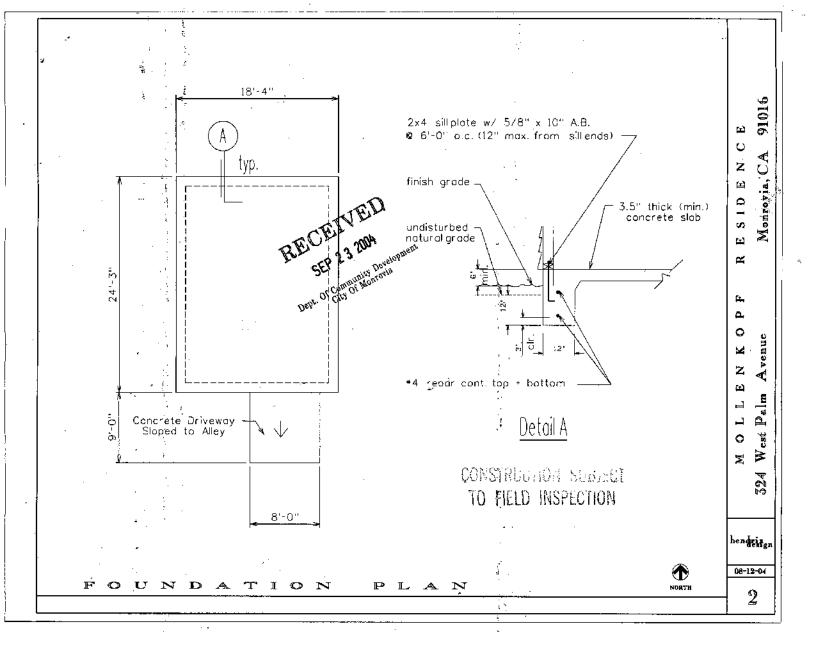
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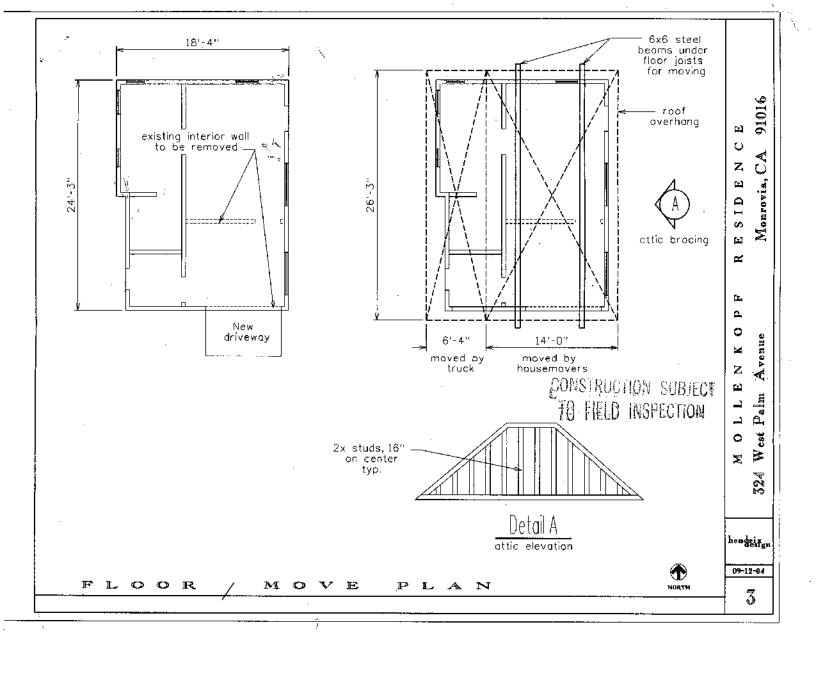
324 West Palm Avenue

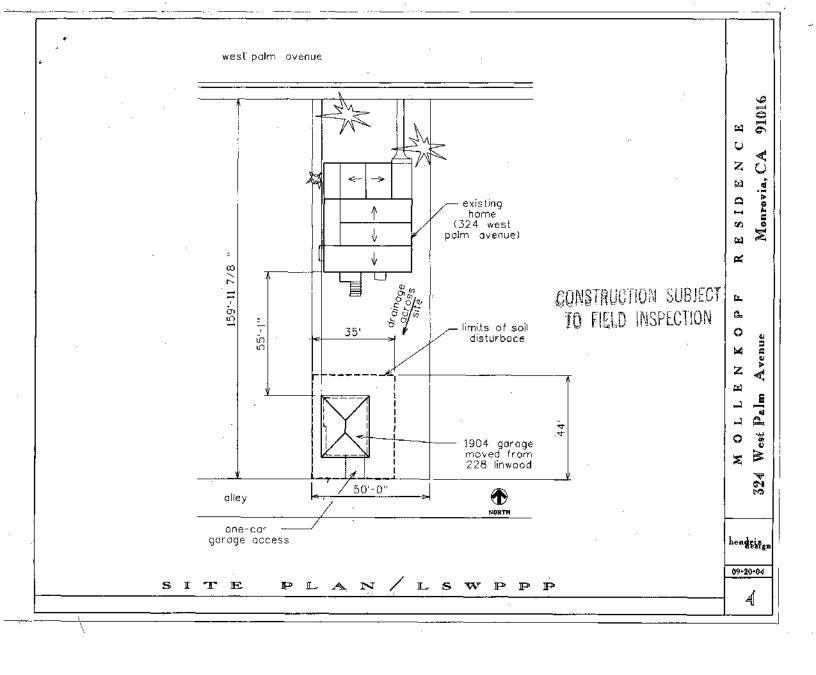
- The development shall be constructed in strict compliance with the approved site and building elevations.
- 2. Electrical power to the garage shall be underground.
- 3. No roof mounted mechanical equipment shall be permitted.
- All paved parking and driveway areas shall be surfaced with Portland cement concrete (3-1/2" minimum).
- 5. The structure shall be used as a one-car garage with a laundry room and bathroom.
- 6. The project associated with the Conditional Use Permit shall begin within one (1) year after is approval or it will expire.
- 7. All exterior work shall be completed within 12 months from the date the structure is placed on the site. Depending on the extent of damage during transportation of the structure, repairs shall be made to the satisfaction of the Building Division.
- 8. The relocated building shall be lowered on its new foundation within thirty (30) days of placement on the site. The applicant may apply for an additional 30 days (not to exceed a maximum of 60 days from the date of this approval) subject to the approval of the Development Review Committee.
- 9. New exterior materials shall match the existing materials and style of the structure.
- 10. The garage shall be painted and be complimentary to the colors on the house and consistent with the era in which it was originally constructed.
- 11. The roof shall be reroofed to the satisfaction of the Building and Planning Divisions.
- 12. The building relocation shall be done in compliance with Chapter 15.24, Moving Buildings, of the MMC.
- 13. All of the above conditions shall be complied with prior to issuance of a certificate of occupancy.
- 14. The applicant shall, within 30 days after approval by the Planning Commission, submit to the Community Development Department his/her written consent to all of the conditions of approval referenced in Data Sheets 1, 2 and 3. The applicant understands that the Planning Commission's approval will be of no force or effect unless such written consent is submitted to the City within such 30-day period.

GARAGE 324 W. PALM AVE,

CEILING-LIGHT BATH CELLIGHT STHEIL SWINES Ok per plansning but requires filled coverant before can give final Ufobaco 4-15-08







#### CITY OF MONROVIA BUILDING DIVISION

415 S. Ivy Ave. (626) 932-5527 CORRECTION NOTICE PERMIT NO Items to be corrected:

Inspector

Please call to schedule inspection after corrections have been completed.

ADDRESS 324 W follow						Building Division (626) 932-5527  Perfora 11/15/0			
BUILDING	PASS	FAIL	MECHANICAL	PASS	FAIL	PLUMBING	PASS	FAIL	
SETBACK AND YARD			VENT SYSTEMS			GROUNDWORK SOIL			
RENCH AND FORMS			PLENUM/DUCTS			GROUNDWORK			
REINFORCING STEEL			DUCT SMOKE			WATER UNDERFLOOR		·	
IFFER GROUND			ROUGH HVAC			DRAINAGE UNDERFLOOR			
FIRST FLOOR			FURNACE	<u> </u>		UNDERFLOOR			
OISTS SECOND FLOOR			COMBUSTION AIR	<del> </del>		GAS WASTE/VENT TEST			
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ROOF SHEATHING			FÍRE DAMPERS	<u> </u>		ROUGH PLUMBING			
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ROUGH FRAMING			UNDERGROUND REFRIGERATION ABOVEGROUND	<del>  "-</del>		ROUGH GAS TEST			
NSULATION/ SOUND PROOFING			MECHANICAL FINAL	† <del>-</del>		SEWER .			
WALL & FOUNDATION WATER PROOFING						WATER SERVICE			
EXTERIOR LATH			- ELECTRICAL			WATER HEATER		<del></del>	
EXTERIOR DRYWALL			TEMPORARY POWER POLE/SERVICE			COMBUSTION AIR	ļ		
NTERIOR LATH OR DRYWALL			UNDERGROUND			FINAL GAS TEST	-		
CONCRETE/MASONRY WALL REINFORCING			CONDUIT -			GAS COMPANY NOTIFIED			
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HANDICAPPED ACCESS			FIXTURES	-		OVERHEAD WIRES			
BUILDING FINAL			SERVICE "			FENCES & GATES			
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Corre Notice		-	ELECTRICAL FINAL			HEALTH FINAL			
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City of MONROVIA Building Division (818) 359-3231

ADDRESS 3246) Arlm

BUILDING	PASS	FAIL	MECHANICAL	PASS	FAIL	PLUMBING	PASS	FAIL
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REINFORCING STEEL	Ĭ .	-	DUCT SMOKE DETECTORS	1, 4	-	UNDERFLOOR DRAINAGE	-	
UFFER GROUND			ROUGH HVAC			UNDERFLOOR WATER		
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SECOND FLOOR JOISTS			COMBUSTION AIR	-		WASTE/VENT TEST.		- الإراث: 1
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ROUGH FRAMING			REFRIGERATION ABOVEGROUND			ROUGH GAS TEST		-
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WALL & FOUNDATION WATER PROOFING		:				WATER SERVICE		14, 7 / 1
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GROUTING-2ND POUR	1		WIRING	1 .				4 8
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Correction Notice			ELECTRICAL FINAL		<del>                                     </del>	HEALTH FINAL		

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PLEASE CALL TO SCHEDULE INSPECTION AFTER CORRECTIONS HAVE BEEN COMPLETED

Inspector

REPORT OF	: 17	il.	namin	37	14	City of MON.  Building Di  6) 932-5527 • (6)	ROV:	[ <b>A</b> .
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Inspector	* /		Date	:		CORRECTIONS I	IAVE I	

#### CITY OF MONROVIA **BUILDING DIVISION**

415 S. Ivy Ave. (626) 932-5527 CORRECTION NOTICE

CORRECTION NOTICE
ADDRESS 324 W. Palm.
PERMIT NO. B -05 - 1006 Date 01/03/08
Items to be corrected: Please Provide / Courout the following
1. Call for Framing inspection prior to diswall
2. 11 il Electrical il il il
3 11 11 plumbing 11 11 11 11 11 7
hove the Drain trent Fill with water for
water Test. Also Provide metal Sofety plan
to protout ABS + copper pipe @ Top + Botton
Platos.
4 Provide GFI outletse Brithroom & Laundy
Pms.
5- Provide exterior light.
6 Provide Garage Door opening for singl. Cor
min of 9' opining - Provide Charge door.
7. Provid Garase Header Min. 41×10 & provide
Shear wall panel e each side of Door opening
a Garage door.
Partial List.
Call when ready.
That You

Please call to schedule inspection after corrections have been completed.

2/19/08 324 W Falm

### LICENSED CONTRACTORS DECLAHATION

		į	ļ	•		
I hereby affirm under Division 3 of the Bus	r penalty of perjury ti siness and Profession	hal I am licensed un ns Code, and my lice	der provisions of Ch inse is in full force a	apter 9 (comment nd affect.	ding with Section 7000	) of
	13	ns Code, and my llos 	icense No. <u>1777</u>	615 Date	3-8-04	_
Contractor	TJ's. Co	NSTRUCTION	ノ <u>、ドー・</u>			
,	•		R DECLARATION	[		
7031 5, Business and repair any structure, is licensed pursuant 3 of the Business and	d Professions Code prior to its issuance, to the provisions of the d professions Code)	that it arm exempt for Any city or county we also requires the ex he contractors Licen or that he or she is	om the Contractors which requires a peri- plicant for such peri- use Law (Chapter 9   exempt therefrom a	License Law for the mit to construct, all mit to file a signed commencing with and the basis for the mid the mid the basis for the mid the	ne lollowing reason (S ter, improve, demolish statement that he or : Section 7000] of Divis se alleged exemption / of more than five hund	, or she sion Arry
is not intended or office an owner of proper employees, provided sold within one year of the purpose of sale)	ered for sale (Sec. 76 by who builds or Imp. that such Improvement of completion, the ow	044, Business and I roves thereon, and v ents are not intende mer-builder will have	Professions Code. To who does such work d or affered for safe the burden of provin	he Contractors Uc himsell or herself II, however, the b ng that he or she d	he work and the struct ense Law does not ap or through his or her o uilding or improvemen id not build or improve	oply own it is for
(Sec 7044, Busine erty who builds or it to the Contractors	ss and Prolession improves thereon, License Law )	s Code. The Cont and who contract	ractors License La s for such projects	w does not app with a contract	o construct the proje ly to an owner of pro or(s) licensed pursue	op- ent
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·			<del></del>		<del></del>	_
Date		<u> </u>	Owner	<del></del>		
	WOR	KERS' COMPENS	SATION DECLAR	ATION		
		of consent to self-in	sure for workers' con		vided for by Section 37	00
formatice of the	work for which this p	permit is issued. My	workers' compansati	on insurance carri	Labor Code, for the per and policy number a	ine
Carrier	!	<u> </u>	1		<del>- · · ·</del>	_
(This section need no I certify that in the per to become subject to those provisions	formance of the work	k for which this perm reation provisions of	nt is issued, I shall n Section 3700 of the	ol employ any per e Labor Code, 1 si	son in any manner so nali forthwith comply w	es Mh
Date 3-8-0	OY Appl	licant	5 Cousm	oction		_
WARNING: FAILURE EMPLOYER TO CRIM ADDITION TO THE C CODE, INTEREST, A	TO SECURE WORK NINAL PENALTIES A COST OF COMPEN NO ATTORNEY'S FE	ERS' COMPENSAT AND CIVIL FINES ( SATION, DAMAGE ES.	ION COVERAGE IS IPTO ONE HUNDR IS AS PROVIDED F	UNLAWFUL, AN	OLLARS (\$100.000).	IN
herby affirm under per his permit is issued (S	naity of peducy that	CONSTRUCTION L there is a construct	ion lending agency	for the performant	ce of the work for which	ħ
ender's Name		N/A	Lender's Address_	<u>  /                                </u>	[ <del>                                     </del>	_
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certify that I have read ordinances and state on the aligner mention	Ylaws relation to bull	idina construction a	information is correct and hereby authorize	it i agree to compa representatives	ly with all city and coun of this country to ente	F
gnatur of Applicant or A	12mil/a	يراب	1	3-	8-04	_
a	April			<b>P</b> ale	•	

# CITY OF MONROVIA DEPARTMENT OF COMMUNITY DEVELOPMENT 415 S. IVY AVE. MONROVIA CA 91016

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ADD	eFSS	324 W.	PARM							
-	APN Book Page Parcel									
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3coup		Type of	<b> </b>	Plan Check	Perma					
Acerpo		Car#	Date	,	5/9/04					
; Che	ched by -	Edus	Receipt #	1	1212 89					
· 5.	, —	<u> </u>	1.44	<u>'                                     </u>	213.21					

Zone Required Parking Spaces	Front Rear side side side side side side side side
Special Permits or Conditions	
Zoning Approval	Date

Constructed Prior to inspection 4-7-04 /

#### INSPECTION RECORD

APPROVALS	DATE	INSPT	APPROVALS	DAT	INSPTR
STRUCTURAL:			MECHANICAL:	7	1
Forms & Foundation	i		Heating Rough	7-	<del> </del>
Reinforcing Steel		<del></del>	Finel	<del>-   -  </del> -	<del></del>
Chimney Foundation	_		A/C-Fan Rough	<del></del> -	<del></del> -
Chimney Reinforcing			Final	<del></del>	
Roof Sheathing Nailing	_		Exhaust Fan	<del></del>	<del></del>
Masonry Steel			Compressor	╼╂╾╼╬╌	
LIR 4'D 8'D	1 1		Boiler	<del></del>	<del></del>
Final Lift & Grout	1 1		SWIMMING POOL:	1	
Shear Panel Nell/Howre			Setbacks	▝╂╌╌┼┤	-
Framing	1 1		Overhead Wires	╅┈┼┨	
Insulation	1		Sewer Loc /P-Trap	<del>╺</del> ╂╼╌╌┼╌╏	
Interior Leth/Drywafi	7		Main Drain	1	
Exterior Lathing			Pool Plping	┦──┤	
ELECTRICAL:			Reinforcing	<del>                                     </del>	
Power Pale		·	Bonding	╂╾┼╂	<del></del>
Groundwork			Underground Conduit	1 1	·
Conduit			Pool Equip Location	<del>  </del>	
Fixtures/Rough			Pool Heater Rough	╅	
Finish	7		Final	<del>┦╾╶┼</del>	
Service			Health Dept-non-SFR		
Signs			Pool Fences & Gates	1	
PLUMBING:	<u>ן</u>		Backwash	<del>                                     </del>	
Groundwork	,		Pool Cover (Hested)	<del>                                     </del>	<del> </del>
ixtures/Rough	!		Final Pool Electri	<del>  </del>	
inal	1 1		Final Pool Plumbing		
as Groundwork	<u>                                      </u>		Final Health-non-SFR		
Sas Test & Rough	<u> </u>		Final Pool Approval		
Sas Finai	<u>                                     </u>		MISCELLANEOUS:	1 T	
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ewer Cap			Re-Roof		<del></del>
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FINAL			FINAL		<del></del>

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į (	SED CONTRACTORS DECLARATION	KIR AIV	ORESS <u>324</u>	WEST P				_
I hereby affirm under penalty of perjury the Division 3 of the Business and Professions	t I am licensed under provisions of Chapter 9 (commencing with Section 7000) of Code, and my license is in full force and effect.			USE OF STRU	CTURE	<u> </u>		_
(	License No Date	<u> </u>	RESIDENTIAL	COMMER	RCIAL D	INDUSTRIA	<u></u>	
Contractor	<u> </u>	DATE_	3/9/04	<u> </u>		CATION FO		_
I hereby affirm under penalty of perfury to 7031 5, Business and Professions Code: A	OWNER-BUILDER DECLARATION at I am exempt from the Contractors License Lew for the following reason (Sec. my city or county which requires a permit to construct, alter, improve, demolish, or	Checked	EES \$ 70.69		CITY OF	T OF COM! LOPMENT MONROV	MUNIT	
is licensed pursuant to the provisions of the 3 of the Business and professions Code)	iso requires the applicant for such permit to file a signed statement that he or she a contractors License Law (Chapter 6 (commencing with Section 7000) of Division or that he or she is exempt therefrom and the basis for the alleged exemption. Any though the permit subjects the applicant to a civil penalty of not more than five hundred	Addin O City_	MARGARE 324 W Monrovia	EST PAL Tel	. No. 422	- <u>358</u>	-16	_ 
is not intended or offered for sale (Sec. 70 to an owner of property who builds or impre- employees, provided that such improveme	ployees with wages as their sole compensation, will do the work and the structure 14. Business and Professions Code. The Contractors Licanse Law does not apply twee thereon, and who does such work himself or herself or through his or her own this are not intended or offered for sale. If, however, the building or improvement is er-builder will have the burden of proving that he or she did not build or improve for	DE Adds	6	Tel	. No y Lic			_ _ =
• • • • • • • • • • • • • • • • • • • •	exclusively contracting with licensed contractors to construct the project	No.		ITEM:	1141111		Æ	Ŧ
(Sec 7044, Business and Professions	Code. The Contractors License Law does not apply to an owner of prop- and who contracts for such projects with a contractor(s) licensed pursuant		New Pesidential	ed g	FILING R-1 R-3	FEE 0.050 0.055	22	5
	B & PC for this reason	2	Receptacles Outlets	Bwitches	First 20 Additional	9 1.05 9 70	2	l
8 0/2/24			Light Flotures, Socket	•	First 20 Additional	<b>9</b> 1.05		
<b>,</b> , , , , , , , , , , , , , , , , , ,	Owner Managenet & Molan Rap		Residential Appliances Renges, Cook Tope, A	in Court Goods (Dec	- '	4.35 ea.		Γ
WOR	KERS' COMPENSATION DECLARATION		Non-Residential Apple			4.35 ea.		T
I hereby affirm under penalty of perjury on	·		**		]		<u> </u>	H
I, have and will maintain a certificate of the Labor Code, for the performan	of consent to self-insure for workers' compensation, as provided for by Section 3700 ce of the work for which this permit is issued		Motors	W. 7				Ł
<ul> <li>I, have and will maintain workers' contained of the work for which this p</li> </ul>	impensation insurance, as required by Section 3700 of the Labor Code, for the per- errnit is issued. My workers' compensation insurance carrier and policy number are	<u> </u>	Generatore Taxostormere			- KW	$\vdash$	H
Carner	Policy Number	<u> </u>	Signs, Outine Lighting	Language	_	22.55 es.		r
I certify that in the performance of the worl	permit is for one hundred dollars [\$100] or less)  for which this permit is issued, I shall not employ any person in any manner so as sation provisions of Section 3700 of the Labor Code, I shall forthwith comply with		Signa-Additional Bran or Separate Flashers.	th Circuits		4.35 es.		
those provisions	Settlers bioassists of Sections 2400 of alle 1990 occup, a serial instrument existing struct	1	Electrical Service Equ	ipment Under 200 A	vates	27.95 ea.	27	۴
Date App	cant:	,	Service Equipment U	nder 200 A				Γ
EMPLOYER TO CRIMINAL PENALTIES ADDITION TO THE COST OF COMPEN	ERS' COMPENSATION COVERAGE IS UNLAWFUL, AND SHALL SUBJECT AN AND CIVIL FINES UP TO ONE HUNDRED THOUSAND DOLLARS (\$100,000), IN SATION, DAMAGES AS PROVIDED FOR IN SECTION 9700 OF THE LABOR	1	Over 200 A. S Temporary Service R.	•	Com or Undergrou	39.20 en.		-
CODE, INTEREST, AND ATTORNEY'S FI	CONSTRUCTION LENDING AGENCY	<b>}</b>	Susaaya	_ Length	6.7	70 per 100 ft.	ĺ	
herby affirm under penalty of perfury that his permit is issued (Sec. 3097, Civ C) ender's Name	there is a construction lending agency for the performance of the work for which		Pvl. Swim. Pools			45.35		
	Lender's Address	'	Miscellaneous					
certify that I have read this application and	state that the above information is correct. I agree to comply with all city and coun-	, ,					52	10
Ordinances and state laws relating to but pon the above-mentioned property for insp	diag construction, and hereby authorize representatives of this country to enter		Other Fees - Waste ty		- 435		18	╀
11 m stone on a		<del></del>	Computer Cost Recov	ery 125, Microfini		OTAL FEE	70	╄

Date

Signature of Applicant or Ament

	Approvals		
	Ogen	Inspector	REMARIOS
Electrical (Power Pole)	<del></del>		
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			EXP. DATE

LICENSED CONTRACTORS' DECLARATION

Thereby affirm under penalty of penury that I im licensed under provisions of Chapter 9 (commencing with Section 7000) of Division 3 of the Busings and Professions Code and my license is in full force and effect LIC/No 411399 License Class TIENS Contractor OWNER - BLILDER DECLARATION Thereby affirm under penalty of pertury third am exempt from the Contractors License Law for the following reason (Sec. 7031.5. Business and Professions Code. Any city or county which requires a permit to construct after improve demolish for repair any structure prior to its issuance also requires a permit to construct after improve demolish for repair any structure prior to its issuance also requires the applicant for such permit to file a signed statement that he or she is licensed pursuant to the provisions of the Contractors License Law (Chapter 9 [commencing with Section 7000] of Division 3 of the Business and Professions Code) or that he or she is exempt therefrom and the basis for the alleged exemption. Any violation of Section (101 5 by any applicant for a permit subjects the applicant to a civil penalty of not more than five hunding diotars (\$500). Li as owner of the property or my empty yees with wages as their sole compensation will do the work and the structure is not intended or offered for sale (Sec. 7044 Business and Professions Code The Contractors License Law does not apply to an owner of property who builds or improves thereon and who does such work himself or herself or through his or her own employees provided that such improvements are not intended or offered (it sale. If, however, the building or improvement is sold within one year of completion, the owner-bust er will have the burden of proving that he or she did not build or unprove for the purpose of sale ) It as owner of the property am exclusively contractingwith licensed contractors to construct the project (Sec. 7044. Business and Professions Code. The Contractors License Law does not apply to an owner of property who builds or improves thereon, and who contracts for such projects with a contractor(s) licensed pursuant to the Contractors License Law ) B&PC for this reason \_ L.II am exempt under Sec \_ Date WORKERS' COMPENSATION DECLARATION I hereby affirm under penalty of perjury only of the following declarations Life have and will maintain a certificate of consent to self-insure for workers' compensation, as provided for by Section 3700 of the Labor Code for the performance of the work for which this permit is issued I have and will maintain workers' combensation insurance as required by Section 3700 of the Labor Code for the performance of the work or which this permit is issued. My workers' compensation Insurance camer and policy pumber are Camer TATE (1) D1 Policy Number 1 0 9 (This section need not be completed if the semili is for one hundred dollars [\$100] or less) I certify that in the performance of the wink for which this permit is issued. I shall not employ any person in any manner so as to become subject to the workers' compensation laws of California and WARNING FAILURE TO SECURE WOR (ERS' COMPENSATION COVERAGE IS UNLAWFUL AND SHALL SUBJECT AN EMPLOYER TO CRIMINAL PENALTIES AND CIVIL FINES UP TO ONE HUNDRED THOUSAND DOLLARS (\$100,00), IN ADDITION TO THE COST OF COMPENSATION, DAMAGES AS PROVIDED FOR IN SEC 10N 3706 OF THE LABOR CODE, INTEREST, AND ATTORNEY'S FEES to comply with all city and county ordinances and state laws relating to building construction, and hereby authorize representatives of this county to enter upon the above-mentioned property for inspection purposes Signature of Applicant or Agent Dale

# CITY OF MONROVIA DEPARTMENT OF COMMUNITY DEVELOPMENT 415 S. IVY AVE MONHOVIA, CA. 91016

318) 359 3231 B9	90	13	40
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AUDIESS 324 W. PAL	.u
APN Book 8505 Page	003 005
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(legal description may be all	othed separately of necessors
Use al Shurine	APPLICATION FOR
Single Family   Duples	BUILDING PERMIT
Unit Apt     Sign   [ ] Commerciat     Indust   ]	-BUILDING & PLANNING
Other	DIVISIONS CITY OF MONROVIA
,	
New Add n	
Description of Work   DOTALL	TO YE OHIMED
Name WARGARET	MARYOR
5 Address <u>924 W. 41</u>	WW I
O CONMONEOVIA	101 No 358-16B
& Name DANIELS R	DOFINE
MAddress 140 E1 H1	ICREST
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Name	
E City	
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WORK COVERED I	BY THIS PERMIT
HeighFi	
No a Stories	
Size of lot	No of Bldgs —— Now on Lot
Use a Property	
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Group   I pp of	Flori (hech   Primit
Occuping y Lond D.	<del></del>
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Tone	FrontRear
Special Permits or Conditions Zoning Approval	

#### INSPECTION RECORD

APPROVALS	DATE	INSP'T	APPROVALS	DAT	INSP'TR
STRUCTURAL			MECHANICAL		
Forms & Foundation			Heating Rough	ح) إ	
Reinforcing Steet	77		Final	<del>                                     </del>	<b>\</b>
Chimney Foundation	717		A/C-Fain Rough	<del>                                     </del>	
Chimney Reinforcing			Final	<del>                                     </del>	
Roof Sheathing Nailing	7		Exhausi Fan		
Masonry Steel			Compressor	<del> </del>	
Lift 4' 🗆 8' 🗆	$\perp$	`	Boiler	1 (/	1
Final Lift & Grout	1 \		SWIMING POOL	<b> </b>	
Shear Panel Nat/Hdwre			Setbacks	1-/	
Framing			Overhead Wires	<del>1 /     </del>	$\vdash \setminus \vdash \mid$
Insulation	7		/Sewer Loc /P-Trap	1/	
Interior Lath/Drywall			Main Drain	1/	
Exterior Lathing			Pool Prping	11	
ELECTRICAL.	] /	7	Remforcing	1	
Power Pole	77	7	Bonding	<del>                                     </del>	├ <del>/</del>
Groundwork	1/	<del>-/</del>	Underground Conduit	$\vdash$	/
Conduit	<b>-</b>	7	Pool Equip Location		<u> </u>
Fixtures/Rough			Pool Heater Rough	$\Gamma V$	
Finish			Final		
Service			Health Dept-non-SFR	1//	
Signs		\	Pool Fences & Gates		
PLUMBING:			Backwash	IV	
Groundwork			Pool Cover (Healed)	$\Lambda$	
Fixtures/Rough			Final Pool Electri	/ \	
Final			Final Pool Plumbing /	1	
Gas Groundwork			Final Health-non-SFR	<u> </u>	
Gas Test & Rough			Final Prol Approval		
Gas Final	<u> 17.                                    </u>		MISCELLANEOUS	7	
Sewer □ Cesspool □	7/		Demoirtion		
Sewer Cap	<del></del>		Re-Roof	<del>  /                                   </del>	
Water Heater Vents	7	/	Signs	/ -	
Water Heater Final			Fences	/ f	
<u>-</u>	V .		Accessibility Comp	ļ <b>-</b>	
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9/13/01

LICENSED CONTRACTORS' DECLARATION I hereby affirm under penalty of pertury that I am licensed under provisions of Chapter 9 (commencing with Section 7000) of Division 3 of the Business and Professions Code, and my license is in full force and effect. License Class Lic. No. Contractor OWNER - BUILDER DECLARATION Thereby affirm under penalty of perjury that I am exempt from the Contractors License Law for the following reason (Sec. 7031.5, Business and Professions Code: Any city or county which requires a permit to construct, after, improve, demoish, or repair any structure, prior to its issuance, also requires the applicant for such permit to file a signed statement that he or she is licensed pursuant to the provisions of the Contractors License Law (Chapter 9 [commencing with Section 7000] of Division 3 of the Business and Professions Code) or that he or she is exempt therefrom and the basis for the alleged exemption. Any violation of Section 7031.5 by any applicant for a permit subjects the applicant to a civil penalty of not more than five hundred dollars (\$500).: Lil, as owner of the property, or my employees with wages as their sole compensation, will do the work, and the structure is not intended or offered for sale (Sec. 7044, Business and Professions Code: work, and the salccure is not intended or othered for sale (Sec. 7044, Business and Professions Code; The Contractors License Law does not apply to an owner of properly who builds or improves thereon, and who does such work himself or herself or through his or her own employees, provided that such improvements are not intended or offered for sale. If, however, the building or improvement is sold within one year of completion, the owner-builder with have the burden of proving that he or she did not build or improve for the purpose of sale.). II, as owner of the property, am exclusively contracting with licensed contractors to construct the project (Sec. 7044, Business and Professions Code: The Contractors License Law does not apply to an owner of property who builds or improves thereon, and who contracts for such projects with a contractor(s) licensed pursuant to the Contractors License Law.). ! am exempt under Sec. B.& P.C. for this reason: Date 21 Aug 97 Owner Manager A WORKERS' COMPENSATION DECLARATION I hereby affirm under penalty of perjury one of the following declarations: Light have and will maintain a certificate of consent to self-insure for workers' compensation, as provided for by Section 3700 of the Labor Code, for the performance of the work for which this permit is issued. I have and will maintain workers' compensation insurance, as required by Section 3700 of the Labor Code, for the performance of the work for which this permit is issued. My workers' compensation insurance carrier and policy number are: Policy Number (This section need not be completed if the permit is for one hundred dollars [\$100] or tess). I certify that in the performance of the work for which this permit is issued, I shall not employ any person in any manner so as to become subject to the workers' compensation laws of California, and agree that if I should become subject to the workers' compensation provisions of Section 3700 of the Labor Code, I shall forthwith comply with those provisions. Applicant: WARNING: FAILURE TO SECURE WORKERS' COMPENSATION COVERAGE IS UNLAWFUL. AND SHALL SUBJECT AN EMPLOYER TO CRIMINAL PENALTION COVERAGE IS UNLAWFUL AND SHALL SUBJECT AN EMPLOYER TO CRIMINAL PENALTION COVERAGE IS UNIT ONE HUNDRED THOUSAND DOLLARS (\$100,000), IN ADDITION TO THE COST OF COMPENSATION, DAMAGES AS PROVIDED FOR IN SECTION 3706 OF THE LABOR CODE, INTEREST, AND ATTORNEY'S FEES. CONSTRUCTION LENDING AGENCY I hereby affirm under penalty of perjury that there is a construction lending agency for the performance of the work for which this permit is issued (Sec. 3097, Civ. C). I certify that I have read this application and state that the above information is correct. I agree to comply with all city and county ordinances and state laws relating to building construction, and hereby authorize representatives of this county to enter upon the above-mentioned property for inspection purposes.

Date

Signature of Applicant or Apent

# CITY OF MONROVIA DEPARTMENT OF COMMUNITY DEVELOPMENT 415 S. IVY AVE. MONDOVIA CA 0.0016

. MONDOVIA, CA. 91016 9700 920 (818) 359-3231

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	of Structure	AI	PPLICATIO	N FOR
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	[ ] Indust	[ ]	DIVISIO	INS
Other			TY OF MO	
New	Add'n_ <u>X</u> _	Alter_	De	mo
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E City _£	ASADENA		el. No. 55	7-488
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Occupancy	Con1!	Date		8/15/4
Checked by	Approved by	Receipt #		
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#### INSPECTION RECORD

APPROVALS	DATE	INSPT	APPROVALS	DAT	INSP'TR
STRUCTURAL:			MECHANICAL:	Ì	
Forms & Foundation	<del>-</del>		Heating Rough		
Reinforcing Steel			Final	1	
Chimney Foundation			A/C-Fan Rough	1	
Chimney Reinforcing			Final		i
Roof Sheathing Nailing		<del>''</del>	Exhaust Fan		!
Masonry Steel			Compressor		
Lift 4"□ 8"□			9oller		
Final Lift & Grout			SWIMMING POOL:		
Shear Panel Nail/Howre	<del></del>		Setbacks		
Framing			Overhead Wires	1	
Insulation			Sewer Loc./P-Trap	1	
Interior Lath/Drywall			Main Drain	1	
Exterior Lathing			Pool Piping		
ELECTRICAL:			Reinforcing		
Power Pole	_		Bending	1	
Groundwork			Underground Conduit	1	
Conduil			Pool Equip. Location	1	
Fixtures/Rough			Pool Heater Rough		
Finish			Final		
Service			Health Dept-non-SFR	T	
Signs			Pool Fences & Gates	1	
PLUMBING:			Backwash		
Groundwork			Pool Cover (Heated)		
Fixtures/Rough			Final Pool Electri		
Final			Final Pool Plumbing		
Gas Groundwork			Final Health-non-SFR		
Gas Test & Rough			Final Pool Approval		
Gas Final			MISCELLANEOUS:		
Sawer 🗆 Cesspool 🗆			Demolition		
Sewer Cap			Re-Roof		
Water Heater Vents			Signs	·	
Waler Heater Final			Fences		
			Accessibility Comp		
FINAL			FINAL		L

po permit required

WORKERS' COMPENSATION DECLARATION
I hereby affirm that I have a certificate of consent to self-insure, or a certificate of Workers' Compensation Insurance, or a certified copy thereof (Sec. 3800, Lab. C.)
Policy No.
Certifled copy is filed with the city building inspec- tion department.
Date 6/15 Applicant State
CERTIFICATE OF EXEMPTION FROM WORKERS' COMPENSATION INSURANCE (This section need not be completed if the permit is for one hundred dollars (\$100) or less.)
certify that in the performance of the work for which this permit is issued, I shall not employ any person in any manner so as to become subject to the Workers' Compensation Laws.
DateApplicant
LICENSED CONTRACTORS DECLARATION  Thereby aftern that I am licensed under provisions of Chapter 9  (commencing with Section 7000) of Division 3 of the Business and Professions Code, and my license is in full force and feel
License Number579.215 Lic. Class 5
Contractor Columbia Contractor Columbia Contractor Columbia Contractor Columbia Contractor Columbia Co
Lic. or Reg. No Date
OWNER-BUILDER DECLARATION I here by affirm that I am exempt from the Contractor's License Law for the fellowing reason (Section 7031.5. Business and Professions Code)
I, as owner of the property, or my emproyees with wages as their sole compensation, will do the work and the structure is not Intended or offered for sale (Section 7044, Business and Professions Code)
I as owner of the property, am exclusively contracting with licensed contractors to construct the project (Section 7044, Business and Professions Code).
CONSTRUCTION LENDING AGENCY  hereby affirm that there is a construction lending agency for the performance of the work for which this permit is issued [Sec 3097, Civ. C.).
ender's Name
Lender's Address
certify that Enaverced this application and state that the above information is correct. I agree to comply with all City ordinances and State laws relating to building construction, and tereby authorize representatives of this City to enter upon the above-mentioned property for inspection purposes.
Signature of Applican or Agent

CITY OF MONROVIA DEPARTMENT OF COMMUNITY DEVELOPMENT 415 S. IVY AVE. MONROVIA, CA. 91016 (818) 359-3231

Wist

JOB ADDRESS 324 W.	
LEGAL DESCRIPTION Book 50	25 Page CO.3 Parce CO.2
	ached separately if necessary)
Use of Structure	APPLICATION FOR
Single Family 🔼 Duplex 🗍	BUILDING PERMIT
Commercial Indust.	BUILDING & PLANNING
Other	DIVISIONS CITY OF MONROVIA
1	_AlterDemo
Description of Work Foundat	
Nome MallenkaeF	
Address 324 W. F	AIM AVE
	Tel. No
Name Ed Sylvis	
Name Ed Scius B Address 281 E11Zab+ E City PASAdena.	
State Lic. 599415	Tel. No. 791-4086 City Lic. 00277
1 5 3 . TA P akin	
Name T. A. PUCKIS S Address 4597 Ang City LA Canada	des crest time #208
- state certificate trot. 122	
WORK COVERED HeightFt,	•
No. of Stories	AreaSq. FtSq. Ft
-	No. of Bidgs.
Size of Lot	Now on Lot
Use of Property	<del></del>
	/ [
Group Type of	Plan Cherk Permit
	6-16-15
I // / / // //	R92-02-85
1. Come	

	Fire	Minimum Setbacks
ONINOZ	Zone District	Front
NO.	Special Permits or Conditions	
	Zoning Approval	Date

ichool Fa	sility Fee - 5g. Ftx
Construct	ion Tax Account No.: 311-32150
# Bedroom	a x \$125 Construction Tax Fee (Max. \$500.per dwelling)
	х
Receipt N	o.;
Sanitatio	n Fund Account No. : 421-34540
Units	x Roty x Zone # Fee - Fee
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	<u> </u>
	iclency Fund Account No.: 422-34540
Sewer Daf	
	a EDU x Zone \$ Fee ← Fee

Finaled 7-23-92

INSPEC	TION RECORD		REMARKS	OTHER DIAGRAM	- 1
APPROVALS	DATE	INSPECTOR		<del></del>	•
Forms & Foundation	<u> </u>				
Reinforcing Steel			<u> </u>		
Chimney Foundation	1/				
Chimney Reinforcing	17				
Electrical Groundwork		)			
Plumbing Groundwork					
Duct Groundwork					
Masonry Steel			-··-		
Lift 4' 🔲 8' 🔲 12' 🗍		/			
Final Lift & Grout					
Framing	/		<del></del> :		
Insulation	<del> /</del>				
Sheathing Nailing	1 /		·		
Wall Roof	+	\			
Rough Electrical	+	· · · · · · · · · · · · · · · · · · ·			
Rough Plumbing	+	<u> </u>	) <u> </u>		
Gas Test Rough Rough Heating &	<del>-                                    </del>		/		
Ventilating A/C	1				
Interior Lathing/Drywall	+	<del>                                    </del>	·		
Exterior Lathing			· · · · · · · · · · · · · · · · · · ·		
Sewer Cesspool	1/-		•		
Electrical Fixtures	7	/			
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Plumbing Fixtures		ļ <u>.</u>			
Gas Test Final	<del>                                     </del>	<del>/</del>			
Final Heating &	)	/			
Ventilating ☐ A/C ☐ Pool Fence	<del>                                     </del>	<del>                                     </del>			
Parking	<del></del>				
Landscaping	<del></del>				
Walls Fences					
PIRE DEPT.	/ /	( ) A	<u> </u>		
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NOTES:	77				
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	OF OCCUPANCY				
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A certificate of occupancy can be occupied.	. wast be 121060 0610	as Danoing	<u> </u>		
This form when properly e	endarsed is notice th	at the work	<u> </u>		
described herein has been	inspected and appro	ved and the	' <del></del>		
occupancy stated has been	authorized.				
Date	Building has		<u> </u>		
	Building In:	pector	<u> </u>		

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WORKERS' COMPENSATION DECLARATION
) hereby attirm that I have a certificate of consent to self-insure, or a certificate of Workers' Compensation Insurance, or a restined coay thereof (Sec. 3600, Leb. C.)
certified copy thereof (Sec. 3800, Lab. C.) Polley Not Con 37 923 Company Continental Casual by
Certified copy is hereby turnished.  Certified copy is filed with the city building inspec-
tion department.
Date 10-12-8 Applicant Hoppinkage Corp
CERTIFICATE OF EXEMPTION FROM WORKERS' COMPENSATION INSURANCE
(This section need not be completed if the permit is for one hundred dollars (\$100) or less.)
I certify that in the performance of the work for which this permit is issued, I shall not employ any person in any manner so as to become subject to the Workers' Compensation Laws.
Date Applicant
NOTICE TO APPLICANT: If, after making this Certificate of Exemption, you should become subject to the Workers'
Compensation provisions of the Labor Code, you must forth- with comply with such previsions or this permit shall be deemed revoked.
LICENSED CONTRACTORS DECLARATION  Thereby affirm that ) am licensed under provisions of Chapter 9
(commencing with Section 7000) of Division 3 of the Business
and Professions Code, and my license is in full force and effect.
License Number $185374$ Lic. Class $6-39$
Contractor toppele Koof Cogesie 10-15-88
am exempt from the licensing requirements as I am a
licensed architections registered professional angineer acting in my professional capacity (Section 7051, Business and Professions Code).
Lic. or Reg. No Date
OWNER-BUILDER DECLARATION
I hereby affirm that I am exempt from the Contractor's License taw for the following reason (Saction 7031.5, Business and Professions Code):
<ul> <li>I. as owner of the property, or my employees with wages as their sole compensation, will do the work and the</li> </ul>
structure is not intended or offered for sale (Section 7044, Business and Professions Code).
t, as owner of the property, am exclusively contracting with licensed contractors to construct the project (Section 7044, Business and Professions Code).
CONSTRUCTION LENDING AGENCY
I hereby affirm that there is a construction lending agency for the performance of the work for which this permit is issued (Sec. 3097, Civ. C.).
Lender's Namo
Lender's Address
1 certify that I have read this application and state that the above information is correct. I agree to comply with all Oity ordi-
nances and State laws relating to building construction, and
nances and State laws relating to building construction, and hereby, authorize representatives of this City to enter upon the

#### CITY OF MONROVIA DEPARTMENT OF COMMUNITY DEVELOPMENT 415 S. IVY AVE. MONROVIA, CA. 91016 (818) 359-3231

JOB ADDRESS <u>3</u>	24 W	Palm								
LEGAL DESCRIPT	IION Book	_ PageParcel								
(legal description may be attached separately if necessary)										
Use of S	tructure	APPLICATION FOR								
Single Family [2	🗓 Duplex 🔲	1								
Unit Apt.	] \$ign []	BUILDING PERMIT								
Commercial [	indust.	DIVISIONS								
Other	_	CITY OF MONROVIA								
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		AlterDemo								
Description of W	ork for more	<u> </u>								
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p Name/ <u>/</u>	ugaset de	Mallenkopp Pelm								
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Address	40.Box	145								
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ъ В Name										
Name Address										
Address		Tel. No								
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W	ORK COVERED	BY THIS PERMIT								
Height	Ft.	AreaSq. Ft.								
No. of Stories		Valuation 5.3, 888.00								
		No. of Bldgs.								
Size of Lot		Now on Lat								
Use of Property .										
Group	ا با	Plan Check   Parmit								
Group Occupancy	Type of Const. ———	Date / 10-12-56								
Checked by	Approved by	Receipt V. 3957								
		Fee 3 37/- 10								
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SONING	Zone District Required Parking Spaces								Fron	!side.		R	_sid	le	
Š	Special Permits or Conditions											-			_
_	Zo	ning	App	areve	<u></u>				Date						_
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INSP	ECTION RECORD		REMARKS	OTHER DIAGRAM	1
APPROVALS	DATE	INSPECTOR			
Forms & Foundation	-				
Reinforcing Steel		+			
Chimney Foundation			<u></u>		
Chimney Reinforcing					
Electrical Groundwork		<del>-</del>			
Plumbing Groundwork					
Duct Groundwork		+			
Masonry Steel					
Lift 4' [] 8' [] 12' []					
Final Lift & Grout					
Framing		+	<u> </u>		,
Insulation		<del></del>			
Sheathing Nailing		+			4
Wall Roof	1				
Rough Electrical		+	<u> </u>		-
Rough Plumbing			<del></del>		
Gas Yest Rough		1	<u> </u>		
Rough Heating &					
Ventilating ☐ A/C ☐	- 1				
Interior Lothing/Drywall					
Exterior Lathing					
Sewer Cesspool			·		
Electrical Fixtures			· · · · · <del>- · · · · - · · · · · · · · ·</del>		
Service 🗍			· <del></del>		
Plumbing Fixtures			<del>-</del>		
Gas Test Final			· ·		
Final Healing &					
Ventilating 🔲 A/C 🔲			·		
Pool Fence					
<u>Parking</u>					2
Landscaping			<del></del>		•
Walls Fences			·		-
FIRE DEPT.	- Transco	- 34			
FINAL	<u> </u>	1 1/WIN	·		
NOTES:		<u> </u>			
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<del></del>					
	TE OF OCCUPANCY				
A certificate of occupan- can be accupied.	cy must be issued bef	fore building			
This form when properly described herein has bee	y endorsed is notice the inspected and appr	that the work			
occupancy stated has bee		5750 5			
Date					
	Building In	nspector			

	JOB NO. 9230	1
T. A. PURKISS	BY 774P	
STRUCTURAL ENGINEERS	DATE 6/9/9	2
4529 Angeles Crest Hwy,Suite 208, La Canada,CA 91011	SH. /OF	
	SH OF_	

## STRUCTURAL CALCULATIONS and DETAILS

**FOR** 

## RESIDENTIAL FOUNDATION ANCHORAGE RETROFIT

#### MALLENKOPF RESIDENCE 324 W. PALM AVE. MONROVIA, CA

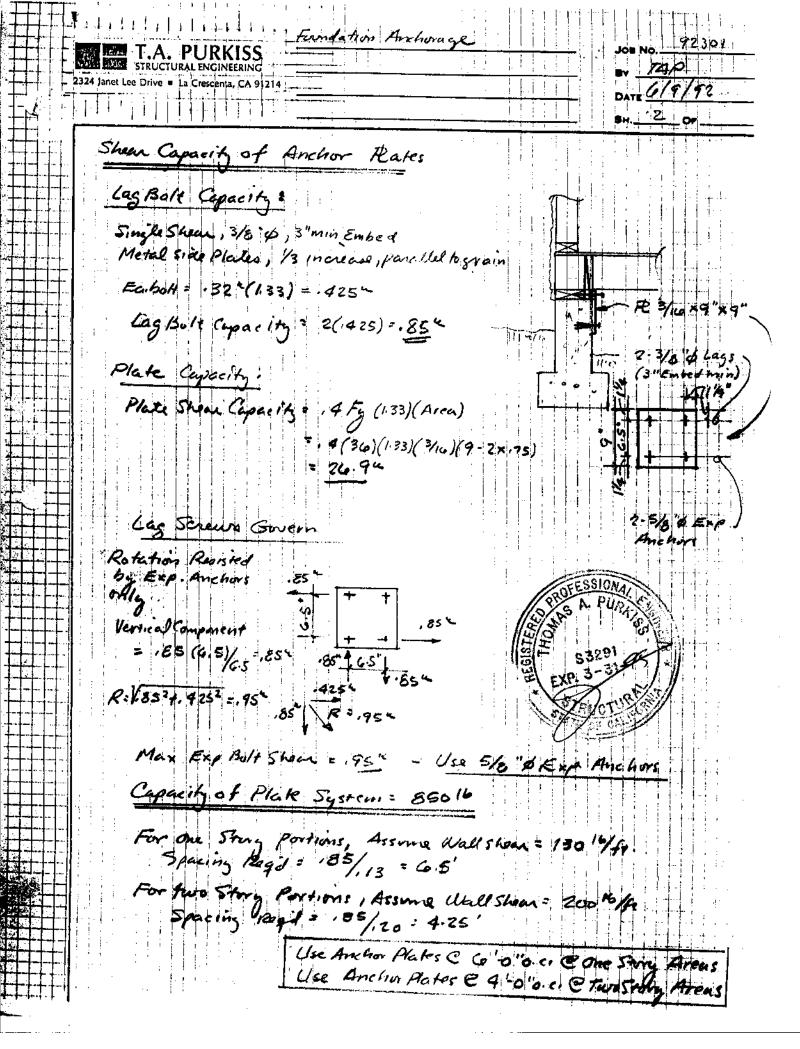
Existing 1 Story Residence

4

..... W. PALM AVE.

N.T.S.





IT. A. PURKISS

JOB NO. 92301

NOTE: THIS DETAIL WAS NOT DESIGNED FOR THE SPECIFIC LOADS OF THIS BUILDING. ONLY A NOMINAL TIE IS BEING PROVIDED TO INCREASE THE RESISTANCE TO SEISMIC AND WIND LOADS.

SECTION WHERE JOISTS ARE PERPENDICULAR

# UPDATE

# FILE ADDRESS:

329 W. PACM

		Minimum Settini(k)
_	Zone	FrontReor
Ç	Required Parking	
Ž	Sprices	side side
O Z Z O N	Special Permits or Conditions	· · · · · · · · · · · · · · · · · · ·
	Zoning Approval	Date
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#### INSPECTION RECORD

APPROVALS	DATE	INSPT	APPROVALS	DAT	INSP'TR
STRUCTURAL:			MECHANICAL:	1	
Forms & Foundation			Heating Rough		-
Reinforcing Steel	<del></del>	<del></del>	Finel	<del></del>	
Chimney Foundation			A/C-Fan Rough	+	
Chimney Reinforcing		11/	Final		
Roof Sheathing Mailing	3/13/47	1	Exhaust Fan	_	
Masonry Steel	777		Compressor		
Lift 4'□ 8'□			Boller		
Final Lift & Grout			SWIMMING POOL:	1	
Shear Panel Nail/Hdwre			Setbacks		
Framing			Overhead Wires	1	
Insulation			Sewer Loc./P-Trap	1	
Interior Lath/Drywall			Main Orein	1	
Exterior Lathing	1		Pool Piping		
ELECTRICAL:			Reinforcing		
Power Pole			<b>3</b> onding		
Groundwork			Underground Conduit	-	
Conduit			Pool Equip. Location		
Fixtures/Rough			Pool Heater Rough		
Finish			Final		
Service			Health Dept-non-SFR		
Signs			Pool Fences & Gates		
PLUMBING:			Backwash	T	
Groundwork			Pool Cover (Heated)		
Fixtures/Rough			Final Pool Electri		
Final			Final Pool Plumbing		
Gas Groundwork			Final Health-non-SFR		
Gas Test & Rough			Final Pool Approval		
Ges Finel			MISCELLANEOUS:		
Sewer Cesspool C		· · · · · · · · · · · · · · · · · · ·	Demolition		, , , , , , , , , , , , , , , , , , ,
Sewer Cap	1		Re-Roof		
Water Heater Vents			Signs		
Water Heater Final	<b>†</b>		Fences	1	-
	1		Accessibility Comp		
	17			· ,	
FINAL	3/897	(4)	FINAL		

# BEARY FOR PINAL INCRECTION

WEADGINDONWINALWIND PECHUN
I haraby affirm under penalty of perjuty that I am licensed under provisions of Chapter 9 (commencing
with Section 7000) of Division 3 of the Business and Professions Code, and my license is in full force.
und effect. Ucense Cleas <u>(36</u> Lic No. 683107 per 1/1/96
Contractor TO GOLD OWNER-BUILDER DECLARATION
I hereby affirm under penalty of perjury that I am exempt from the Contractors License Law for the
following reason (Sec. 7031.5, Business and Professions Code: Any city or county which requires a
permit to construct, elser, improve, demolish, or repair any structure, prior to its issuance, also requires the applicant for such permit to the a signed statement that he or she is licensed pursuant to the
provisions of the Contractors License Law (Chapter & commencing with Section 7000) of Division 3
of the Business and Professions Code) or that he or she is evernot therefrom and the basis for the
aleged correction. Any violation of Section 7031.5 by any applicant for a permit subjects the applicant
to a civil penetry of not more than five hundred dollars (\$500):
1, se pamer of the property, or my employees with kages as their sole compensation, will do
the work, and the structure is not intended or offered for sale (Sec. 7044, Business and Professions
Code: The Contractors License Law does not apply to an owner of property who builds or employee
Burrow, and who does such work himself or herself or through his or her own employees, provided that
such improvements are not intended or offered for sale. If, however, the building or improvement is sold
willtile one year of completion, the owner-builder will have the burden of proving that he or she did not build or improve for the purpose of sale.).
Official on multiplaces and trust brokening on pages 1):
Les owner of the property, am exclusively contracting with licensed contractors to corrêt uch
the project (Sec. 7044, Business and Professions Code: The Contractors License Law does not apply
to an owner of property who builds or improves thereon, and who contracts for such projects with a
contractor(s) licensed gursuant to the Contractors License Law.).
Lam exernal under Sec. B.S.P.C. for this reason:
I am exempt under Sec B.8 P.C. for this reason:
Date Owner
WORKERS COMPENSATION DECLARATION
WORKERS COMPENSATION DECLARATION
WORKERS' COMPENSATION DECLARATION I heraby affirm under panalty of perjury one of the following declarations:  [***]
WORKERS' COMPENSATION DECLARATION I hereby affirm under penalty of perjury one of the following declarations:    here and will maintain a certificate of consent to self-insure for workers' compensation, as
WORKERS* COMPENSATION DECLARATION  I hereby affirm under penalty of perjury one of the following declarations:  I have and will maintain a certificate of consent to self-insure for workers' compensation, as provided for by Section 3700 of the Labor Code, for the performance of the work for which this permit is issued.
WORKERS* COMPENSATION DECLARATION I hereby affirm under penalty of perjury one of the following declarations:    here and will maintain a certificate of consent to self-insure for workers' compensation, as provided for by Section 3700 of the Labor Code, for the pedormance of the work for which this permit is issued.    I have and will maintain workers' compensation insurance, as required by Section 3700 of the
WORKERS* COMPENSATION DECLARATION I hereby affirm under penalty of perjury one of the following declarations:    here and will maintain a certificate of consent to self-insure for workers' compensation, as provided for by Section 3700 of the Labor Code, for the performance of the work for which this permit is issued.    There and will maintain workers' compensation insurance, as required by Section 3700 of the Labor Code, for the performance of the work for which this permit is issued. My workers'
WORKERS* COMPENSATION DECLARATION I hereby affirm under penalty of perjury one of the following declarations:    here and will maintain a certificate of consent to self-insure for workers' compensation, as provided for by Section 3700 of the Labor Code, for the pedormance of the work for which this permit is issued.    I have and will maintain workers' compensation insurance, as required by Section 3700 of the
WORKERS' COMPENSATION DECLARATION  I hereby affirm under penalty of perjury one of the following declarations:    here and will maintain a certificate of consent to self-insure for workers' compensation, as provided for by Section 370D of the Labor Code, for the performance of the work for which this permit is issued.    There and will maintain workers' compensation insurance, as required by Section 3700 of the Labor Code, for the performance of the work for which this permit is issued. My workers' compensation insurance carrier and policy number are:    Policy Number
WORKERS* COMPENSATION DECLARATION I hereby affirm under penalty of perjury one of the following declarations:    here and will maintain a certificate of consent to self-insure for workers' compensation, as provided for by Section 3700 of the Labor Code, for the performance of the work for which this permit is issued.    There and will maintain workers' compensation insurance, as required by Section 3700 of the Labor Code, for the performance of the work for which this permit is issued. My workers' compensation insurance carrier and policy number are:    Policy Number   Policy Number   Policy number   Policy number   Policy Number
WORKERS* COMPENSATION DECLARATION I hereby alliem under penalty of perjury one of the following declarations:    here and will maintain a certificate of consent to self-insure for workers' compensation, as provided for by Section 3700 of the Labor Code, for the performance of the work for which this permit is issued.    These and will maintain workers' compensation insurance, as required by Section 3700 of the Labor Code, for the performance of the work for which this permit is issued. My workers' compensation insurance cervier and policy number are:    Policy Number   Policy Number
WORKERS' COMPENSATION DECLARATION I hereby affirm under penalty of perjury one of the following declarations:    here and will maintain a certificate of consent to self-insure for workers' compensation, as provided for by Section 3700 of the Labor Code, for the performance of the work for which this permit is issued.    have and will maintain workers' compensation insurance, as required by Section 3700 of the Labor Code, for the performance of the work for which this permit is issued. My workers' compensation insurance curvier and policy number are:    Policy Number
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WORKERS' COMPENSATION DECLARATION I hereby affirm under penalty of perjury one of the following declarations:    here and will maintain a certificate of consent to self-insure for workers' compensation, as provided for by Section 3700 of the Labor Code, for the performance of the work for which this permit is issued.    have and will maintain workers' compensation insurance, as required by Section 3700 of the Labor Code, for the performance of the work for which this permit is issued. My workers' compensation insurance curvier and policy number are:    Policy Number
Investigate   Workers   Control New York   Workers   W
WORKERS* COMPENSATION DECLARATION  I have and will maintain a certificate of consent to self-insure for workers' compensation, as provided for by Section 3700 of the Labor Code, for the performance of the work for which this permit is issued.  I have and will maintain workers' compensation insurance, as required by Section 3700 of the Labor Code, for the performance of the work for which this permit is issued. My workers' compensation insurance carrier and policy number are:  [This section need not be completed if the insurance on humberd deliers (\$400), or less).  I cartify that in the performance of the work for which this permit is issued, I what not employ any person in any manner so as to become subject to the workers' compensation lews of California, and agree that if I should become subject to the workers' compensation provisions of Section 3700 of the Labor Code, I shall forthwits comply with those provisions.
WORKERS' COMPENSATION DECLARATION  I hereby sillimit under penalty of perjury one of the following declarations:  I have and will maintain a certificate of consent to self-insure for workers' compensation, as provided for by Section 3700 of the Labor Code, for the performance of the work for which this permit is issued.  I have and will maintain workers' compensation insurance, as required by Section 3700 of the Labor Code, for the performance of the work for which this permit is issued. My workers' compensation insurance carrier and policy number ere:  [This section need not be completed if the permit is for one hundred deliers (\$100) or less).  I cardify that in the performance of the work for which this permit is issued, I shall not employ any person in any manner so as to become subject to the workers' compensation lews of California, and agree that if I should become subject to the workers' compensation previsions of Section 3700 of the Labor Code, I shall forthwist comply with those provisions  Date:    WARRIENG: FAILURE TO SECURE WORKERS' COMPENSATION COVERAGE IS UNLAWFUL, AND SHALL SUBJECT AN EMPLOYER TO CRIMINAL PENALTIES AND CIVIL FINES UP TO ONE HUNDRED THOUSAND DOLLARS (\$100,000), IN ADDITION TO THE COST OF COMPENSATION.
WORKERS' COMPENSATION DECLARATION  I hereby affirm under penalty of perjury one of the following declarations:  I have and will maintain a certificate of consent to self-insure for workers' compensation, as provided for by Section 3700 of the Labor Code, for the performance of the work for which this permit is issued.  I have and will maintain workers' compensation insurance, as required by Section 3700 of the Labor Code, for the performance of the work for which this permit is issued. My workers' compensation insurance carrier and policy number ene:  (This section need not be completed if the permit is for one hundred deliers (\$100), or less).  I cartify that in the performance of the work for which this permit is issued, I shall not employ any person in any manner as as to become subject to the workers' compensation laws of California, and agree that if I should become subject to the workers' compensation provisions of Section 3700 of the Labor Code, I shall forthwite comply with those provisions.  WARNING: FAILURE TO SECURE WORKERS' COMPENSATION COVERAGE IS UNLAWFUL, AND SHALL SUBJECT AN EMPLOYER TO CREMINAL PESSATION COVERAGE IS UNLAWFUL, AND SHALL SUBJECT AN EMPLOYER TO CREMINAL PESSATION COVERAGE IS UNLAWFUL, AND SHALL SUBJECT AN EMPLOYER TO CREMINAL PESSATION COVERAGE IS UNLAWFUL, AND SHALL SUBJECT AN EMPLOYER TO CREMINAL PESSATION COVERAGE IS UNLAWFUL, AND SHALL SUBJECT AN EMPLOYER TO CREMINAL PESSATION COVERAGE IS UNLAWFUL, AND SHALL SUBJECT AN EMPLOYER TO CREMINAL PESSATION OF THE COST OF COMPENSATION, DAMAGES AS PROVIDED FOR IN SECTION 3704 OF THE LABOR CODE, INTEREST, AND
WORKERS' COMPENSATION DECLARATION  I have and will maintain a certificate of consent to self-insure for workers' compensation, as provided for by Section 3700 of the Labor Code, for the performance of the work for which this permit is issued.  There and will maintain workers' compensation insurance, as required by Section 3700 of the Labor Code, for the performance of the work for which this permit is issued. My workers' compensation insurance carrier and policy number are:  Policy Number  [This section need not be completed if the permit is for one hundred dollars (\$100), or less).  I cartify that in the performance of the work for which this permit is issued, I shall not employ any person in any manner so as to become subject to the workers' compensation laws of California, and agree that if I should become subject to the workers' compensation laws of California, and agree that if I should become subject to the workers' compensation provisions of Section 3700 of the Labor Code, I shall forthwite corruptly with those provisions  WARRING: FAILURE TO SECURE WORKERS' COMPENSATION COVERAGE IS UNLARRYAL, AND SHALL SUBJECT AN EMPLOYER TO CRIMINAL PENALTIES AND CIVIL, FINES UP TO ONE HUNDRED THOUSAND DOLLARS (\$100,000), IN ADDITION TO THE COST OF COMPENSATION, DANIGES AS PROVIDED FOR IN SECTION 3706 OF THE LABOR CODE, INTEREST, AND ATTORNEY'S FEES.
WORKERS' COMPENSATION DECLARATION  I have and will maintain a certificate of consent to self-insure for workers' compensation, as provided for by Section 3700 of the Labor Code, for the performance of the work for which this permit is issued.  There and will maintain workers' compensation insurance, as required by Section 3700 of the Labor Code, for the performance of the work for which this permit is issued. My workers' compensation insurance certier and policy number end:  Policy Number  (This section need not be completed if the permit is for one hundred dollars (\$100), or less).  I cartify that in the performance of the work for which this permit is issued, I what not employ any person in any manner so as to become subject to the workers' compensation laws of California, and agree that if I should become subject to the workers' compensation laws of California, and agree that if I should become subject to the workers' compensation laws of Section 3700 of the Labor Code, I shall forthwhits comply with those provisions.  WARNING: FAILURE TO SECURE WORKERS' COMPENSATION COVERAGE IS UNILAMPUL, AND SHALL SUBJECT AN EMPLOYER TO CRIMINAL PENALTIES AND CIVIL FINES UP TO ONE NUMBERS AS PROVIDED FOR IN SECTION 3706 OF THE LABOR CODE, INTEREST, AND ATTORNEY'S FEES.  CONSTRUCTION LENDING AGENCY
WORKERS' COMPENSATION DECLARATION  I have and will maintain a certificate of consent to self-insure for workers' compensation, as provided for by Section 3700 of the Labor Code, for the performance of the work for which this permit is issued.  There and will maintain workers' compensation insurance, as required by Section 3700 of the Labor Code, for the performance of the work for which this permit is issued. My workers' compensation insurance carrier and policy number are:  Policy Number  [This section need not be completed if the permit is for one hundred dollars (\$100), or less).  I cartify that in the performance of the work for which this permit is issued, I shall not employ any person in any manner so as to become subject to the workers' compensation laws of California, and agree that if I should become subject to the workers' compensation laws of California, and agree that if I should become subject to the workers' compensation provisions of Section 3700 of the Labor Code, I shall forthwite corruptly with those provisions  WARRING: FAILURE TO SECURE WORKERS' COMPENSATION COVERAGE IS UNLARRYAL, AND SHALL SUBJECT AN EMPLOYER TO CRIMINAL PENALTIES AND CIVIL, FINES UP TO ONE HUNDRED THOUSAND DOLLARS (\$100,000), IN ADDITION TO THE COST OF COMPENSATION, DANIGES AS PROVIDED FOR IN SECTION 3706 OF THE LABOR CODE, INTEREST, AND ATTORNEY'S FEES.

comply with all only and county ordinances and state laws relating to building construction, and hereby

surhorize representatives of this, county to enter upon the above-mentioned-property for inspection

Signature of Applicant or Agent

139600062 JOB ADDRESS 324 W. **USE OF STRUCTURE** DIRESIDENTIAL ☐ COMMERCIAL ☐ INDUSTRIAL APPLICATION FOR PLUMBING PERMIT DEVELOPMENT Checked by \_ CITY OF MONROVIA DESCRIPTION OF WORK No. REM FEE 22 00 FILING FEE **Water Closet** Beats Tub ..... Weath Trey \_\_\_\_\_ Floor Crein Dispose! Dishwasher ... Orainage or Vent Repair/Alter 4.50 mg. Cap 22.00 ea. Private Seeinge System 66.50 ea. Cocapool or Drywyd 33.25 m. 17.75 🖦 interceptor\_\_\_\_\_ Reinweter System - Inside Eldg. - per drain 8.75 es. Water Piping System 4.25 ea. Water House and or Yes. 11.00 pg. 5.50 Gas Piping System Outlets OVE 5 1.00 co. Layer Sprinkler System 13.25 au. 11,00 Vacuum Breakers or Back Flow Devices OVer 5 2.00 as. Swimming Pools Private 54.00 Public 61.60 Scen Private 27.00 Public 64.00 33 Macellaneous 00 Other Fees - Whete Impact 10.00, 17 -Computer Cost Recovery 3.00, Microfilming 4.50 TOTAL FEE Stease sent objy of some

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LICENSED CONTRACTORS' DECLARATION	2711 1 Ocard 1 10	
Thereby aftern under penalty of perjuty that I am licensed under provisions of Chapter 9 (commence/0	JOB ADDRESS 324 W. PALM AVE	
with Section 7000) of Division 3 of the Business and Professions Code, and my license is in full force.	USE OF STRUCTURE	
and effec. License Classe Lic No. Dete ES 1516	.1	
	M	-
CONTRACTOR  OWNER-BUILDER DECLARATION	DATE FEB. 15, 96 APPLICATION FOR	
Thereby affirm under panelty of perjury that I am exempt from the Contractors License Law for the	PERMIT NO. 19662-152 PLUMBING PER	RMIT I
following reason (Sec. 7031.5, Business and Professions Code. Any city or county which requires a	TOTAL FEES \$ 53.000 DEPARTMENT OF COM	MANTY
permit to construct, alter, improve, demolish, or repair any structure, prior to its insuance, also requires		
the applicant for such permit to file a signed eleternent that he or she is bosneed pursuant to the	City of MonRovia	i
provisions of the Confractors Licenses Law (Chapter 9 (commencing with Section 7000) of Division 3 of the Business and Professions Code) or that he or she is exempt therefrom and the basis for the	Whene MOLLEN KOPF	
alleged manufaction. Any violation of Section 7031.5 by any applicant for a permit subjects the applicant	1 8	
to 4 civil penelty of not more than five hundred dollars (\$500)	8 Address 329 W. PALM AVE	
	City MONDROVIA Tel No.	
[ as sense of the property, or my employees with wages as their sole compensation, will do	544157	
the work, and the structure is not intended or offered for sale (Sec. 7644, Business and Professions	Nome OUNER	
Code: The Contractors License Law does not apply to an owner of property who builds or improves	5 Actives	
thereon, and who does such work himself or herself or through his or her own employees, provided that	City1et. No	
such improvements are registrated or offered for sale. If, however, the building or improvement is sold within one year of completion, the owner-builder will have the burden of proving that he or she did not	Sinter Lic City Lic	
build or improve for the purpose of talk.).		
	DESCRIPTION OF WORK	· <del>-</del> · ·
Light as owner of the property, are exclusively contractingwith licensed contractors to construct	Ho. ITEM	FEE
the project (Sec. 7044, Business and Professione Code. The Contractors License Law does not apply	FILING FEE	22 60
to an owner of property who builds or improves thereon, and who contracts for such projects with a		-22 99
contractor(s) licensed pursuant to the Contractors License Law (	Sink Lavatory Wester Closes	
I am exempt under Sec	Shower Beth Tub Auto. Weather Urinet Westh Trey Floor Drain	
Lam exempt under Sec B & P.C. for the reason:	Urines When Trey Floor Drain	
Date 15 9h Quant	Standard Standard	200
Description of the second of t	Diaposal Dishwasher 8.75 es.	8 75
WORKERS' COMPENSATION DECLARATION	Oreinage or Veru RepokriAter 4.50 cm	
i hereby affirm under penalty of perjury one of the following declarations:	1.50 (4.	
n i	Service Cap 22.00 sea.	1 1111
! have and will maintain a certificate of consent to self-insure for workers' compensation, as		
provided for by Section 3700 of the Labor Code, for the performance of the work for which this	Private Sesage System 86.50 es.	
permit in insued.	· · · · · · · · · · · · · · · · · · ·	
The state of the s	Consposi or Drysrel 33.25 ml.	1
[higher and will must take workers' compensation insurance, so required by Section 3700 of the	<del>                                     </del>	
Labor Code, for the performance of the work for which this permit is issued. My workers' compensation insurance carrier and policy number are:	Intercuptor 17.75 ea.	1
Carrier Policy Humber		
	Flatmenter System - Inskie Bidg per drein 8.75 eq.	
(This section need not be completed if the permit is for one hundred dollars [\$100] or less)	/ Water Ploing System 4.25 ea.	1100
I certify that in the performance of the work for which the permit is issued. I shall not employ any	/ Water Piping System 4.25 ea.	425
person in any manner so as to become subject to the workers' compensation laws of California, and agree that if I should become subject to the workers' compensation provisions of Section 3700 of the	Water Heater and-or Vani 11.00 es.	
Labor Code, I shall forthwith comply with those provisions.		
Date: Applicant:	Ges Ploing System Outlets 1-5 5.50	
	OVEY 5 1.00 ea.	
WARNING: FAILURE TO SECURE WORKERS' COMPENSATION COVERAGE IS UNLAWFUL,	Luman Sprinkler System 13.25 asp.	
AND SHALL SUBJECT AN EMPLOYER TO CREMINAL PENALTIES AND CIVIL FINES UP TO ONE	Vincent Street, pr. 4. 0-4 51-11.00	╼┈╼╁╼╶╼┫
HUNDRED THOUSAND COLLARS (\$100,000), IN ADDITION TO THE COST OF COMPENSATION, DAMAGES AS PROVIDED FOR IN SECTION 3704 OF THE LABOR CODE, INTEREST, AND	Vacant Braskers or Back Flow Devices 170 11.00	
ATTORNEY'S FEES.		<del>-   - </del>
CONSTRUCTION LENDING AGENCY	Swimming Pools Private 64.00 Public 81.60	/ /
I hareby elitra under panalty of perjury that there is a construction landing agency for the performance	Span Private 27.00 Public 64.00	
of the work for which this permit is issued (Sec. 3097, Clv. C).	71 71 71 71 71 71 71 71 71 71 71 71 71 7	
Lender's Name Lender's Address	Macalanaous	3550
I certify that I have reed this application and state that the above information is correct. I agree to comply with all city and county ordinances and state takes relating to building construction, and hereby		1-1-20
authorize representatives of this county to enter upon the above-mentioned property for trapection	Other Fees - Weste Impact 10.00,	17 60
briboner	Computer Cost Recovery 3.00, Microfflering 4.50	
	TOTAL FEE	53 00
Simulture of Architect of Arant	ha <u>ang kanalaga da kananan ang kananan ang kananan ang kananan ang kananan ang kananan ang kananan ang kanana</u>	

— HORTH —

Mater Service Ordered \_\_\_

REMARKS
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SEWER MAP

The months of the purpose of the property of the Lam Standard under providence of Chapter 9 (commerce) \$  Invalvey offers under personally of portuny that I am secured from the Contractors (Losnes Class  Contractors  Contracto	
billwring reason (Sec. 703.1.5. Business and Professions Code. Any city or county-which requires 7 permit by destruction, prior to the sequence also constitute, aller, improve, demandarly, or repair any extructions of the constitute, the entire of the substance of the constitute Liver (Chapter 8) commercing with Section 7000) of Dission 1 of the Business and Professions Codes; the Constructors License Law (Chapter 8) commercing with Section 7000) of Dission 1 of the Business and Professions Codes; the Constructors Tools, 5 by any applicant for a permit subjects the explicitude on a child pressity of not move than five hundred dodlers (SSO0):  It is contact to the property, or my employees with ranges as their sole compensation, who is not interest to the property of not move than five hundred or referred for sale (Sec. 7044, Business and Professions Codes: The Contractors License Law does not apply to an owner of property who builded or improvements are not elemented or offered for sale if, however, the builder or improvement and the builder or improvement is acide within one year of completion, the owner-builder will have the burden of crowing that he or she district build or improvement will have the purpose of sales).  In contract of the property, and sockularity sentimations and soles in the purpose of sales.  In contract of the property, and sockularity sentimations are not elemented or offered for sales. If, however, the builder or improvement is acide within one year of completion, the owner-builder will have the burden of crowing that he or she district to constructors to construct the property, and sockularity sentimations are not elemented or offered for sales.  In contract of the property, and sockularity sentimations are not elemented or offered for sales.	
provisions of the Contractors License Law (Chapter 8 journmenting with Section 700.0) of Division 2 of the Business and Professions Code) or that he or site is exempt therefrom and the basis for the Education of Section 700.15 by any applicant for a permit subjects the explicant to a chill permit of the property, or my employees with wages as their sole compensation, wind the vent, and the structure is not intended or offered for side (Sec. 7044, Business and Professions Code: The Contractors License Law does not apply to an owner of property who builds or improve the three contractors or property in the building or improvement is add within any part of completion, the owner-builder will have the burden of proving that he or she dig rist build or improve for the purpose of each.    It is owner of the property, an esclusively contracting with Sensed contractors to contract.	
the work, and the structure is not intended or offered for sale (Sec. 7044, Business and Professions Code: The Contractors License Law does not apply to an owner of property who builds or improve the sale of structure.    Use of Structure   Single Family Duplex   Use of Structure   Single Family Duplex   Unit Apt.   Sign   BUILDING PERMIT   BUILDING PE	
Unit Apr.   Sign   BUILDING & PLANNING	
to an owner of property who builds or improves thereon, and who contracts for such projects with a contractor(s) flooresed pursuent to the Contractors License Lisw).  NewAdd'nAlterDemo	
Description of Work CONVERT EXIST G  WORKERS COMPENSATION DECLARATION  Description of Work CONVERT EXIST G  ENCLOSED FORBIT TO KITCHEN EDUCATION  Name PEGGY MOLLENKOFF	
I have and will maintain a cartificate of consent to self-insure for workers' compensation.les   provided for by Section 3700 of the Labor Code, for the performance of the work for which this   permit is lessed.	
Confider  Confid	
A coeffly that is, the performance of the work for which this permit is issued. I shall not employ (any parson in any manner so as to become subject to the workers' compensation lews of California, and signes that if I should become subject to the workers' compensation provisions of Section 3700 of the Labor Code, I shall forthwith comply with those provisions.  WORK COVERED BY THIS PERMIT  Height.   2	
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of the work for which this permit is teaued (Sec. 3087, Chr. C).  Lander's Address	

ENSPEC	TION RECORD		REMARKS	OTHER DIAGRAM
APPROVALS	DATE	INSPECTOR	1) als foured Brion to	
Forms & foundation			expected forefront	
Reinforcing Steel			<u>aepth 9 and the 11/1/95 — </u>	
Chimney Foundation				
Chimney Reinforcing			<del></del>	
Electrical Groundwork			i	
Plumbing Groundwork				
Duct Groundwork				
Masonry Steel			<u> </u>	
lift 4' 🗀 8' 📋 12' 🔲		į		•
final Lift & Grout		i	·	
Framing	11 22/45	10	<u> </u>	
Insulation				
Sheathing Nailing				
Wall Roof [				
Rough Electrical	2/15/96			•
Rough Plumbing	2/15/96	-		
Gas Test Rough	2/ 1			
Rough Heating &				
Ventilating ☐ A/C ☐				
Interior Lathing/Drywall			······································	
Exterior Lothing				
Sewer Cesspool	122/47	18-		
Electrical Fixtures	10771	CF CF		•
Service	12/12/21			:
Plumbing Fixtures	12/19/96			
Gas Test Final	<del></del>	+		1
Final Heating &				
Ventilating ☐ A/C ☐	<del></del>	<del>-</del>	·	;
Pool Fence		<del>                                     </del>		•
Parking		+		
Landscaping Walls Fences	<del></del>	<del></del>	· <u> </u>	
FIRE DEPT.		<del>                                     </del>		
FINAL	1/22/99	13	·	
	1/20/1/-	-	·	1
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CEDITIESCATE	OF OCCUPANCY	<u> </u>		. □ QUARTERLY LICENSE
A certificate of occupancy			'	
con be occupied.	) 18031 NC 133060 DC	v-+, v valialing	· · · · · · · · · · · · · · · · · · ·	☐ YEARLY LICENSE
This form when properly	endorsed is notice	that the work	<u> </u>	EXP. DATE
described herein has been occupancy stated has been	inspected and app	roved and the		LAT. DAIL
Date			<u> </u>	· -
<del></del>	Building I	inspector		

<u>-</u>			_ B9600			
LICEMBED CONTRACTORS' DECLARATION	JCD A	DORESS 324	W. PAI	M		
I havely allites under penalty of perjury that I are toproved under provisions of Chapter & (communicate) with Section 7000) of Division 3 of the Business and Professions Code, and my license is in Ail force and effect.    Lic. No	<b>2</b> RES	USÉ OF BIOENTIAL 📮 COMB	STRUCTURE MERCIAL (1)	INDUSTAV		
Contractor  Contractor  Contractor  Contractor  Pharetry affirm under parally of perjury that I am diamet from the Contractore License Law for the features present (Sec. 7031 S. Business and Professions Code: Any city or county which requires a parelly to contractor. License also requires to parelly to the features, after the fits insurance, also requires	PERMIT TOTAL F	FEB 15, 90 NO. R9602452- EEB \$ 43.50	ELECTRI DEPARTMENT		MIT	¥
the applicant for such permit to file a signal abstances that he or the it becomes pertuant to the provisions of the Contractors Licenses Law (Chapter 8 (communing with Section 7000) of Divirium 3 of the Business and Professions Code) of that he or the is assumpt therefore and the basis for the singul committee. Any violation of Section 7031 5 by any applicant for a permit subjects the applicant to a close personly of not more than the hundred defeat (\$500):	h Nem	MOHENKON 324 C	15-			<del></del>
I, so owner of the property, or my smiphyses with wages as their sale companisation, will do the work, gird the structure to not intended or offered for sale (Sec. 7044, Business and Protestane Code: The Contractors Loanes Law deep had apply to an owner of property who builds of improved business, and who does such wast intread or through other topics are properties. provided that sach improvements are not intended or others. If, however, the building or improvement is said within one year of completion, the downer-builds will have the burston of proving that he or she site not	Name Address City	P /2 2 = 1 2	Tel. No			
build at known for the purpose of safe.).			TION OF WORK			_
1, as owner of the property, are exclusively contractingwith Scenard contractors to construct the project (the: 7544, Scatteres and Professions Code: The Contractors License Law does not apply	No.		EM FILING F		7 <u>2</u> 2	80
to an exercit of property who builds or irrepreses thereon, and who contracts for such projects with a contractor(e) ficeroed pursuant to the Contractors License Law.).		New Posidends	1170 0.00	KG .		
I am exempt under See	3	Receptacies, Outets, Switcher	ADORONI	<b>9</b> 85	3	00
and the second	1	Light Fotures, Sockets	First 20 <u>Additional</u>	Ø 1.00 Ø :56	1	00
WORDLING COMPENSATION DECLARATION		Residential Appliances Renges, Cook Tops, Air-Cond.	., Gárb. Olep.	4.25 🗪		
I have and will maintain a conflicate of consent to self-insure for workers' compensation, at		Non-Residential Applications		4.25 cm.		
provided for by Section 3700 of the Labor Code, for the performence of the work for which this permit to intued.	<u> </u>	Motor(e)		H.P.		
		Generator(4)		K.W.		
Labor Code, for the performance of the work for which this permit is issued. My werkers' consequently, improved content and author number and	<u></u>	Transformur(s)		KVA		
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(This naction read not be completed if the permit is for one hundred deliars (\$100) or less).  1 conflict that in the performance of the work for which this permit is immed, I shall not simple, any		Signe-Additionel Branch Circul or Separate Flushers, etc.	•	4.25 ma.		
person in any marrier to se to become subject to the workers' comparables have of California, and agree that if I should become subject to the workers' comparables provisions of Section 3700 of the Labor Code, I shall forthwith comply with those provisions.  Outs:  Applicant:			čite Z A., See Schedule	7.25 🖦		
WARRING: FALURE TO BECURE WORKERS COMPENSATION COVERAGE IS UNLAWFUL. AND SHALL SUBJECT AN EMPLOYER TO CRIMINAL PENALTIES AND CIVIL PINES UP TO CRIM		Temporary Service Res. 22.0	com. or Underground	38.25	:	<u> </u>
HUNDRED THOUSAND COLLARS (\$100,000), IN ADDITION TO THE COST OF COMPENSATION, DAMAGES AS PROVIDED FOR IN SECTION 3700 OF THE LABOR CODE, INTEREST, AND	Į.	Buswayo Length	, 6.50 pe	er 100 ft.		
ATTOPRIÉYS PEES. COMSTRUCTION LENGTHS AGENCY		Pvt. Selm. Podie	4	4.25 en.		
I havely allow under penalty of perjury that there is a construction landing agency for the performance of the work for which this permit is feated (See. 2007, Cly. C).	<u> </u>	Macathrecus				
Lander's Herre  Londer's Herre				600	2	<del>Ú d</del>
authorize representatives of this county is enter upon the above-members properly for maps more		Other Fees - Waste Impact 10. Computer Cost Recovery 5.00	.00. , Morafilming 4.50	<u> </u>	17	<b>50</b> :
purpoint.		1	TOTAL CE		//2	ررکا

REV MINE

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Approvala	REMARKS
Date inspector	
Electrical (Power Pole)	
(Grd. Wic.)	
(Conduit)	
(Rough) 12/15/96	
(Finish)	
(Service)	
(Signa)	
(Owner)	
(Other)	
(Other)	· · · · · · · · · · · · · · · · · · ·
(Other) []	•
REMARKS:	
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Meter Service Crossed	
List Motors, Generators, Transformers	
	BLIGH IPOS LLOPLIÓN
	BUSINESS LICENSE
	☐ ONE TIME LICENSE
	QUARTERLY LICENSE
	☐ YEARLY LICENSE
	EXP. DATE



## **Certificate of Occupancy**

Department of Community Development - Building Division

### CERTIFICATE OF OCCUPANCY

BUILDING ADDRESS AND	ASSESSOR'S IDENTIFICATION NUMBER

324 W. Palm Ave 8505-003-005

Building Permit No: R95-10-233

Date of Completion: JANUARY 22, 1997

This building or portion thereof, has been inspected for compliance with applicabe codes and ordinances of the City of Monrovia, California. Issuance of this Certificate of Occupancy shall not be construed as an approval of a violation of the applicable codes and ordinances of this jurisdiction. A new certificate of Occupancy is required for any changes in the character or use of the building for which this Certificate of Occupancy had been issued.

Description of Project

CONVERT EXISTING ENCLOSED PORCH TO KITCHEN EXTENSION TOTAL AREA; 75 SQ. FT.

Occupancy Group: R-3
Type of Contruction: V-N

Owner: PEGGY MOLLENKOPF Address: 324 W. PALM AVE

**MONROVIA, CA 91016** 

Comments:

Kaker t lastellano Robert Castellano, Building Offica **JANUARY 28, 1997** 

Date

COFOSHL/C:

WORKERS' COMPENSATION DECLARATION
Thereby affirm that I have a certificate of consent to self-insure or a certificate of Workers' Compensation Insurance, or a certified copy thereof (Sec. 3890, Lab. C.)
Policy No Company
Certified copy is hereby furnished.
Certilied copy is filed with the county building inspection department.
Date Applicant
CERTIFICATE OF EXEMPTION FROM WORKERS' COMPENSATION INSURANCE
(This section need not be completed if the permit is for one hundred dollars (\$100) or less.)
I certify that in the performance of the work for which this
permit is issued, I shall not employ any person in any manna so as to become subject to the Workers' Compensation Laws
Date Applicant
NOTICE TO APPLICANT: If, after making this Certificate of Exemption, you should become subject to the Workers
Compensation provisions of the Labor Code, you must forth with comply with such provisions or this permit shall be deemed revoked.
LICENSED CONTRACTORS DECLARATION
I hereby affirm that I am licensed under provisions of Chapter ( (commencing with Section 7000) of Division 3 of the Busines: and Professions Code, and my license is in full force and effect
License Number Lic. Class
Contractor Date
I am exempt from the licensing requirements as I am a licensed architect or a registered professional engineer acting in my professional capacity (Section 7051 Business and Professions Code).
Lis. or Reg. No Date
OWNER-BUILDER DECLARATION hereby affirm that I am exempt from the Contractor's License, aw for the following reason (Section 7031.5, Business and Professions Code):
as owner of the property, or my employees with wages as their sole compensation, will do the work and the structure is not intended or offered for sale (Section 7044, Business and Professions Code).
<ol> <li>I, as owner of the property, am exclusively contracting with licensed contractors to construct the project (Section 7044, Business and Professions Gode).</li> </ol>
CONSTRUCTION LENDING AGENCY I hereby affirm that there is a construction lending agency fo the performance of the work for which this permit is issued (Sec. 3097, Civ. C.)
Lender's Name
Lender's Address
I certify that I have read this application and state that the above
information is correct. I agree to comply with all City ordi- nances and State laws relating to building construction, and
hereby authorize representatives of this City to enter upon the above-mentioned property for inspection purposes.
A 100 11 1
Signature of Applicant or Agent

JOB ADDRI	ADDRESS 324 W. PALM AVE				
Nature of Installation					
Res	idential Commercial Industrial				
DATE_	11-14-86 APPLICATION	FOR			
PERMI	TNO. 0130   ELECTRIC PI	ERMIT	r		
TOTAL	FEES \$ 52,90 DEPARTMENT OF C		אדואט		
Check	1 V2/1				
	HOWARD L MOLLENK	oP.F	<u>-</u>		
Add O ou	dress <u> 220 Laurel Ave</u> , <i>San Anselmo Cal</i> tel No. 415 - 43		17.13		
		160-	- 7-7-2		
o No	dress				
E City	y				
ပိ Sta	te Lic. City Lic.				
	DESCRIPTION OF WORK				
No.	ITEM	F	EE.		
	Filing Fee	13	50		
	Blanker Permi) or Supplemental 5.50	ļ,			
38	Receptocles, Outlets, Switches First 20 @ .70 Additional @ .60	23,			
12	Light Fintures, Sockets First 20 @ .70 Additionot @ .80	8	40		
Marcury Yopor, Pole Mounted Fixture: 2.50 es.					
Ö	Residential Appliances / Ranges, Cook Tops, Air-Cond., Garb. Disp. 4.00				
٥	Non-Residential Appliances (Not Exceeding 5 H.F.) 8.00				
<u>~</u>	Meter(i)H.F. Generator(s)K.W				
0	Transformer(s)	L,			
\$	Signs, Outline Lighting, Morquees 13 50 ea.				
١,	Service Equipment, Under 200 A.  Amps / O Volts	0			
	Over 200 A , Şee Şçkedule	8	00		
	Temporary Service Res. 13.60 Comm. 26.00	ļ			
	Temporary Lighting				
	Butwoys Length 2.86/11.	, ,			
	Miscellaneous—				
<u> </u>			<b>-</b>		
	TOTAL FEE	52	90		
*For item not fisted check with office personnel					
I HEREBY CERTIFY That I have examined this completed appli-					
cation and the statements therein are true and correct, and					
that   City	that all work shall be done in accordance with all applicable.  City, County and State laws.				
I HEREBY CERTIFY that I am properly registered and/or li-					
censed as required by the City of Monravia and State of Cali-					

I HEREBY CERTIFY that I am properly registered and/or licensed as required by the City of Monravia and State of California or that I am the legal owner of the above described residential property.

Signature of Owned Joseph Following

# Approvals Dote Inspector Electrical (Power Pole) 📋 🖃 (Grd. Wk.) (Conduit) (Rough) (Finish) (Service) 🔼 12-8-84 (Şigns) Other) Other) Other) Other) [ Remarks.... Meter Service Ordered\_ List Motors, Generators, Transformers

# **DIAGRAMS**

JOB ADDRESS 324 W Pollm					
Nature of Installation					
Plumbing Gas Sewer Furnace .					
DATE 8 - 5 6 6 0 APPLICATION FOR					
PLUMBING PERMIT					
PERMIT NO. 9 BUILDING DIVISION Checked by ST CITY OF MONROVIA					
1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1					
\$ Address 3&4 11 P	oilm Ane				
- City 775071250	Tel. No.EL 8/16/18				
B Address 323 S Ca	lef Aul				
E City //WWYTOUZOU	Tel. No.2=4 8 / 969				
- 1 2100113031 01010	City				
DESCRIPTION PLUMBI					
Piping Only	Automatic Washer				
Bath Tub	Soda Fountain				
Shower	Floor Drain				
Lavatory					
Kitchen Sink .	Water Softener				
Floor Sink	Dishwasher				
Slop Sink	Drinking Fountain				
Wash Tray	Dental Lavatory				
Water Closet	_Garbage Disposal				
Urinal _	Vac, Breaker or				
Sewer	Back Flow Valve				
. Water Distr. Sys,	Septic Tank				
Chemical Toilet	Cesspool				
GAS PIPING					
Gas Piping Sys	1Water Heater				
Outlets (over 10)	Floor Fyrnace				
Space Heater	Wall Furnace				
I HEREBY CERTIFY That I have examined this completed application and the statements therein are true and correct, and that all work shall be done in accordance with all applicable city, County and State laws.					

			Approvals	
			Date	Inspector
Plumbing	(Grd. Wk.)			
a H.	(Rough)			
W.H	(Finish)		8-29-40	
Gas	(Grd. Wk.)			
	(Rough)			
	(Finish)			·
Sewer				
Furnace	(Vents)			
	(Finish)			
REMARKS	<u>-                                      </u>			
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Meter Ser	vice Ordered	l		

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	State Lick	~ () ~ [\ A\—	•	ty Lic.)	
it.	Name	·		<del></del>	
Architect r Engineer	Address				
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			N	ow on Lot	—— [
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Ala a	f Stories		Valuatio		5 <b>9</b>
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I HER	and the sto ork shall b	atements therein se done in accor te la <u>ws</u> ,	are true of	and correct, h-all applica	and that able City,
I HER	and the sto ork shall b	atements therein be done in accor te laws, Signatu	are true of dance with	and correct, h-all applica or Authorized	and that able City, Agent
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### INSPECTION- RECORD

APPROVALS	DATE	INSPECTOR
Forms & Foundation	<u> </u>	
Reinforcing Steel		
Chimney Foundation		
Chimney Reinforcing	1	
Electrical Groundwork		<u> </u>
Plumbing Groundwork	<del></del>	
Duct Groundwork		
Masonry Steel		
Lift 4' [] 8' [] 12' []		
Final Lift & Grout		
Framing		<del></del>
Insulation		<del></del>
Sheathing Nailing Research		
Wall Roof	2-9-7/	62M
Rough Electrical	2 / 12	<del>STAR</del>
Rough Plumbing	··	
Gas Test Rough	<del>                                     </del>	<del></del>
Rough Heating &	<del>                                     </del>	
Ventilating □ A/C □		1
Interior Lathing/Drywall		<u> </u>
Exterior Lathing		
Sewer Cesspoo!		:
Electrical Fixtures		
Service		
Plumbing Fixtures		· · · · · · · · · · · · · · · · · · ·
Gas Test Final		
Final Heating &	<del>                                     </del>	
Ventilating ☐ A/C ☐	•	
Pool Fence		
Parking		
Landscaping		
Walls Fences	!	
FIRE DEPT.		
PUBLIC WORKS		
Re-roof	2-9-75	4771
NOTES:		
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JOB ADDRESS	324	W. (Falm)
	IPTION Book	Page Parcel
	description may be Structure Duplex Sign	APPLICATION FOR BUILDING PERMIT BUILDING & PLANNING DEPARTMENT CITY OF MONROVIA
New		Alter Demo
Description of	Work Corry	position
Name Address City	Umbe	Tel. No.
Name Address	Morno-v	C/45 Corp
	. 18537	7 4 City Lic
Address.		Tel, No.
Size of Lot		No. of Bldgs. Now on Lot
Use of Property		RED BY THIS PERMIT
Height No. of Stories	Ft.	Area Sq. Ft. Valuation \$ 490,00
tion and the s	statements there be done in acc ate laws.	examined this completed applica- cin are true and correct, and that confidence with all applicable City, all the policy of Authorized Agent
Zone	Fire District	Minimum Setbacks
.		FrontRear
Spaces Spaces Special Per	rmits or Conditio	side, side
Zoning Ap		Date
	oyal	
Health Dept. Ap	aproval .	Date
Group	Type of	Plan Check Permit
Occupancy Checked by	- Const Approved by	- Date 1-2376 Receipt # 580 2
	<u> </u>	Fee \$ \$5.00

### **INSPECTION RECORD**

		·
APPROVALS	DATE	INSPECTOR
Forms & Foundation		
Reinforcing Steel		
Chimney Foundation		
Chimney Reinforcing		
Electrical Groundwork		
Plumbing Groundwork		
Duct Groundwork		
Masonry Steel		
Lift 4' 🔲 8' 🔲 12' 🗍		
Final Lift & Grout		
Framing		
Insulation		
Sheathing Nailing		
Wall Roof		
Rough Electrical		
Rough Plumbing	<u></u> _	
Gas Test Rough		
Rough Heating &		
Ventilating A/C		
Interior Lathing/Drywall		
Exterior Lathing	·	
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Electrical Fixtures [		
Service		<del></del>
Plumbing fixtures		
Gas Test Final		
Final Heating &		
Ventilating A/C		
Pool Fence	- ·· <del>-</del>	<del> </del>
Parking		-
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- OBBIC WORKS		
NOTES		
NOTES: 20	1/00 76	
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1 Total	<u> </u>	
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### CERTIFICATE OF OCCUPANCY

A certificate of occupancy must be issued before building can be occupied.

This form when properly endorsed is notice that the work described herein has been inspected and approved and the occupancy stated has been authorized.

Date		
		Building Inspector

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ADDRESS				<del>//</del>	$\frac{\sim}{}$		w.		
PERMIT	No. 35	-	DATE	116	111				
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_ADDRESS	<u> 32</u>	4 W.	Palm)	FIRE :					<del></del>
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LICENSIED CONTRACTORS' DECLARATION
I hereby affirm under penalty of perjury that I am licensed under provisions of Chapter 9 (commencing with Section 7000) of Division 3 of the Business and Professions Code, and my license is in that force and effect.
License Class Date
Contractor
OWNER-BUILDER DECLARATION  I hereby affirm under penalty of parjury that I am exempt from the Contractors License Law for the following reason (Sec. 7031.5, Business and Professions Code: Any city or county which requires a permit to construct, after, improve, demolsh, or repair any structure, prior to its issuence, also requires the applicant for such permit to file a signed statement that he or she is ficensed pursuant to the provisions of the contractors License Law (Chapter 9 [commencing with Section 7000] of Division 3 of the Business and professions Code) or that he or she is exempt therefrom and the basis for the alleged exemption. Any
3 of the business and professions Code) or that the or site is example instruction to a civil penalty of not more than five hundred violation of Section 7031.5 by any applicant for a permit subjects the applicant to a civil penalty of not more than five hundred dollars (\$500).:  [] (as owner of the property, or my employees with wages as their sole compensation, will do the work and the structure
is not intended or offered for sale (Sec. 7044, Business and Professions Code: The Contraction Science Law toes not apply to an owner of property who builds or improves thereon, and who does such work himself or herself or through hits or her own employees, provided that such improvements are not intended or offered for sale. If, however, the building or improvement is sold within one year of completion, the owner-builder will have the burden of proving that he or she did not build or improve for the purpose of sale.).
☐ I, as owner of the property, am exclusively contracting with licensed contractors to construct the project (Sec. 7044, Business and Professions Code: The Contractors License Law does not apply to an owner of property who builds or improves thereon, and who contracts for such projects with a contractor(s) licensed pursuant to the Contractors License Law.).
I, om exampt under Sec
Dale Owner
WORKERS COMPENSATION DECLARATION $\eta = \eta = 0$
I hereby affirm under penalty of perjury one of the following declarations:
i, have and will meintain a certificate of concent to self-insure for workers' compensation, as provided for by Section 3700 of the Labor Code, for the performance of the work for which this permit is issued.
I), have and will maintain workers' compensation insurance, as required by Section 3700 of the Labor Code, for the performance of the work for which this permit is issued. My workers' compensation insurance carriemant policy number are:
Carrier Policy Number
(This section need not be completed if the permit is for one hundred dollars (\$100) or less).  I certify that in the performance of the work for which this permit is issued, I shall not employ any person in any manner so as to become subject to the workers' compensation provisions of Section 3700 of the Labor Code, I shall forthwith comply with those provisions.
Date: Applicant:
WARNING: FAILURETO SECURE WORKERS' COMPENSATION COVERAGE IS UNLAWFUL, AND SHALL SUBJECT AN EMPLOYER TO CRIMINAL PENAL TIES AND CIVIL FINES UP TO ONE HUNDRED THOUSAND DOLLARS (\$100,000), IN ADDITION TO THE COST OF COMPENSATION, DAMAGES AS PROVIDED FOR IN SECTION 3700 OF THE LABOR CODE, INTEREST, AND ATTORNEY'S FEES.
CONSTRUCTION LENGING AGENCY herby affirm under panalty of perjury that there is a construction lending agency for the performance of the work for which its permit is issued (Sec, 3097, Civ. Ci.
ender's NameLender's Address

sently that I have read this application and elate that the above information is correct. I egree to comply with all city and countries and state laws relating to building construction, and hereby authorize representatives of this country to enter you the above-mentioned propegy for inspection purposes.

Date

gnature of Applicant or Agent

# CITY OF MONROVIA DEPARTMENT OF COMMUNITY DEVELOPMENT 415 S. IVY AVE: MONROVIA, CA: 91016

IOB ADDRESS 003 005 Use of Structure . - APPLICATION FOR Single Family 🔲 - Duplex 🔲 BUILDING PERMIT Unit Apt. 🗀 Sign BUILDING & PLANNING Commercial | Indust. | DIVISIONS CITY OF MONROVIA Other Description of Work Name Address 2 Tel. No. City Name \_\_ Address . Jal. No. <u>303 28</u> City .. City Lic. Nome\_ WORK COVERED BY THIS PERMIT Heigid\_ Yakuatlan \$ <u>2500</u> No. of Stories. No. of Bldgs. Size of Lot . Now on Lot. Use of Property Plos Check Perali Type of Date Octoberry Count

Receipt #

fee

Cone Required Parking	FrontRear		
Special Permits or Conditions_			
Zoning Approval	Date		



### INSPECTION RECORD

APPROVALS	DATE	INSPT	APPROVALS	DAT	INSPTR
STRUCTURAL:			MECHANICAL:		
Forms & Foundation -		. "	Heating Rough	1	
Reinforcing Steel			Final	<del>                                     </del>	<del>                                     </del>
Chimney Foundation			A/C-Fan Rough	<del> </del>	<del>                                     </del>
Chimney Reinfording			Final	_	-
Roof Sheathing Mailing ///	23/04		Exhaust Fan	<del></del>	
Mesonry Steel 77/	., 46-		Compressor	<del>                                     </del>	-
Lift 410 810			Boiler	<del>                                     </del>	<del> </del> -
Final Lift & Grout			SWIMMING POOL:		
Shear Panel Nat/Howre			Setbacks		<del></del>
Framing			Overhead Wires		
Insulation	·		Sewer Loc./P-Trap		
Interior Lath/Drywall			Main Drein		
Exterior Lathing			Pool Piping		
ELECTRICAL:			Reinforcing		
Power Pole			Bonding		
Graundwork .			Underground Conduit		
Conduit :			Pool Equip. Location		
Fixtures/Rough	. —		Pool Heater Rough		
Finish			Final		
Service			Health Dept-non-SFR		
Signs			Pool Fences & Gates		
PLUMBING;			Backwash		:
Groundwork			Pool Cover (Heated)		
Fixtures/filough			Final Pool Electr		
Final			Final Pool Pkimbing		
Gas Groundwork			Final Health-non-SFR		
Gas Test & Rough			Final Pool Approval		
Gas Final			MISCELLANEOUS:		·
Sewer D Casspool D			Demolition		
Sewer Cap			Re-Roof		-
Water Heater Vents			Signs		
Water Heater Final	$\neg \neg$		Fences		_
· ;			Accessibility Comp		
		$\neg \neg$			
FINAL			FINAL		

LICENSED CONTRACTORS DECLARATION	
I hereby effirm under penalty of perjury that I am licensed under provisions of Chapter 9 (commencing with Section 7000) of	JOB ADDRESS 324 W. Palm
Division 3 of the Business and Professions Code, and my ficense is in full force and effect.	USE OF STRUCTURE  [X] RESIDENTIAL   COMMERCIAL   INDUSTRIAL
	DATE 11/28/05 APPPLICATION FOR
Contractor TACBOTT IE hierarch	PERMIT NO.   ELECTRIC PERMIT
CWNER-BUILDER DECLARATION	TOTAL FEES \$ 52.47 DEPARTMENT OF COMMUNITY DEVELOPMENT
I hereby affirm under penalty of perjury that I am exempt from the Contractors License Law for the following reason (Sec. 7031.5, Business and Professions Code: Any city or county which requires a permit to construct, after, improve, demolish, or	Checked by CITY OF MONROVIA
repair any structure, prior to its issuance, also requires the applicant for such permit to file a signed statement that he or she	Name Persy Malentope.
is licensed pursuant to the provisions of the contractors License Law (Chapter 9 (commencing with Section 7000) of Division 3 of the Business and professions Code) or that he or she is exempt therefrom and the basis for the alleged exemption. Any	E Address 3241 W PALM
a do the Business and professions Code) of that he or she is exemply therefore and the basis of the alleged exemption. Any a violation of Section 7031.5 by any applicant for a permit subjects the applicant to a civil penalty of not more than five hundred.	O CAY MONRY Tel. No. 626355-1618
dollars (\$500).:	- Name TA-19002T Elect
1, as owner of the property, or my emotoyees with wages as their sole compensation, will do the work and the structure is not intended or offered for sale (Sec. 7044, Business and Professions Code: The Contractors License Law does not apply	B Address 128, 702 WASh nastle Black
to an owner of property who builds or improves thereon, and who does such work himself or herself or through his or her own	E City Pasadens Tolino 126 - 798-1165
employees, provided that such improvements are not intended or offered for sale. If, however, the building or improvement is	3 State Ltc. / 96541 City Ltc. 305 2003-006
sold within one year of completion, the owner-builder will have the burden of proving that he or she did not build or improve for the purpose of sale.).	DESCRIPTION OF WORK
I. as owner of the property, an exclusively contracting with licensed contractors to construct the project	No. FEE FEE
(Sec. 7044, Business and Professions Code: The Contractor's License Law does not apply to an owner of property who builds or improves thereon, and who contracts for such projects with a contractor(s) licensed pursuant	FILING FEE 22 55
to the Contractors License Law).	Penw rezalicenszai sq. n. R-30.055
I, am exempt under Sec	Receptactes, Outlets, Switches First 20 @ 1.05 Additional @ .70
Dele Owner CAPTION OF THE WORKERS' COMPENSATION DECLARATION 1/21/09	Ught Fixtures, First 20 © 1.05 Additional © .70
DateOwner	Flosidential Applianops
WORKERS' COMPENSATION DECLARATION 1/21/01	Hanges, Cook Tops, Air-Cond., Garb, Disp,
I hereby affirm under penalty of perjury one of the following declarations:	Non-Residential Appliances 4,35 sq.
I, have and will maintain a certificate of consent to self-insure for workers' compensation, as provided for by Section 3700 of the Labor Code, for the performance of the work for which this permit is issued.	MotorsH.P.
I, have and will maintain workers' compensation insurance, as required by Section 3700 of the Labor Code, for the per-	GeneratorsX.W.
formance of the work for which this permit is issued. My workers' compensation insurance carrier and policy number are:	TransformersKVA
	Signs, Outline Lighting, Marquees 22.55 sa.
(This section need not be completed if the jearnit is for one hundred dollars [\$100] or less).  I certify that in the performance of the work for which this permit is issued, I shall not employ any person in any mapner so as to become subject to the workers' compensation provisions of Section 3700 of the Labor Code, I shall forthwith comply with	Signe-Additional Branch Circuits 4.35 ea.
those provisions.	Electrical Service Equipment Under 200 Amps 27.95 sq. 27.95
Date: 1/22 05 Applicant:	Service Equipment: Over 200 Amps
WARNING: FAILURE TO SECURE WORKERS' COMPENSATION COVERAGE IS UNLAWFUL, AND SHALL SUBJECT AN	AmpaVolts Over 200 A., See Schedule
. EMPLOYER TO CRIMINAL PENAL TIES AND CIVIL FINES UP TO ONE HUNDRED THOUSAND DOLLARS (\$100,000), IN ADDITION TO THE COST OF COMPENSATION, DAMAGES AS PROVIDED FOR IN SECTION 3700 OF THE LABOR	Temporary Service R.E.S. 22.55 Com or 39.20 ea. Up0erurgumd
CODE, INTEREST, AND ATTORNEY'S FEES. CONSTRUCTION LENDING AGENCY	Bugways Length 6.70 per 100 ft.
I herby affirm under penalty of perjury that there is a construction lending agency for the performance of the work for which this permit is issued (Sec. 3097, Civ. C).	Pvt. Swim, Pacies 45.35
Lender's Name Lender's Address	
	/ Miscellaneous SUB RANEL 13 17
I certify that I have read this application and state that the above information is correct. I agree to comply with all city and country ordinances and state laws relating to building construction, and hereby authorize representatives of this country to enter	
upon the above-mentioned properly for inspection purposes.	Other Fees - Waste Impact 10.00, Computer Cost Recovery 3.25, Microfilming 4.75 (oil 47 18 00
1/22/45	Compared Court (Courts) 6.23, Recomplining 4.18
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Jet Motors, Generators, Transle				
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Jet Motors, Generators, Transle				

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BUSINESS LICENSE
ONE TIME LICENSE
D QUARTERLY LICENSE
☐ YEARLY LICENSE
CUA DATE

nervey summ there penalty of perjuly that I am licensed under provisions of Chapter 9 (commencing with Section 7000) of	324 W. PALM	
DMslon 3 of the Business and Professions Code, and my license is in full force and effect.	USE OF STRUCTURE  RESIDENTIAL   COMMERCIAL   INDUSTRIAL	
Joense Class Date	the last second	
Contractor	DATE NO. 17, ZOO ELECTRIC PERM	IJТ
OWNER-BUILDER DECLARATION	TOTAL FEES \$ 74.62 DEPARTMENT OF COMMUN	
l hereby affirm under penalty of perjury that I am exempt from the Contractors License Lew for the following reason (Sec. 7031.5, Business and Protessions Code: Any city or countly which requires a permit to construct, efter, improve, demolish, or repair any structure, prior to ils issuazios, also requires the applicant for such permit to file a signed statement that he or she	Checked by R4 CITY OF MONROVIA	
is licensed pursuant to the provisions of the contractors License Law (Chapter 9 (commencing with Section 7000) of Division. In the Business and professions Code) or that he or sho is exempt therefrom and the basis for the alleged exemption. Any violation of Section 7031,5 by any applicant for a permit subjects the applicant to a civil penalty of not more than five hundred dollars (\$500).:	Address 374 W. PALM AVE	
1, as owner of the property, or by employees with wages as their sole compensation, will do the work and the structure is not intended or offered for sale (Sec. 7044, Business and Professions Code: The Contractors License Law does not apply to an owner of property who builds of improves thereon, and who does such work himself or herself or through his or her own	State In Court In Cour	
employees, provided that such improvements are not intended or offered for sale. If, however, the building or improvement is sold within one year of completion, the owner-builder will have the burden of proving that he or she did not build or improve for the purpose of sale.).	G State Lin City Lic  DESCRIPTION OF WORK	· ···
It is owner of the property, am exclusively contracting with licensed contractors to construct the project	No. ITEM	FEE
(Sec. 7044, Business and Professions Code: The Contractors License Law does not apply to an owner of property who builds or improves thereon, and who contracts for such projects with a contractor(s) licensed pursuant to the Contractors License Law.).	FILING FEE Fig. R-1 0.050 New Residentel 2 =q. 8, R-3 0.055	22 55_
I, am exempt under Sec B & P.C. for this reason:	G Receptactes, Outlets, Switches First 20 ♥ 1.05 Additional ♥ .70	6 30
Date 11/17/05 Owner Many are to Molemborn	96   Light Fintures   First 20 @ 1.05   Additional @ .70	9 45
WORKERS' COMPENSATION DECLARATION	Flannes, Cook Tops, Air-Cond., Garb, Disp. W/H 4.35 ca.	<u> 435</u>
hereby affirm under penalty of perfuty one of the following declarations:	Non-Residential Appliances 4.35 ca.	1
in have and will maintain a certificate of consent to self-inverted workers compensation, as provided for by Section 3700 of the Labor Code, for the performance of the work for which this permit is issued.	Motors H.P.	
I, have and will maintain workers' compensation insurance, as required by Section 3700 of the Labor Code, for the performance of the work for which this permit is issued. My workers' compensation insurance carrier and policy number are:	Generators K.W.	-
Carrier Policy Number		<u> </u>
(This section need not be completed if the permit is for one hundred dollars (\$100) or less).	Signs, Outline Ughling, Marquees 22.55 s.s. Signs-Additional Branch Circuits	
I certify that in the performance of the work for which this permit is issued, I shall not employ any person in any manner so as to become subject to the workers' compensation provisions of Section 3700 of the Labor Code, I shall forthwith comply with	or Sentralo Florines, etc.  Electrical Service Equipment Up To \$10 Amps	- -
those provisions.  Date: Applicant:	Service Equipment Over 200 A	-
WARNING: FAILURE TO SECURE WORKERS' COMPENSATION COVERAGE IS UNLAWFUL, AND SHALL SUBJECT AN EMPLOYER TO CRIMINAL PENALTIES AND CIVIL FINES UP TO ONE HUNDRED THOUSAND DOLLARS (\$190,000), IN	AmpsValla	_ _
ADDITION TO THE COST OF COMPENSATION, DAMAGES AS PROVIDED FOR IN SECTION 3700 OF THE LABOR CODE, INTEREST, AND ATTORNEY'S FEES,	Temporary Service R.E.S. 22.55 Com or 99.20 ea. Underground 9.20 ea.  Buswaya Length 6.70 per 100 ft.	
CONSTRUCTION LENDING AGENCY  I harby affirm under penalty of perjury that there is a construction lending agency for the performance of the work for which		-
trits permit is issued (Sec. 3097, Civ. C). Lender's Name	15.35	
certify that I have read this application and state that the according following the country with all city and coun-	/ Miscellaneous SUB PANEL IN GADAGE )	3 77
y ordinances and state laws relating to building construction, and hereby authorize representatives of this country to enter ipon the above-mentioned property for inspection purposes.	Other Fees - Waste Impact 10.00, Computer Cost Recovery 3.25, Microfilming 4.75 54.42	18 00
Margaret I I dembros/ 11/17/05	TOTAL FEE	U 67
Signature of Applicant or Agent Date	H	7 -7

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Electrical (Power Pole)		<del></del>	[	
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	<del></del>	<del></del>		EXP. DATE

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# I hereby affirm under penalty of perjury $3 \frac{1}{164}$ I am licensed under provisions of Chapter's (commencing with Section 7000) of Division 3 of the Business and Professions Code, and my license is in full force and effect. License No.

OWNER-BUILDER DECLARATION I hereby affirm under penalty of perjury that I am exempt from the Contractors License Law for the for wing reason (Sec. 7031.5, Susiness and Professions Code: Any city or county which requires a permit to construct, after, improve, demolish, or repair any structure, prior to its issuance, also requires the applicant for such permit to file a signed statement that he or she is licensed pursuant to the provisions of the contractors License Law [Chapter 9 [commencing with Section 7000] of Division 3 of the Business and professions Code) or that he or she is exempt therefrom and the basis for the alleged exemption. Any violation of Section 7031.5 by any applicant for a permit subjects the applicant to a civil penelty of not more than five hundred. dollags (\$500).;

LICENSED CONTRACTORS DECLARATION

I, as owner of the property, or my omployees with wages as their sole compensation, will do the work and the structure is not intended or offered for sale (Sec. 7)44. Business and Professions Code: The Contractors License La to an owner of property who builds or improves thereon, and who does such work himself or herself out it is employees, provided that such improvements are not intended or offered for sale. If, however, sold within one year of completion, the owner-builder will have the burden of proving that he dethe purpose of sale.).

☐ I, as owner of the property, an exclusively contracting with licensed contractors to construct the project (Sec. 7044, Business and Professions Code: The Contractors License Lew does not apply to an owner of prop

erty who builds or improves thereon, and who contracts for such projects with a contractor(s) licensed pursuant to the Contractors Elcense Law.). I, am exempt under Sec.

WORKERS' COMPENSATION DECLARATION

I hereby affirm under penalty of perjury one of the following declarations:

License Class

- 1, have and will maintain a certificate of consent to self-insure for workers compensation, as provided for by Section 3700 of the Labor Code, for the performance of the work for which this permit is issued.
- I, have and will maintain workers' compensation insurance, as required by Section 9700 of the Labor Code, for the performance of the work for which this permit is Issued. My workers' compensation insurance carrier and policy number are:

Policy Number\_ This section need not be completed if the permit is for one hundred dollars [\$100] or tess).

certify that in the performance of the work for which this permit is issued, I shall not employ any person in any manner so as a become subject to the workers' compensation provisions of Section 3700 of the Labor Code, I shall forthwith comply with hose provisions.

Date: Applicant:

NARNING: FAILURE TO SECURE WORKERS' COMPENSATION COVERAGE IS UNLAWFUL, AND SHALL SUBJECT AN EMPLOYER TO CRIMINAL PENALTIES AND CIVIL FINES UP TO ONE HUNDRED THOUSAND DOLLARS (\$100,000), IN ADDITION TO THE COST OF COMPENSATION, DAMAGES AS PROVIDED FOR IN SECTION 3700 OF THE LABOR CODE, INTEREST, AND ATTORNEY'S FEES.

CONSTRUCTION LENDING AGENCY

herby affirm under penalty of perfury that there is a construction lending agency for the performance of the work for which is permit is issued (Sec. 3097, Civ. C). ander's Name

arilly that I have read this application and state that the above information is correct. Lagree to comply with all city and councidinances and state laws relating to building construction, and hereby authorize representatives of this country to enter on the above-mentional property for inspection purposes.

Use of Property

lecupancy

FROM 220 CITY OF MONROVIA DEPARTMENT OF COMMUNITY DEVELOPMENT 415 S. IVY AVE.

MONROVIA, CA. 91016 BLD: 2005-4006

108 324 W.	PALM AVE.
APIN Pole Page	Parcel
(lagal description may be all	ached separately if macassampl
Use of Structure	APPLICATION FOR
Single Family Duples []	BUILDING PERMIT
Unit Api 🔲 Sign 🔲	BUILDING & PLANNING
Commercial 🚺 Indust. 🔲	DIVISIONS
Other	CITY OF MONROVIA
NewAddin	Aller Demo
	UP RIJLO CONCRITE
	+ ROUGH DRAIN
	KOPE
Address 374 W. P	<del></del>
Ó City	Tel. No.
	OUSEYLOVEVER / OWNER
Nome MASTUL H Address ZA 961 FLOW City CNV. CTV.	
CINCIN CRY CAL	Yel. No.
State Lic.	City tic
+ 1 Nome	
Address	for-3/14/a
E City	
State Certifical See M	e before
WORK making	
WORK WALK	
Height Trule	> \Sq. F1.
And the state of t	21/1 PH.4
Size of Lat	Bldgs. n Lot

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SNS.	Zone
Ó	Special Permits or Conditions
_	Zoning Approval Attack Date 17/15/04
_	

PER P.C. GONDITIONS STENCTURE MOVED PROM 228 Lynnoch. INSPECTION RECORD

APPROVALS	DATE	INSPT	ADDIONAL		<del></del>
			APPROVALS	DAT	INSP'TE
STRUCTURAL:			MECHANICAL:	7	_
Forms & Foundation	11	10	Heating Rough	<del>]                                     </del>	
Reinforcing Steel	0.4		Final	172/26	CH.
Chimney Foundation			A/C-Fan Rough	+ $+$	_
Chimney Reinfording			Final	+-+	
Roof Sheathing Nailing			Exhaust Fan	╌┼╌╌┤	
Masonry Steel			Compressor	+	
LIR 410 810	i		Boiler		
Final Lift & Grout	' 1		SWIMMING POOL:	<del>-  </del>	
Shear Panel Nall/Howre	<del>, ,</del>	<del>-</del> -		4/	<u>-</u>
raming 17	Copy	EN	Setbacks	<b>┼-</b>	
Insulation *	exiging.	<u> </u>	Overhead Wires	+	
loterior Lath/Drywall (//3	13	εN	Sewer Loc./P-Trep Meln Drain	+	
Extenor Lathing	<del>W.2.</del>	<u>= (                                   </u>		┨——	
ELECTRICAL:	-+		Pool Piping	-	
			Reinforcing	1 1	
Power Pole Groundwork			Bonding	$\Box$	
			Underground Conduit		
Conduit . /	<del>-/</del>	287	Pool Equip, Location		
Fixtures/Rough	1963-1	<i>90</i>	Pool Heater Rough		
Service		٠	Final		
Signs			Health Dept-non-SFR		
			Pool Fences & Gates		
PLUMBING:			Backwash		
Groundwork	1		Pool Cover (Heated)	<del>                                     </del>	
Fixtures/Rough 7/20/	19-1	7)2	Final Pool Electri	<del></del>	
Final + 7			Final Pool Plumbing	<del></del>	
Gas Groundwork			Finel Health-non-SFR	<del>                                     </del>	
Gas Test & Rough			Final Pool Approval		
Gas Final		Į.	MISCELLANEOUS:	-+	
Sewer Cesspool C			Demofillon	┝┈┼╸	<del>-</del>
Sewer Cap			Re-Roof	-	<del></del> -1
Water Heater Vents			Signs	<u>-</u> -	
Nater Heater Final	$\neg \vdash$		Fences		
			Accessibility Comp		∦
		<del>-  </del>		<b></b> -∤-	
FINAL			FINAL	<del>-  -</del>	

CONSTRUCTION SUBJECT TO FIELD INSPECTION

LICENSES CONTRACTORS DECLARATION  I, hereby, affirm under penalty of perjury that I am licensed under provisions of Chapter 9 (commencing with Section 7000) of Division 3 of the Business and Professions Code, and my license is in full force and effect.  License Class  License No.  Date  Contractor  OWNER-BUILDER DECLARATION  I, hereby affirm under penalty of perjury that I am exempt from the Contractors License Law for the following reason(Section 7031.5, Business and Prospective Code: Arity city or county which requires a permit to construct, after, improve, demoish, or repair any structure, prior to its issuance, also requires the applicant for such permit to file a signed statement (trait he or she licensed pursuant to the provisions of the contractors License Law (chapter 9 [commencing with Section 7000] or Division 3 of the Business and Professions Code) or that he or she is exempt there from and the basis for the alleged exemption. Any violation of Section 7031.5 by any applicant for a permit subjects the applicant to a civil penalty of not more than five hundred dollars (\$500):  II, as owner of the property, or my employees with wages as their sole compensation, will do the work and the structure is not intended or offered for sale (Section 7034, Business and Professions Code: The Contractors License Law does no apply to an owner of property who builds or improvements are not intended or offered for through his or her own employees, provided that such improvements are not intended or offered for sale. If, however, the building of improvement is sold within one year of completion, the owner-builder will have the burden of proving that he or she and or build or improve for the purpose of sale).	Name NAGGRET NOLLENKOP  Address 324 WEST PALM AVE  City MONROURA Tel No. (62%) 358-1  Name OWNER BUR  Address City State Lic. City Lic	E 618
Business and Professions Code: The Contractors License Law does not apply to an owner of the Contractors License Law does not apply to an owner of the Contractors business and Professions Code: The Contractors License Law does not apply to an owner of the property who builds o improves thereon, and who contracts for such projects with a contractor(s) licensed pursuant to the Contractors License	TEN.	FEE
1 aw):		<u> </u>
□ B & P.C. for this reason:		28 DD
	FI:3 0.080	
Date: 2/15/08 Owner Dangaret Indian Road WORKERS COMPENSATION DECLARATION	G Receptacles, Outlets, Switches First 20 @ 1 25 Additional @ 1.25	11 25
I hereby affirm under penalty of perjusy one of the following declarations:	Light Fixtures First 20 @ 1,25	-
L'Il have and will maintain a certificate of consent to self-insure for workers compensation, as provided for by Section 3700 (	Additional @ 1.25	8 75
the Labor Code, for the performance of the work for which this permit is issued.	Residential Appliances	7 35
☐ I have and will maintain workers compendation insurance, as required by Section 3700 of the Labor Code, for the performance of the work for which this permit is issued. My workers compensation insurance carrier and policy number are	L L Spanner Cask Tage Air Conditioner Garbane Disposal	,,,,
Carrier:Policy Number	Motors H.P.	
the second second second second second second bundled dollars (\$100 or less).   Certify that in the performance	Generators K.W.	
(This section need not be completed in the period of the work for which this permit is issued, I shall not employ any person in any manner so as to become subject to the workers compensation provisions of Section 3780 of the Labor Code, I shall forthwith comply with those provisions.	Transformers KVA Signs, Outline Lighting, Marquees 25.00 ea.	
	Signs, Odiline Lighting, Managhees Signs-Additiona, Branch Circults 8.00 ea.	
Dato: 2/15/08 Applicant. Mangaret & Molenbook	Or Separate Flashors, etc.	
WARNING: FAILURE TO SECURE WORKERS COMPENSATION COVERAGE IS UNLAWFUL, AND SHALL SUBJECT	Electrical Service Equipment up to 200 Amps 35.00 ea.	
AN ENDLOYED TO ABININAL BENALTIES AND CIVIL FINES UP IT UNE HUNDRED TOUGAND DISCUSIVE	Service Equipment over 200 A Amps	
AN EMPLOYER TO CHIEF COST OF COMPENSATION, DAMAGES AS PROVIDED FOR IN SECTION 3700 OF THE LABOR CODE, INTEREST, AND ATTORNEYS FEES.	Temporary Service R.E.S. 37.00 Com or Underground 40,00 ea.	
CONSTRUCTION LENDING AGENCY	Busways Length 13.09	<u></u>
I hereby affirm under penalty of perfury that there is a construction lending agency for the performance of the work for whit	h Pvt. Swirming Pools 50.00	65 35
this permit is issued (Sec. 3097, CivC).	Other Fees - Waste Impact 1300	27 00
(entire) shall be application and state the above information is correct. I soree to comply with all city and cour	ty Computer Cost Recovery \$5.00, Microfilming \$9.00	
ordinances and state laws relating to building construction, and hereby authorize representatives or this country to enter up-	TOTAL FEE	8235
the above-mentioned property for inspection purposes.		1 1
	_	
Signature of Applicant or Agent ( ) angust & N learning Date 2/15/08	<u> </u>	<u> </u>
Approvals		

1 :

		Date	Inspector	
Electrical (Power Pole)	<u> </u>	<del></del>	<del></del>	
(Grd. Wk)	C ·			
(Conduit)				<del>.</del>
(Rough)	٥	· .		
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(Service)	С	<del></del> '	Mark .	
(Signs)			eng de la la la la la la la la la la la la la	
(Other)	Q			
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REMARKS:		<del>oen</del>		
	EXPI			
	7/21/	109		
Motor Service Ordered:				
List Motors, Generators,	Transformers:			•
	<del></del> -			
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BUS!NESS LICENSE				
☐ ONE TIME µC	ENSE .	□ Y£AR	RLY LICENSÉ	
CI OHARTERIVI	LICENSE	EXP.	DATE	

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LICENSES CONTRACTORS DECL hereby, affirm under penalty of perjury that I am licensed under provision f Division 3 of the Business and Professions Code, and my ficense is in ful locase Class	na of Chapter 9 (commencing with Section 7000) Il force and effect	JOB ADI.		West Pala USE OF STRU ENTIAL LICOMMER		TRIA	
OWNER-BUILDER DECLARA hereby affirm under penalty of partury that I am exempt from the Control 31.5, Business and Prospective Code: Any city or county which require repair any structure, prior to its issuance, also requires the applicant for he is licensed pursuant to the provisions of the contractors License Law division 3 of the Business and Professions Code) of that he or she is a xemption. Any violation of Section 7031.5 by any applicant for a permit s in five hundred doilars (\$500):  II, as owner of the property, or my employees with wages as their sole	actors License Law for the following reason(Sec. is a permit to construct, after, improve, demolish, such permit to file a signed statement that he or v (Chapter 9 [commencing with Section 7000] of exempt there from and the basis for the alleged ubjects the applicant to a civil penalty of not more compensation, will do the work and the structure.	PERMI TOTAL Checke	FEES \$ 630 odd by 974	Departm D APPI	<b>~</b> `		g
into Intended or offered for sale (Sec. 7044, Business and Professions poly to an owner of properly who builds or improves thereon, and who do en lown employees, provided that such improvements are not intended inprovement is sold within one year of completion. But owner-builder with unit or improve for the purpose of sale).	5 Code. The Contractors License Law does not bes such work himself or herself or through his or, or offered for sale. If, however, the building or have the Surder of proving that he or she did not	Contractor		City Lic.			<u>-</u> ,
II, as owner of the property, am exclusively contracting with licensed usiness and Professions Code: The Contractors License Law does n approves thereon, and who contracts for such projects with a contractor and	contractors to construct the project (Sec. 704, ot apply to an awar of property who be seen (s) licensed pursuant to Ihercontractors.	D <sub>No.</sub>		DESCRIPTION OF WO	)RK		 PEE
If am exempt under Sec	1/2 09		Sink Snower Utina. Disposa	Wash Trey	Auto.Washer Floor Drain	28	00
It have and will maintain a certificate of consent to self insure for workers he Labor Code, for the performance of the work for which this permit is issuable and will maintain workers compensation insurance, as required by	ued. / Section 3700 of the Labor Code, for the		Distribute or Vent Repa		9.00 ea	i	!
errormance of the work for which this permit is issued. My workers compo- tarrier: Po Fhis section need not be completed if the permit is for one hundred dotters. The work for which this permit is issued. I shall not express any necessor of	ensation insurance carrier and policy number are:    [cy Number		Private Sewage Space	*	75.00 ea 45.00 ea 25.00 ea		: 
return 2012/08 Applicant: Dangeret S. Warning: FAILURE TO SECURE WORKERS COMPENSATION COVE	Il forthwith comply with those provisions.		Rainwater System – to Water Piping System Water Fronter and or Ve Gas Piping System Ou	ent	12,80 ea 0,00 ea 15,00 ea		
PENDER TO CRIMINAL PENALTIES AND CIVIL FINES UP TO O 15100,000) IN ADDITION TO THE COST OF COMPENSATION, DAMAGE HE LABOR CODE, INTEREST, AND ATTORNEYS FEES.  CONSTRUCTION LENDING AC	NE HUNDRED THOUSAND DOLLARS ES AS PROVIDED FOR IN SECTION 3700 OF SENCY		Lawir Sprinkler System Vacuum Breakers or Br Swimming Pods	Cver 5  20k Flow Devices 1-6  Over	2,00 en 20,00 es 15,00 <b>co</b> r.5 4,00 es	8	00
hereby affirm under penalty of perjury that there is a construction anding us permit is issued (Sec. 3097, CivC).	agency for the performance of the work for which	l	Spas	Priva Publ Priva	lie 96.00		

3/12/08 Date

Public

36 00 27 00

6300

TOTAL FILE

Miscellaneous
Other Face - Waste Impact 1222 15.60
Computer Cost Recovery 5.00 Microtiming 9.09

certify that I have read this application and state the above information is correct. I agree to comply with all city and county refinances and state laws relating to building construction, and increase authorize representatives of this county to enter upon a above-mantioned property for inspection purposes.

Margaret & Marenkon

		Date	Inspector
Plumbing (Grd. Wk.)			
Rough)		03/14/08	2hm
Finish)		·	
Gas (Grd. Wk.)			
Rough)			
Finish)		- April 1997	<u> </u>
Sewer	_ 🗆		
Vater Heater (Vents)		Topics of the second se	<u></u> :
Finish)		· · · · · · · · · · · · · · · · · · ·	2 to 1 to 2 to 1 to 2 to 2 to 2 to 2 to
REMARKS:			<del></del> .
<del></del> <u></u> -	FXPI	KEU	

Meter Service Ordered:

Approvais

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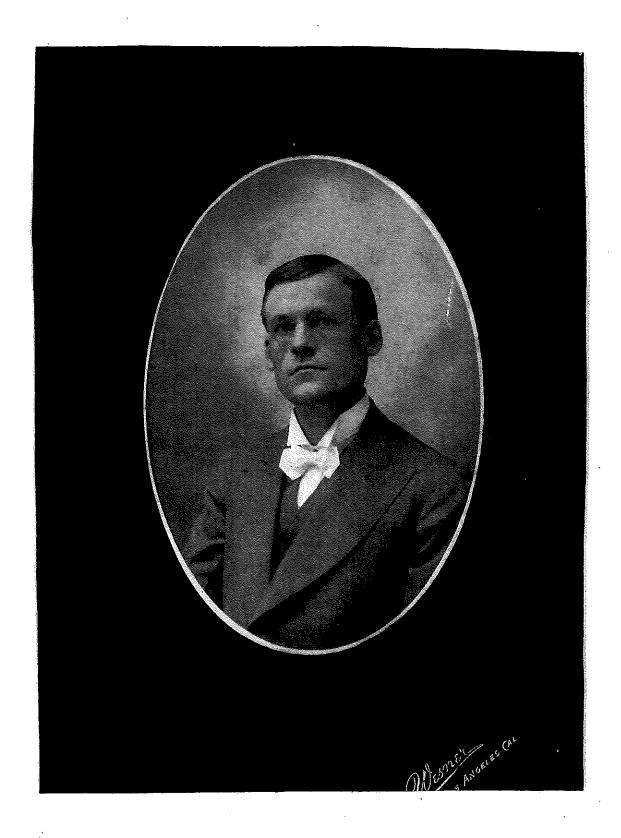
LIGHTOLD COLLEGE TOOD OF	JOB ADDRESS 3/4 U. ITUM /4-U/5
Thereby affirm under penalty of parjury that it am licensed under provisions of Chapter 9 (commencing with Section 7000) of Division 3 of the Business and Professions Code, and my license is in full force and effect.	☐ RESIDENTIAL ☐ COMMERCIAL ☐ INDUSTRIAE
Division 3 of the Business and Professions Code, and my license No	DATE NOV. 14, 7005 PLUMBING PERMIT
Contractor	
	TOTAL FEES \$    DEVELOPMENT (金属 ) TOTAL FEES \$
OWNER-BUILDER DECLARATION  I hereby affirm under penalty of perjury that I am exempt from the Contractors License Law for the following reason (Sec. 17031.5, Business and Professions Code: Any city or county which requires a permit to construct, efter, improve, demolish, or 7031.5, Business and Professions Code: Any city or county which requires a permit to file a signed statement that he or she is licensed pursuant to the provisions of the contractors License Law (Chapter 9 [commencing with Section 7000] of Division is licensed pursuant to the provisions of the contractors License Law (Chapter 9 [commencing with Section 7000] of Division 3 of the Business and professions Code) or that he or she is exempt therefrom and the basis for the alleged exemption. Any 3 of the Business and professions Code: The contractors Ucense Law does not exply soft intended or offered for sale [Sec. 7044, Business and Professions Code: The Contractors Ucense Law does not exply sold within one year of completion, the owner-builder will have the burden of proving that he or she did not build or improvement is employees, provided that such improvements are not inlended or offered for sale. If, however, the building or improvement is sold within one year of completion, the owner-builder will have the burden of proving that he or she did not build or improve for the purpose of sale.).	Checked by  Name  Address  City  Name  OWNET2  City  No.  City  No.  City  Cit
I I, am exempt under Sec.	Urnal Wash Tray Floor Drain  Cispo sa Dishwasher 9,00 ea.
Date 11/14/05 Owner Manageret 8. Md entropy WORKERS' COMPENSATION DECLARATION	Drainage or Vent Repair/Alter 4.50 ea.
WORKERS' COMPENSATION DECLARATION	Sewer Cap 22:55 ea.
I hereby affirm under penalty of perjuty one of the following declarations:  I have and will maintain a certificate of consent to self-insure for workers' compensation, as unprised the performance of the work for which this permit is issued.  I have and will maintain workers' compensation insurance, as required by Section 3700 of the Babor Code, for the performance of the work for which this permit is issued. My workers' compensation insurance carrier and policy number are:	Private Scwage System: 58.20 ea.
of the Labor Code, for the performance of the work to which the section 3700 quarter and policy for the per-	Caspoul or Dyvat 34:10 a
I, have and will maintain workers' compensation insurance, as required by Section 3 to the work for which this permit is issued. My workers' compensation insurance carrier and policy with are:    Carrier Policy Number _ 1 2	Inlanceptor 18.20 ea. 10 a 20 a 20 a 20 a 20 a 20 a 20 a 20 a
	Rainwaler System Inside Bldg. per drain 9,00 éa
This section need not be completed if the permit is for one hundred dollars [\$100] or less).  I certify that in the performance of the work for which this permit is issued, I shall not employ any person in any manner so as I certify that in the performance of the work for which this permit is issued, I shall not employ a person in any manner so as I certify that in the performance of the workers' compensation previsions of Section 3700 of the Labor Code, I shall forthwith comply with the become subject to the workers' compensation previsions of Section 3700 of the Labor Code, I shall forthwith comply with	/ Water Fipling System 4 35 ea 4 4 5
to become subject to the workers companied with the become subject.  Those provisions.	Water Heafer and or Vent 11:30 aa.
Date: Applicant: Applicant: WARNING: FAILURE TO SECURE WORKERS' COMPENSATION COVERAGE IS UNLAWFUL, AND SHALL SUBJECT AN WARNING: FAILURE TO SECURE WORKERS' COMPENSATION COVERAGE IS UNLAWFUL, AND SHALL SUBJECT AND CIVIL FINES UP TO ONE HUNDRED THOUSAND DOLLARS (\$150,000), IN	Gas Piping System Outlets 1-5 5.83 1.55 ea. 1.55 ea.
WARNING: FAILURE TO SECURE WORKERS' COMPENSATION COVERAGE IS UNLAWFUL AND SHALL STORE (\$100,000), IN EMPLOYER TO CRIMINAL PENAL TIES AND CIVIL FINES UP TO ONE HUNDRED THOUSAND DOLLARS (\$100,000), IN ADDITION TO THE COST OF COMPENSATION, DAMAGES AS PROVIDED FOR IN SECTION 3700 OF THE LABOR ADDITION TO THE COST OF COMPENSATION, DAMAGES AS PROVIDED FOR IN SECTION 3700 OF THE LABOR ADDITION TO THE COST OF COMPENSATION.	Lawn Sprinkler System 9.75 a.s.
ADDITION TO THE COST OF CONFESSION OF THE COST OF THE	Vacuum Breakers or Back Flow Devices over 5 2,05 ear
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this permit is issued (Sec. 3097, Civ. C). Lender's Address	Private 27.70
I certify that I have read this application and state that the above information is correct. Lagree to comply with all city and countries that I have read this application and state that the above information is correct.	Miscellaneous
by ordinances and state laws training to bright murning to	Other Fees - Waste Impact 10.00, Computer Cost Recovery 3.25, Microfilming 4.75
Manager & Molenkoop 11/14/05	TOTAL FEE
Signature of Applicant or Agent	CHAPIEMENTAL PROMIT

SUPPLEMENTAL PERMIT

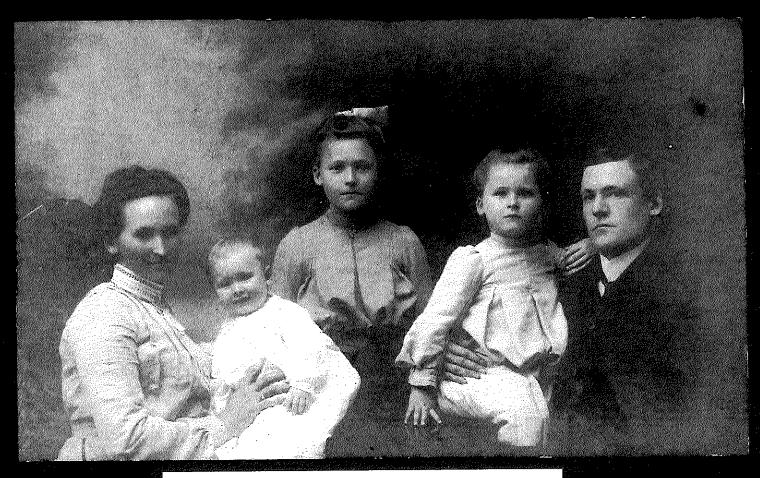
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Division 3 of the Business and Professions Code, and my license is in tull force and effect.  License Class	DATE NOV. 17,05 APPLICATION FOR MILE
Contractor	PERMIT NO PLUMBING REHIMING
PUBLISHED FOR DECLARATION	TOTAL FEES \$ 10/.20 DEPARTMENT OF COMMUNITY
	Checked by CITY OF MONROVIA
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Incensed pursuant to the provisions of the contractors Licensed Law (chapter a local man and the basis for the alleged exemption, any of the Business and professions Code) or that he or she is exempt therefore and the basis for the alleged exemption. Any	City MONTONIA Tel. No.
iolation of Section 7031.5 by any applicant for a permit subjects file applicant to a civil persua.	S Name OWNER / SEDICE SERVICE
ollars (\$500).:	Name Patrick Victor
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hereby affirm under penalty of partury one of the following treatment of workers' compensation, as provided for by Section 3700  If have and will maintain a certificate of consent to self-insure for workers' compensation, as provided for by Section 3700	68,20 ee.
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on the above-mentioned property for inspection purposes.	Other Fees - Waste Impact 10.00, Computer Cost Recovery 3.25, Microfilming 4.75 83.70 18.00
Margaret & Molankapy Date	TOTAL FEE TOTAL 7.0
ignature of Appletant or Agent Date	CONTRACTOR OF THE CONTRACTOR O

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Louis Umbach



The Umbach Family, March 1904

Louise (mother)
Mildred (8 months)
Della (10 years 8 months)
Fern (3 years, 9 months)
Louis (father)





#### Louis Umbach

Louis Umbach was born on December 18, 1867 in Evansville, Indiana. At age 20, he went into the tailoring business with his half-brother, William Diederich. Two years later, Louis married Louisa Griese. For twenty-four years he pursued the tailoring business, working for tailors in Evansville, St. Louis, Kansas City, Memphis, St. Joseph, and Paducah.1

In 1903, Louis moved his wife and three daughters to Monrovia, California. His daughters were Della (age 10), Fern (age 3), and Mildred (under 1 year of age). In the Spring of 1904, Louis purchased their newly built home at 324 West Palm Ave. for \$300 dollars. The house consisted of three rooms with a front porch.

According to Louisa's obituary in 1965, Louis was the first tailor in Monrovia. New to the community, "he began in a small way having a table in a millinery establishment with all the stock he possessed in a show window." The name or location of the millinery shop is unknown. As his reputation and success grew, in 1908 he and Louisa took out a \$500 mortgage on their house, and with the money purchased equipment and inventory to open his own tailor shop at 624 South Myrtle Ave. The shop was 25'x60' and he kept a "well selected stock of all kinds of cloth." Louis employed two assistants.

In 1911, at age 44, Louis Umbach was battling a serious illness, possibly pleurisy, that was going to take his life. On July 12, 1911, Louis

1 A document published around 1908 highlighting people and businesses who were contributing to Monrovia's progress. The publication is unknown. A copy of the page describing Louis Umbach is included herein.

- 2 Daily News Post, Monrovia, April 26, 1965, page 3.
- 3 Document published around 1908.
- 4 Document published around 1908.

sold his tailoring business for \$500 to L. G. Wick, and the payment was to be made in full by Aug. 1, 1911. With the money, Louis began to put into motion a plan to make the house at 324 West Palm Ave. more comfortable for his wife and daughters. In August 1911, Louis took out a building permit to add a sleeping porch addition to the front northwest corner of the house. This is all that Louis could accomplish because on December 27, 1911, Louis died at home, nine days after his  $45^{th}$  birthday.1

In February 1912, Louise (she changed the "a" to an "e") took out a building permit to add a second sleeping porch, kitchen, pantry, bathroom, and utility porch across the back of the house. In March, she made the final payment on the 1908 mortgage.

As for their daughters, Della was married in June 1912 to Earl Mollenkopf 2, son of Worth Mollenkopf, a city councilman and mayor of Monrovia from 1914-1916.3 She and Earl were married in the front parlor of her parent's home and resided as a married couple in Sierra Madre. Earl was an electrician and put the first electric lights in the Umbach house. They had five children. Worth Mollenkopf and his family lived on the same block on the southeast corner of West Palm Ave. and Alta Vista Ave. The house no longer exists.

Fern would one day board a train at the Monrovia train station, waving goodbye to her girlfriends, and travel across country to marry a soldier. She had one son. Mildred never married, although she had an opportunity to, but she felt an obligation to care for her mother. Louise Umbach died on April 24, 1965 at age 92.

<sup>1</sup> Monrovia News, Dec. 30, 1911, page 6.

<sup>2</sup> Monrovia Daily News, June 21, 1912, page 1.

<sup>3</sup> Los Angeles County, Historical Volume and Reference Works, volume III, (Historical Publishers, Arlington, Calif., 1964), page 284.

- 3 Monrovia Centennial Committee, Monrovia Centennial Review, (Monrovia, Calif., 1985), pages 115, 118.
- 3 John L. Wiley. *History of Monrovia*, (Press of Pasadena Star-News, Pasadena, Calif., 1927), pages 126, 134-135, 191.

the Heeks Baking Company of Los Angeles, granted him the exclusive right to make, sell, deliver the celebrated Butternut Bread. The Health Bread is another popular product that has a large sale among Mr. Fork's numerous customers.

Besides his famous breads, cakes and pies, Mr. Fork keeps a large and complete stock of all kinds of fresh candies; is a dispenser of soda water and has a splendid stock of delicious jellies on his shelves. He has been a resident of Monrovia for 18 years and before embarking in the bakery business, conducted a dairy for over seven years.

#### L. UMBACH

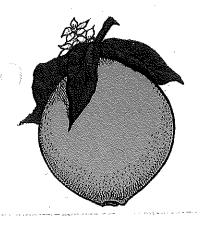
One cannot help but admire pluck, energy and perseverance in the characteristics of a man. Here is Mr. Umbach, the Tailor, for instance, who for twenty-four years has given his time and study to the business, until today he is admitted a leader in his profession. In Evansville, Ind., St.Louis, Kansas City, Memphis, St. Joseph and Paducah, he has industriously followed his avocation with the leading tailors of the above named cities, and recognizing the future growth and prosperity of Monrovia, decided to make this his home, coming here four years ago. He began in a small way, having a table in a millinery establishment with all the stock he possessed in a show window. Gradually, by giving entire satisfaction to his customers, his business as well as his reputation increased to such an extent that he was compelled to occupy larger quarters, and today finds him in his present large 25x60 store-room, where he keeps constantly on hand a well selected stock of all kinds of cloths. Mr. Umbach quarantees perfect satisfaction on all his work. He employs two skilled and experienced workmen.

#### CAPT. A.H. JUHNSUN

Of the many men who have contributed to Monrovia's progress, none is more worthy of mention than Capt. A.H.Johnson. There are few of the residents of Monrovia today whose identification with its interests and upbuilding antedates the arrival of Capt. Johnson, which was in January, 1887, less than a year after its foundation. He was born on a farm near Meathersfield, Wyoming County, New York, April 23,1836. When he was twelve years of age his fater took the family to Wisconsin. As a boy he worked on the railroad, first in Illinois and later on the U.P. and N.P. railroads.

Written about 1908 Source unknown





## L. UMBACH MERCHANT TAILOR

624 SOUTH MYRTLE AVENUE

Monrovia, Cal.,\_\_\_\_

190





AGREEMENT....

THIS AGREEMENT, Made this twelfth day of July, A. D.

1911, by and between LOUIS UMBACH, of Monrovia, Los Angeles

County, State of California, party of the first part, and L. G

WICK, of the City and County of Los Angeles, State of California

party of the second part,

WITNESSETH: That the said party of the first part, for and in consideration of the agreements and covenants on the part of the said party of the second part hereinafter contained, agrees to sell and convey unto the said party of the second part, and the said party of the second part ga agrees to buy the tailoring business of the party of the first part, conducted at No. 622 South Mystha avenue, consisting of his "good will" and the following articles:

```
7 Tables;
2 Masels;
5 Display Rods:
15 feet of brass railing;
7 Complete plates;
19 Cuts of Cloth;
l Mirror;
1 Fire Proof Safe;
1 Small Dook;
3 Clothes Racks;
1 Roll of Paper;
6 Chairs;
1 Rocker:
1 Stool;
  Miscellaneous Suit Boxes;
3 Doz of Stock Boards;
2 Wooden Signs;
1 Glass Sinn:
2 Press Stends;
1 Pair Orienttal Curtains;
1 Gas Iron and Hose-Metal;
2 Pressing Blocks-Cheese;
1 Edge Block;
3 Solid Pressing Irons:
1 ling;
1 Singer Sewing Machine;
1 Button Machine:
1 Water Jar;
4 Vases;
1 Skirt Chart;
```

Stock of Buttons

2 Gasoline Presser Lamps; All Trimmings in the house;

1 Stove and Stove pipes;

l Clock;

1 Button Hole Cutter;

1 American Centlemen Cutting System;

1 Division Square;

1 Yard Stick;

1 Curb Stick;

1 Order Book;

2 Awings in Back;

6 Tungaten Burners with Globe;

1 Rubber Hose;

1 Water Motor;

3 pairs of Shears,

For the sum of Five Hundred Dollars (\$500.00), and the said party of the second part in consideration of the premises, agrees to pay to the said party of the first part the said sum of Five Hundred Dollars (\$500.00), as follows, to-wit:

Twenty-five Dollars (\$25.00) cash upon the delivery of this agreement, the receipt of which is hereby acknowledged; Seventy-five Dollars (\$75.00) on the seventmenth day of July, or before 1911; and the balance of Four Hundred Dollars on the first day August, 1911.

Time is the essence of this agreement, and in the event of a failure to comply with any of the terms and conditions hereof by the party of the second part, all moneys paid hereunder shall be applied in full as rent of said premises, and said party of the first part shall be released from all obligations, in law or equity, to convey said p-roperty, and shall be entitled to the immediate possession thereof.

IT IS FURTHER ACREED AND UNDERSTOOD, that the party of the first part hereby agrees not to start in the tailoring business in the City of Monrovia within one year from the date of this agreement. And it is further agreed that all orders on books at time of final payment to belong to the said party of the second part. Possession is to be given when final payment is made. IN WITNESS WHEREOF, The parties hereto have hereunto

## Death of Louis Umbach.

Form Thursday's Dally.

Louis Umbach, who has been critically ill for some time, died at his late residence on West Palm last night.

He was born in Evansville, Ind., December 18, 1868, and went into business with his half-brother, William Diederich, at the age of 20. Two years later he married. In September, 1903, he came with his family to Southern California and in the February following engaged in business in this city. He leaves a widow and three children, Della, Fern and Mildred, two brothers in Evansville, Ind., Harry Umbach and Ben Diederich, and one brother William Diederich, in Los Angeles.

Funeral services, conducted by Rev Clark Marsh, will be held Sunday afternoon at the Reynolds funeral parlors. Interment will be made in Inglewood cemetery Monday morning.

Mr. Umbach had many friends and business associates in Monrovia who sincerely mourn his loss.

## Louise Umbach's release from 1908 mortgage.

1850		
**Release	Whe	Order No
INDIVIDUAL	1. 1. 1. 1. 1. 1. 1. 1. 1. 1. 1. 1. 1. 1	instrument to
Harvey W.Williams.		Monrovia Cal
	1 1	PARRIES H Waster
Louise A. Umbach.		MOOR
Dated March 1st 1912		op at grows of
Title Abstract and Trust Co. 1899	n 1004	eles Country Tracopy
N. W. CORNER FIRST AND BROADWAY	19 A	11 Lagrado 14 C
LOS ANGELES, CAL.		
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In Consideration of the p	ayment of the debt secured by the mortgage
•	Louise A. Umbach, husband & wife.
of Mortgages, in the office of the Reco	1998, in Book 1849, Page 166 order of Los Angeles County, California, the described in said mortgage from the lien thereof.
Dated March 1st 1912.	Harry Williams
State of California and County of Los Angeles,	
On this First	day of March 19 12
before me, K.F.Rives,	
a Notary Public in and for said County  Harvey W.Willi	ams.
known to me to be the personwhose nan	ne 18 subscribed to the within instrument,
and acknowledged that he	_executed the same.
Witness my hand o	and official seal.  Notary Public Los Angeles County, Galifornia

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amlet DEDIED WAS Clubbles ed that he is a rea and a builder. When or defoudant whethal uplaton in remail neawer being "au." resecution objected

on Page 1.)

The chahows added to though we

affords convincing proof of the growth supplies and employing me: of the bank, as it shows the steady in dighting forest fires. licrease of deposits. It will be membared that the demands upon the Institution made necessary the crease of the capital stock from Fig. 000 to \$50,000 and the oblargoment of the directorate to nine members.

Marriage at Umbach Hema

Miss Della Umbach and Back Modlenkopf were married restorday evenlog at 7 o'clock at the home of the bride's mother, Rev. C. H. Marsh of In addition to the members Deallog. of the immediate families of the contracting parties there were present Mr. and Mrs. William Diederich and Anxeles: Miss Luke Juurden, Evanaville, Ind. The reams rooms were decorated in white and vink. Shasta dalstes, carred form and nink hydraneosa boing the howers After a wedding supper the uard. rounk people left for Sierra Madre. Mollenkant is in the electrical business there and it will be their futura homa.

Imperial Valley Squatters

Through a misunderstanding of the law a large number of people large settied on land made arallable by the recent granoration of the Salton Hee.

In a favorite with the box of Monrovia, who will rebis specialment.

Weltome Birthday ( R. L. Casner of 216 West hue, who is a prosperous p ness man of Ninth and Bros Abselva, ban junt porchased baker touring car and prope Ble bue for a birthday gitt. nor says "It pays to pay casaved a large amount by Hape they will enjoy it and likin a prosperous yenr, san, "Hab," gà ta lt.

Progress on State High Advisia (egg) led by three the members of the unio commission are making an i of the Telon and Tehachaph determine which of them will the best route for the main of The survey of the st. war between Fresna and R mother landary of the g slau, will be completed about dle of next week, according t Rodlerdent made by the div Blucce. Two cranin are boy

Monrovia Daily News Friday, June 21, 1912 page 1



LOYALTY DAY—Monroyia Mayor Roy Kropke signs proclamation designating Saturday as Loyalty Day. VFW Commander John T. Kennedy and Past Commander George Klein will conduct special program.

## FOR MONROVIA

# Mayor Proclaims Loyalty Day May

Mayor Roy Kropke today pro-doms and national unity." claimed Saturday as Loyalty The public programs begui

Day in Monrovia.

School auditorium.

first day in the month of May highly commendable, the proceach year has been designated lamation states.

by the Veterans of Foreign Ward The special program celebrating the day, however, will be held Friday night in the Clifton School auditorium. The proclamation states the intent of Loyalty Day and are

"Every man, woman and throughout the nationwide.

It is a day all citizens can defirm their loyalty to the loyalty to the loyalty to the loyalty to the loyalty to the loyalty to the loyalty to the loyalty and restricted in the loyalty to the loyalty and restricted in the loyalty to the loyalty and restricted in the loyalty ana

# Kindergarten Enroll\_ For Children Over

office of the elementary school ligious belief.

Any child born on or before Dec. 2, 1960, is eligible for kindergarten beginning in Septem-

State law requires that at registration parents present documentary evidence of birth in the form of a certificate of birth, a duly attested baptism certificate, a passport, or an affidavit of the parent, guardian, or custodian of the minor. All pupils who enroll must

## Mrs. Umback Of Monrovia Dies at 92

Louise A. Umbach, 92, of 324 day at her home.

Mr. and Mrs. Umbach built that time. The late Mr. Umbach was the first tailor in Monrovia. The easel."

loodmen of the World.

She is survived by three daughters, Mildred Umbach of Monrovia, Della Umbach Mel-lenkopf of Hermosa Beach and Fern Umbach Brown of Denzer, Colo.

Services are to be held Tuesday at 2 p.m. at Temple and LaGorge Chapel with the Rev. Edna Drebert of the Unity Center officiating.

Burial will be in the Inglewood Park Cemetery. Friends may call at the Temple and La-Gorge Chapel Monday until 9 p.m.

#### **Hub Caps Stolen** From Woman's Car

Theft of four hub caps, valued the President as Loyalty Day child, every school and church, the public lot in the 190 block throughout the nationwide.

Parents may register children also present evidence of polio for kindergarten on May 12 immunization or a signed statefrom 9 a.m. to 4 p.m. at the ment by the parent requesting exemption on the basis of re-

For pupils immunized with three injections prior to Jan. 1,1

# Famous A For Monro

Famous institutions as well as individuals will be represented with paintings in the "Collector's Choice" one-night exhibition of the Monrovia Art Festival Assn. May 12.

From the Los Angeles County Museum in Exposition Park will come three early California masterpieces in the John Jewell Garland collection.

Works will be shown by Wil-W. Palm, Monrovia, died Satur Biam Keith, landscape artist; Thomas Hill, famous for nature scenes; and J. Bond Francisco, the home on Palm 62 years ago noted for selling his paintings and she has resided there since for as much as \$4,000 "hot off

She was a 50 year member of Commission is loaning three the Pythian Sisters, Mount paintings from its permanent paintings from its p 33 and a 74 year member of the collection in the City Hall— "Bird on the Moon," by Ed-mund Kohn; "Piccadilly Cir-cus," by Benton Scott; and "Motherhood," by Francis de Erdely.

Other collectors have loaned aintings ranging from Goya

## **Eight Groups** Sign Up for Mardi Gras

Although Monrovia's annual Mardi Gras Street Sale is more than a month away, eight civic organizations have signed up for participation in the May 28-29 event.

Sponsored by the Retail Division of the Monrovia Chamber of Commerce, the Mardi Gras is primarily a retail promotion, United States and give special country and participate in the ploye of the California Water but a limited amount of space and Telephone Company.

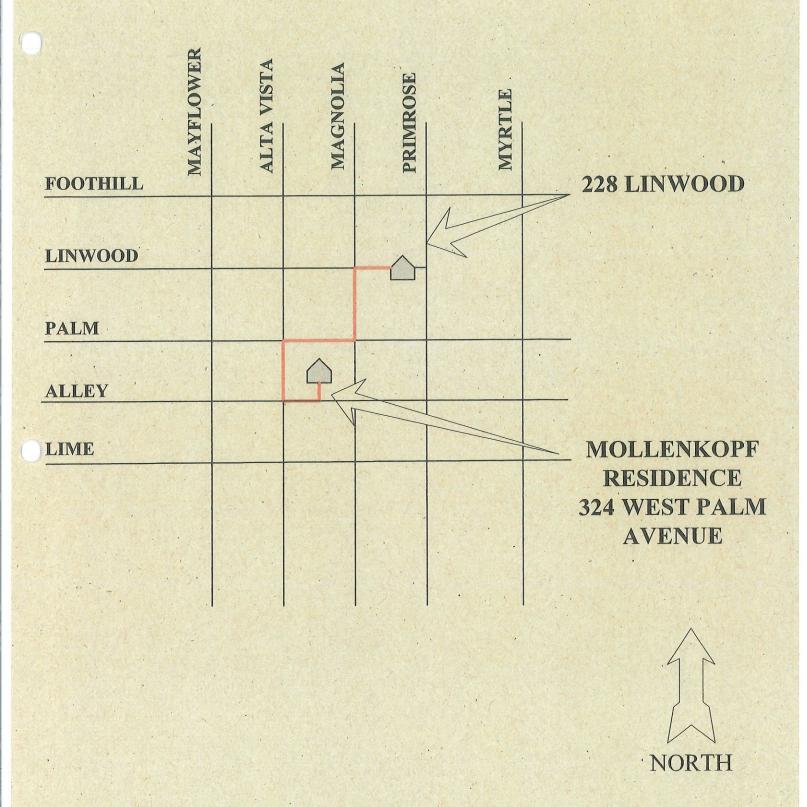
#### Garage



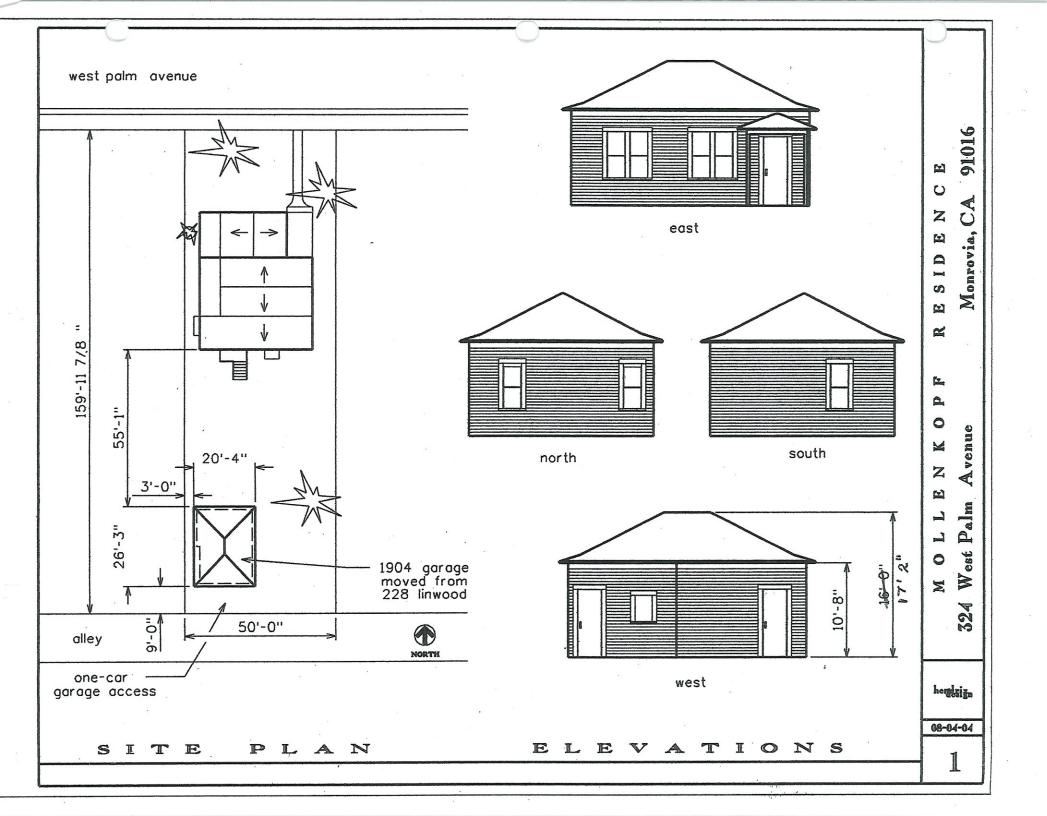
In 2005, a small 1904 cottage at 228 West Linwood Ave., Monrovia was scheduled to be demolished. With the valuable help of Jimi and Dana Hendrix, the owner agreed to give the 1904 structure to me. I would have to pay for the house to be moved and relocated to the back of my property at 324 West Palm Ave. The structure was cut into two parts and the porch was carefully removed and placed on a truck. In February 2005, the cottage was lifted off its foundation, placed by house movers on a flatbed and rolled down Linwood to Palm Ave., down Palm Ave. to Alta Vista, and then left to the alley behind my property. It was carefully shifted from the truck to the waiting concrete slab, where it now sits. It still appears as it did as a cottage with the exception of a garage door on the alley end. It functions as a garage/studio with a laundry room and bathroom.

le liption

I pyramidal roof caps this wood-frame, one-story single-family residence. The mass-plan vernacular, National style dwelling exhibits leo Classical stylistic detailing in its design. Roof elements include slightly overhanging boxed eaves with cornice board trim. The rimary (north) elevation is punctuated by two pairs of elongated double-hung windows framed by flat wooden surrounds, as well as he front door. The glazed panel entry door is situated at the far west side of the facade and is sheltered by a simple hipped roof anopy supported by square wooden posts.



## ROUTE MAP FOR 1904 GARAGE MOVED FROM 228 LINWOOD TO 324 WEST PALM AVENUE





228 Linwood Ave.









Moving the structure to new foundation.





The structure today.



## **Monday Evening Edition**

# THE Monrovia WFFKIY

ONLY THE SKY COVERS YOU BETTER

MONDAY, FEBRUARY 14 - FEBRUARY 20, 2005

The Community Newspaper For The City Of Monrovia

HAPPY

VOLUME 10 No. 13

## Century Old Structure Finds New Home, Use



The Monrovia Old House Preservation Group helped to relocate this 1904 historic home, saving it from demolition. -Photo by Terry Miller

By Jennifer MacDonald

In a city like Monrovia many original structures date back to the turn of the century. Development looms on the horizon for many of these old buildings and some residents are clamoring to preserve them instead of allowing them to be demolished.

A team of such resi-

dents was involved in preserving a 1904 home residing on Linwood Avenue where Century 21 Village Realty's sales associate "Lady Bird" and her husband Greg Bird were planning to begin construction of two new homes. The couple originally considered renovating the 100year-old structure.

"I really loved that little house but it was getting too expensive," she said. Lady Bird contacted the Monrovia Old House Preservation Group (MOHPG) to see if they wanted to collect any pieces from the house including windows, the front door, siding and molding.

MOHPG member, Peggy Mollenkopf, whose great-grandparents built another 1904 home located on West Palm Avenue where she now lives, intended on building a new garage behind her home. She was familiar with Lady Bird's property located only two blocks away so when it became available Mollenkopf offered to take the whole house with the help of fellow MOHPG member Jimi Hendrix.

"I had always loved it," she said. "I never

See HOME on page 3

## HOME

Continued from page 1

dreamed that it would be mine one day. When Jimi said it was going to be demolished it upset me."

After a three month long process of gaining approval from the city and her neighbors, the approximately 500 square foot home was cut in half and rolled down the one and a half block route to Mollenkopf's back yard.

"It was pretty breathtaking," she said. "A lot of it was muscle, guys pushing. Everything went ok, which I was very thankful for."

To accommodate the structure's passage, telephone, cable and electrical wires in the alley behind Mollenkopf's property had to be temporary shut off for safety. A gas line also had to be moved because its position under the ground ran under the planned placement of the structure.

"The city was pro relocation," Hendrix said. He even obtained handouts available from city hall on the process of relocating old buildings in the area.

"Both the staff and the community feel the historical flavor of our town is what makes us unique," said Monrovia Director of Community Development Alice Griselle.

There is a 120 day hold on demolishing any property in Monrovia built prior to 1940 to "try to preserve good historic housing stock" in the city, Griselle said. The hold allows the Historic Preservation Commission to assess the structure and recommend whether the structure should be preserved. Residents are encouraged to keep their house if it's salvageable however if they decide to tear it down, the MOHPG is alerted so they can consider what can be saved.

"As the real estate prices escalate in Monrovia, these buildings are endangered and because they're small, with the slightest bit of decay they become eligible for demolition," Hendrix said. Hendrix is one of seven members of the Historic Preservation Commission who are appointed by the city council. "Moving is a good alternative to demolition," he said.

Now proudly standing behind Mollenkopf's home, the structure has been painted white with pea green trim to match her house. Her plans include installing an old-fashioned sliding barn door, a laundry room, a bathroom and a closet. Half the structure will be paved for use as a garage and original wood floors will be re-installed on the other half. Originally lived in as a house about 10 years ago, the structure had one bedroom and a living room area.

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## MEETING NEWS

## 1904 HISTORIC HOME IS ON THE MOVE!!!!

INSTEAD OF DEMOLISHING ONE OF MONROVIA'S HISTORIC HOMES, 'LADY BIRD' FROM VILLAGE C-21
REALTY HAS GIVEN IT TO MOHPG MEMBER, PEGGY MOLLENKOPF!!!

PLEASE JOIN US AS WE FOLLOW THIS HISTORIC STRUCTURE FROM 228 LINWOOD TO IT'S NEW HOME AT 324 WEST PALM AVENUE. THE HOME WILL BE CUT INTO 2 PIECES!! AND TAKEN WEST ON LINWOOD, SOUTH ON MAGNOLIA, WEST ON PALM, SOUTH TO THE ALLEY BETWEEN PALM AND LIME, THEN EAST ON THE ALLEY AND WHEELED RIGHT INTO MS. MOLLENKOPF'S BACKYARD.

THE HOUSE MOVE IS SCHEDULED FOR MONDAY, SEPTEMBER 27 AT 9:00 A.M., DRIVE BY ON YOUR WAY TO AND FROM WORK!!! PHONE JIMI + DANA HENDRIX @ 303-2828 FOR LAST MINUTE INFORMATION.

### **Restoration Work Still In Progress**

The two front porch railings on the east side if the porch are still in the process of restoration. My goal is to have the railings installed by the end of August.

#### **Reference Sources**

Personal family documents and photos as well as information passed on by wordof-mouth from previous generations.

Los Angeles County Records, Book 17 (map), page 59, Miscellaneus Records.

Los Angeles County Records, Book 137, page 361 of Deeds. May 27, 1904.

Los Angeles County Records, Book 2333, page 1207 of Deeds, June 20, 1905.

Office of the Recorder of Los Angeles County, Book 1840, page 166 of Mortgages, May 1, 1908.

#### **Newspapers**

City of Monrovia Public Works, building permits starting in 1911.

Monrovia News, Dec. 30, 1911, page 6.

Monrovia Daily News, June 21, 1912, page 1.

Daily News Post April 26, 1965

#### Reference Books

Los Angeles County, *Historical Volume and Reference Works, volume III*, (Historical Publishers, Arlington, Calif., 1964), page 284

Monrovia Centennial Committee, *Monrovia Centennial Review*, (Monrovia, Calif., 1985), pages 115, 118

Wiley, John L., *History of Monrovia*, (Press of Pasadena Star-News, Pasadena, Calif., 1927), pages 126, 134-135, 191.