



## **PLANNING COMMISSION STAFF REPORT**

**APPLICATION:** CUP2020-0001

**AGENDA ITEM:** PH-2

**PREPARED BY:** Austin Arnold  
Assistant Planner

**MEETING DATE:** February 12, 2020

**SUBJECT:** Conditional Use Permit CUP2020-0001  
721 South Shamrock Avenue (APN: 8517-015-001)

**REQUEST:** Applicant is requesting a Conditional Use Permit to establish a new business (Runabout), a vintage clothing artisan workshop with incidental retail sales and a live/work unit within an existing commercial building while maintaining the building's exterior features. The subject property is located in the Planned Development – Area 66 zone.

**APPLICANT:** Noberto Nardi, AIA, for Runabout Goods

**ENVIRONMENTAL DETERMINATION:** Categorical Exemption Class 3

**BACKGROUND:** The applicant is requesting approval of a Conditional Use Permit (CUP) to adaptively reuse the former Flying “A” Gasoline Station at 721 South Shamrock Avenue by establishing a new business, Runabout is a vintage clothing artisan workshop with incidental retail sales and a live/work unit would be located within the building.

The building is identified as an important Route 66 resource in Monrovia, as the property is one of just a few remaining buildings associated with commercial development along Monrovia's Route 66 corridor, which originally traveled westbound through the City along East Huntington Drive, then north on South Shamrock Avenue, and finally west on Foothill Boulevard. The City's Historic Context Statement elevates the historic significance of these buildings because of their association with Route 66 and the “Commerce and Automobile Theme (Period of Significance 1908-1967).” While these buildings have been familiar features in Monrovia for nearly a century, historically they have faced several zoning and land use regulatory challenges impacting their preservation, economic viability, and neighborhood compatibility.

When City staff was first approached about this unique and creative proposal, a land use approval process to facilitate the development was not in place. The subject property was previously located within a multifamily residential zoning designation. This designation precluded viable uses for the commercial building, because it only permitted residential uses. Therefore, the building was considered legal nonconforming.

However, based on the Planning Commission's recommendations, on October 1, 2019, the City Council adopted a new land use designation, Planned Development – Area 66, to provide a set of land use standards for two original Route 66 roadside commercial properties known as the “Monrovia Market” and the “Flying A Gasoline Station,” located at 525 and 721 South Shamrock Avenue respectively. The new PD-66 land use designation and associated

development standards and regulations encourage appropriate adaptive reuse of these buildings in a manner that would minimize impacts to their surrounding residential neighbors.

The PD-66 land use provisions stipulate that new uses within existing nonresidential buildings are subject to the NC (Neighborhood Commercial) zone use regulations outlined in Monrovia Municipal Code Section 17.08.010. The standards also note that residential uses shall be limited to residential/commercial mixed-use and live/work uses, provided the overall residential density on the property does not exceed two dwelling units. This use is very unique and given that there is no definition in the Zoning Ordinance (MMC §17.08.030) for a vintage artisan workshop, it is considered to be an “Other Use.” The code defines “Other Use” as “uses not specifically mentioned or easily identified by the Development Review Committee as belonging to one or more of the use types defined (in the definition section of the Zoning Ordinance), and shall be permitted in any zone if granted a Conditional Use Permit by the Commission. When granting a Conditional Use Permit in such a circumstance, the Commission must find that the use is compatible with other uses permitted in the zone.”

As such, the proposed vintage artisan workshop requires a Conditional Use Permit, which is subject to the Planning Commission’s review and approval. The Planning Commission serves as the decision body for all Conditional Use Permits. In granting a Conditional Use Permit, the Commission must consider the PD-66 development standards, which contain specific review criteria, as well as additional findings of conformance. The review criteria include:

1. Compliance with the Zoning Code Performance Standards (MMC Chapter 17.32), which relate to the prevention of environmental impacts and nuisance conditions caused by noise, vibration, smoke, air pollution, light and glare;
2. The review of parking and traffic generation based on the limited availability of onsite parking, and
3. Compliance with the PD-66 Business Performance standards, which includes but is not limited to hours of operation, business deliveries, and location of uses onsite.

Furthermore, the Commission must make additional findings that the proposed use is in conformance with the following PD-66 guiding principles:

1. Preservation: The project furthers the preservation and restoration of the Route 66 roadside commercial property by allowing a use that requires minimal change to the character defining features of the building and its site environment;
2. Economic Viability: The project promotes the long-term economic viability of the property; and
3. Neighborhood Compatibility: The project proposes a use that will be compatible with the surrounding residential neighborhood.

## SUBJECT PROPERTY:

### ***The Flying A Gasoline Station - 721 South Shamrock Avenue***



***Flying "A" Gasoline Station - 721 S Shamrock Ave***

This property is located on the northwest corner of East Walnut Avenue and South Shamrock Avenue and is approximately 10,300 square feet in area. The property is developed with an approximately 5,200 square foot building that has a stucco and brick exterior with a canopy that connects to classic gasoline pumps.

The property currently contains two parking areas. One parking area is accessed directly from South Shamrock Avenue, and is located directly in front of the building. This parking area is currently chained-off and not utilized. A second parking area is located directly behind the building, along the west side of the property. This parking area is accessed by a driveway along East Walnut Avenue.

The gas station was built in 1927 and it included an auto repair service. By 1934, the gas station had a small store. During World War II, the garage portion was used as a warehouse for the Holly Heel Company. After the war, Howard Henson resumed the auto repair operation and it was known as Henson's Garage. In 1948, the original gas pumps were replaced with Bennett pumps which are currently being restored. The garage operation closed in 2012, and the property has been vacant ever since.

This property is designated Planned Development – Area 66 in the General Plan zoning designations. The site is surrounded by the following land uses:

#### **North:**

General Plan: Medium Density Residential (5.8 – 17.4 Du/Ac)

Zoning: RM2500 (Residential Medium 2500)

Land Use: Single Family Residence

#### **South (Across Walnut Avenue):**

General Plan: Planned Development – Area 23B

Zoning: Planned Development – Area 23B

Land Use: Architect's Office

#### **East (Across South Shamrock Avenue):**

General Plan: P/QP (Public / Quasi Public)

Zoning: P/QP (Public / Quasi Public)

Land Use: Church

#### **West:**

General Plan: Medium Density Residential (5.8 – 17.4 Du/Ac)

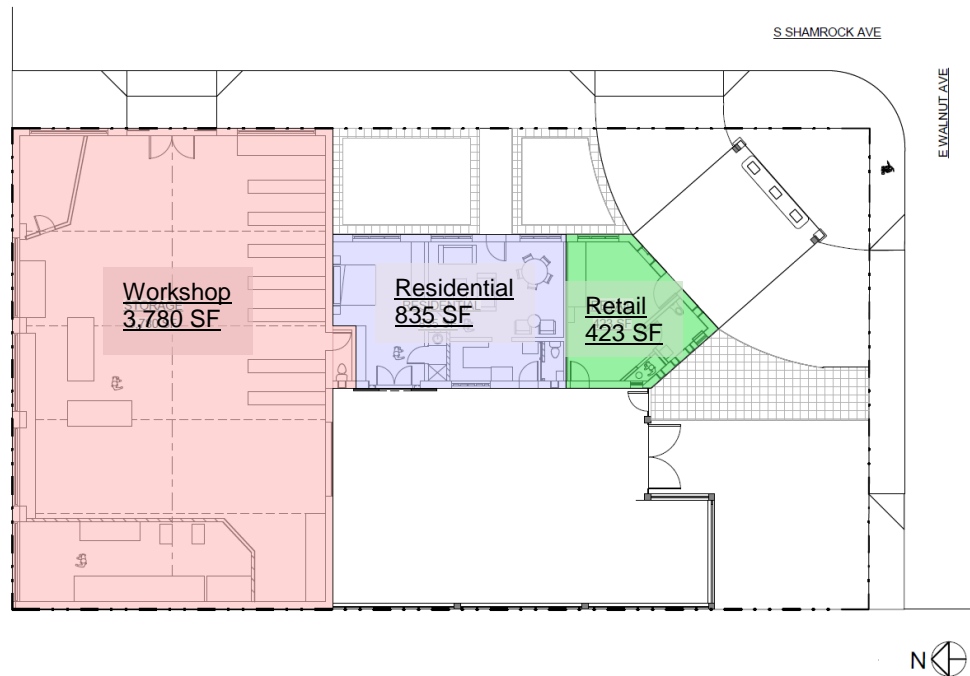
Zoning: RM2500 (Residential Medium 2500)

Land Use: Single Family Residence

## DISCUSSION/ANALYSIS:

### ***Adaptive Reuse for Vintage Artisan Workshop and Live/Work Unit***

Runabout Goods is a vintage artisan workshop with incidental retail sales. The project was designed in compliance with the PD-66 development standards and guiding principles. The building footprint will remain unchanged, as the vintage artisan workshop will be fully contained within the existing building. As shown on the building floor plan below, the workshop/design studio will occupy approximately 3,700 square feet of the floor area and the small retail component will occupy 450 square feet. The remaining 700 square feet will be improved as a one-bedroom residential live/work unit. The business production will develop initial concepts of vintage clothing in the workshop/design studio portion of the building. The business is unique in that it will utilize original/vintage sewing machines, presses and tools, to create the initial batch clothing line. Once a final sample has been created, the hand-made pattern is sent for digitizing and cutting into small batch production runs. The mass production will be done off-site and manufactured in the greater LA area. Small batches of clothing will be created in-house and sold in the retail portion of the building.



original/vintage sewing machines, presses and tools, to create the initial batch clothing line. Once a final sample has been created, the hand-made pattern is sent for digitizing and cutting into small batch production runs. The mass production will be done off-site and manufactured in the greater LA area. Small batches of clothing will be created in-house and sold in the retail portion of the building.

Given that the business utilizes smaller vintage machines rather than large production ones, the noise impact to the surrounding neighborhood will be minimal. Also, two conditions of approval have been proposed which require “all activity to be conducted entirely within an enclosed building (Data Sheet 1, Condition #24) and that “no machine noise shall be audible outside of the building” (Data Sheet 1, Condition #25). The retail portion of the business is small and similar to that of a “mom-and-pop” shop. There will be only 3 employees which will be the owner, Mr. Michael Hodis, his wife, and a master tailor. The workshop hours where the clothing concepts are designed and made are Monday through Friday, from 9 a.m. to 6 p.m. The retail hours are proposed as Monday through Friday from 12 p.m. (noon) to 6 p.m., and by appointment as needed, provided that no appointments shall occur after 9 PM.

By providing standard workday hours and a very small number of employees, the business impact will be minimal to the surrounding neighborhood. Proposed conditions of approval limit the hours of operation. Deliveries will only occur on the South Shamrock Avenue side of the property between 8:00 a.m. to 6:00 p.m., Monday through Friday, and 9:00 a.m. to 7:00 p.m. on Saturdays. Lastly, deliveries will be prohibited on Sundays. These restrictions will minimize commercial activity within the residential neighborhood (Data Sheet 1, Condition # 23 and #26).

### ***Site and Public Right-of-Way Improvements***

The applicant proposes to make significant parking lot, landscape and fencing improvements to enhance both the site and public right-of-way.

Based upon the applicant's business operations statement, the proposed business will have a maximum of three employees and small retail space consisting of approximately 450 square feet. Therefore, the parking demand for Runabout Goods is very low. Staff estimates 5 parking spaces will be sufficient to accommodate the proposed nonresidential use based on the number of employees (1 space per employee) and retail component (1 space per 250 square feet). Given that two of the employees will reside within the live/work unit, one additional parking space has been allocated to the residential component. The applicant is proposing 6 parking spaces onsite. Four of these parking spaces will be located in the parking area behind the building along the west side of the property and two spaces will be located under the canopy that is directly adjacent to the gasoline pumps. These parking areas will be improved with new hardscape and parking lot striping.

The applicant proposes to convert the existing parking area in front of the building, adjacent to Shamrock Avenue into a landscape yard area for the live/work unit. The existing driveway approach leading to this area will be removed and replaced with a new curb and sidewalk, thus creating two additional parking spaces within the public right-of-way. Not only will this improve the Shamrock Avenue streetscape and provide more on street parking, it will also improve pedestrian access.

In addition to the installation of new landscaping, the applicant is proposing to replace the existing chain-link fence along the west property line with a solid vinyl fence. This new fencing will also serve as the property line fencing to the west which divides the subject property from its residential neighbor at 623 East Walnut Avenue.

Lastly, a small area within the parking lot will be dedicated for a screened trash bin storage. The applicant has spoken with Athens Services and it was determined that trash bins could be provided in-lieu of a trash enclosure based upon the low impact business model proposed.

### ***Project Compliance with PD-66 Preservation Guidelines***

The PD-66 preservation guidelines are based on the U.S. Department of the Interior National Park Service Secretary of the Interior's Guidelines for Rehabilitating Historic Buildings, which are also applied to the City's designated landmarks. The guidelines promote historic preservation best practices that will help to protect these Route 66 roadside buildings. In summary, if exterior remodeling is proposed, the guidelines promote protecting and maintaining building features that are in good condition, repairing features that have been damaged or covered up by using the least intervention possible, and replacing features that are entirely missing using research to ensure replaced features are period-appropriate.

To further the preservation, rehabilitation, and restoration of the existing building, the applicant is proposing minimal changes to the building's exterior. The character-defining features on each of the building's elevations will be preserved and protected in place. Those features include the building's façade composition, corner location, street orientation, stucco exterior, decorative trim within the windows, tile roof, gasoline pumps, and the angled corner entry that faces the intersection.

The applicant's long term desire is to restore the existing stucco and brick facades on the building. The majority of the windows on the building are original, but have been boarded up

over time. The applicant proposes to uncover, refinish and refurbish all windows with the exception of one located on the Shamrock Avenue street frontage. This window is located within the live/work unit, and may need to have its functionality modified to satisfy building code egress requirements. Additionally, the applicant proposes to replace an existing barn door on the west elevation, which is not visible to the street. In this location, the applicant proposes a more modern set of sliding barn doors, which lead to the new living quarters. Lastly, two exterior doors on the west elevation are proposed to be sealed from the interior of the building. It is the applicant's intent to modify the interior space without comprising the exterior façade.

In addition to the applicant's rehabilitation efforts, the iconic gasoline pumps, which have experienced much differed maintenance, are currently being restored, including the pedestals. The applicant is also proposing new fabric awnings along the South Shamrock Avenue elevation.

To ensure careful rehabilitation and restoration of the existing building, Data Sheet 1 includes Conditions #13 through #15, which require photo documentation prior to construction, the preservation and restoration of the building's character defining features.

### ***Development Review Committee***

As part of the Advisory Review, staff sent out a courtesy notice to property owners within 300 feet of the subject property. The courtesy notice was provided to further encourage and allow for public input regarding the project prior to any public hearings. At the DRC meeting held on January 15, 2020, the property owner and architect spoke in favor of the project. No one spoke with concerns about the project.

### ***Conclusion***

The proposed project would preserve and rehabilitate an important Route 66 roadside commercial property in Monrovia. It proposes minimal change to the building's character defining features and its site environment. The vintage artisan workshop use has been designed to be compatible with the surrounding residential neighborhood, and will promote the property's long-term economic viability.

**RECOMMENDATION:** The Development Review Committee and Staff recommend approval of the application as presented in the Staff Report. If the Planning Commission concurs with Staff's recommendation then, following the public hearing, the appropriate actions would be:

1. Pursuant to the California Environmental Quality Act ("CEQA") and the City's local CEQA Guidelines, the Planning Commission in the exercise of its independent judgment finds that CUP2020-0001 is categorically exempt from CEQA under Class 3.
2. The Planning Commission finds that the custodian of records for all other materials that constitute the record of proceedings upon which this decision is based is the Planning Division Manager. Those documents are available for public review in the Planning Division located at 415 South Ivy Avenue, Monrovia, California, 91016.
3. The Planning Commission in the exercise of its independent judgment hereby makes the findings listed on attached Data Sheet No. 3 for CUP2020-0001, which are incorporated herein by this reference.
4. The Planning Commission approves CUP2020-0001, subject to the attached Planning Conditions on Data Sheet No. 1, Public Works Conditions on Data Sheet No. 2 and

recommendations in the Staff Report, all of which are incorporated herein by this reference.

**RECOMMENDATION:** The Development Review Committee and Staff recommend approval of the application as presented in the Staff Report. If the Planning Commission concurs with Staff's recommendation then, following the public hearing, the appropriate actions would be:

**MOTION:**

**Approve CUP2020-0001 pursuant as presented in the Staff Report.**



# DATA SHEET 1

# Planning Conditions

Conditional Use Permit CUP2020-0001 (Other Use – A Vintage Clothing Artisan Workshop with a Live/Work Unit and Incidental Retail Sales)

721 South Shamrock Avenue

Development of the subject property and operations on the site must remain in substantial conformance at all times with the request and application forms and plans for CUP2020-0001, submitted by the Applicant, as approved by the Planning Commission and placed on file in the office of the Planning Division, except as modified by the conditions imposed by the Planning Commission and by subsequent modifications determined by the Planning Division Manager to be in substantial compliance with the conditions of approval. The term “Applicant” as used herein shall include the applicant, the property developer and all successors in interest to this conditional use permit.

## DEVELOPMENT STANDARDS

1. The development shall comply at all times with all standards, regulations, requirements and guidelines set forth in “Planned Development – Area 66.”
2. The approved floor plan is an integral part of the decision approving Conditional Use Permit 2020-0001. Any change in the approved floor plan which has the effect of expanding or intensifying the use may require an amendment to the CUP as determined by the Development Review Committee (DRC). Alternatively, the DRC may refer the matter to the Planning Commission for its review, in which case no change in the approved floor plan shall be made without Planning Commission approval.
3. All existing chain-link fencing shall be removed and replaced with vinyl fencing or other appropriate material as determined by the Planning Division Manager. The property line fencing must be a minimum of five feet above the subject property’s finished grade and a minimum of five feet and a maximum of six feet above the adjacent property’s grade, measured in accordance with the Monrovia Municipal Code. The fencing shall be installed before building construction begins.
4. The Applicant shall make a good faith effort to work with adjacent property owners (that have existing walls/fences) to avoid a double wall condition, to provide a single wall along the project’s perimeter. The applicant shall notify by certified mail all contiguous property owners at least 30 days prior to the removal of any existing walls/fences along the project’s perimeter and shall provide proof of mailing to the contiguous property owners to the City prior to the issuance of any demolition or building permits.
5. A trash generation study shall be completed to determine the required pick-up frequency and size of required bins/dumpster. Trash pickup shall be scheduled with enough frequency to ensure that the provided dumpster does not overflow.



6. Placement and design of mailboxes shall be reviewed and approved by the U. S. Postal Service and the Planning Division Manager prior to installation.
7. Ground level mechanical equipment shall be placed a minimum of 5' from the interior property lines and shall be completely screened with landscaping. Ground level mechanical equipment shall not be located within the front setback.
8. No roof mounted mechanical equipment shall be permitted on the building unless completely screened by the existing parapet.
9. All utilities and structures such as gas meters, electrical meters, telephone meters, telephone pedestal-mounted terminal boxes, surface mounted electrical transformers, or other potential obstructions shall be noted on the plans with provisions for appropriate screening. The utility plan shall be approved by the Development Review Committee, prior to installation.
10. Plans showing all exterior lighting shall be submitted to the Planning Division for review prior to building permit issuance and no exterior lighting shall be installed without the approval of the Planning Division Manager. All exterior lighting shall be designed, arranged, and installed so as to confine direct rays onto the premises and to direct light away from adjacent structures.
11. No exterior sign may be installed without prior approval of the Development Review Committee. Installation of original signage and restoration of existing exterior lighting shall be encouraged as long as there are no adverse impacts to the adjacent residential uses. The design of signage shall be complementary to the period and style of the building.
12. All supplies, products, materials, and equipment shall be stored within the building. Outdoor storage of supplies, products, materials, equipment, and vehicles are prohibited.

## **BUILDING PRESERVATION**

13. Photo documentation of the building must be submitted to the Planning Division Manager prior to its alteration in accordance with the Monrovia Planning Divisions archival photography guidelines. All existing exterior elevations of the building shall be photographed.
14. The subject building's key character defining features include its façade composition, corner location, street orientation, stucco exterior, decorative trim within the windows, tile roof, gasoline pumps, and the angled corner entry that faces the intersection. These distinctive features shall be preserved. Deteriorated historic features shall be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new feature shall match the old in design, color, texture, and other visual qualities and, where possible, materials. Replacement of missing features shall be substantiated by documentary, physical, or pictorial evidence.

15. If landmark designation and a mills act contract is requested in the future, then nothing in this approval shall limit the Historic Preservation Commission's authority to modify the design or restoration of any of the building's character defining features.

## **LANDSCAPING**

16. A Landscape, Hardscape and Irrigation Plan prepared by a licensed Landscape Architect shall be submitted to the Planning Division for plan check showing the size, type, and location of all planting areas and shall incorporate the following conditions of approval:

- a. Landscaping shall be a combination trees, shrubs, groundcover.
- b. All landscaping shall be maintained by the applicant and shall include a permanent automatic irrigation sprinkler system.
- c. Any unimproved City right-of-way contiguous with the property shall be landscaped and maintained by the Applicant and shall be incorporated into the required landscape plan.
- d. A landscape documentation package that complies with the requirements of the Model Water Efficient Landscape Ordinance and shall be submitted to the Planning Division for review and approval prior to landscape construction. A Landscape Certificate of Completion shall be submitted to the Planning Division at the completion of the installation, prior to request for a final inspection and Certificate of Occupancy.
- e. Decorative hardscape or other suitable materials shall be incorporated into driveways and walkways excluding the parking lot.

## **PARKING**

17. One parking space shall be dedicated and made available for the live/work unit.

18. No required parking area shall be fenced-off or otherwise enclosed for outdoor storage uses or for any other non-parking use.

19. The parking lot shall be repaired or replaced with asphalt, interlocking pavers, or other suitable materials, which shall be submitted to the Planning Division Manager and Public Works Department prior to installation for review and approval.

20. All unenclosed parking spaces that are provided as part of the project shall be clearly marked by 2" wide pavement paint or alternate method if approved by the Development Review Committee. Double Striping shall be used for delineating all parking spaces so as to provide a minimum parking area of 8'-6" in width by 18' in depth for standard stalls and 8'-6" in width by 16' in depth for compact stalls. The site shall be developed and maintained with no fewer than 5 standard parking stalls.

21. Adequate wheel stops (or a concrete curb not less than six inches high) shall be installed and maintained as a safeguard to abutting property. The barrier shall be at

least three feet from any property line, but in no case shall it be less than necessary to meet the intent of MMC Section 17.24.060 through Section 17.24.120.

22. If the required new sidewalk, curb and gutter is not completed prior to the issuance of building occupancy, a temporary street improvement plan shall be submitted by the applicant for review and approval by the Planning Division Manager and City Engineer. The plan shall be implemented for the purpose of allowing street parking along South Shamrock Avenue until permanent physical improvements are installed.

### **ROUTE 66 VINTAGE CLOTHING ARTISAN WORKSHOP (CUP2020-0001)**

23. The business hours of operation of the live/work unit shall be limited to the following hours of operation:
- a. Vintage Clothing Artisan Workshop:
    - i. Monday through Friday: 9:00 AM to 6:00 PM
  - b. Incidental Retail Sales:
    - i. Monday through Friday: 12:00 PM to 6:00 PM, and any day by appointment as needed, provided that no appointments shall occur after 9 PM.

Before any change is made in these days and hours of operation, approval by the DRC must be obtained. Alternatively, the DRC may refer the matter to the Planning Commission for its review, in which case no change in the days and hours of operation shall be made without Planning Commission approval.

24. All activities shall be conducted entirely within an enclosed building.

25. No machine noise shall be audible outside of the building.

26. Deliveries shall be made on-site and shall be limited to the hours of 8:00 am to 6:00 pm, Monday through Friday, and 9:00 am to 7:00 pm on Saturday. Sunday deliveries shall be prohibited. Deliveries shall occur on the South Shamrock Avenue side only.

27. If it is determined by the Community Development Director, Public Works Director, or Community Services Director that patrons are littering the surrounding streets, sidewalks, parking lots, parks, or adjoining private properties as a result of their coming or leaving the establishment, the property owner will provide employees to pick-up and properly dispose of all litter.

28. The exterior of the premises, including adjacent public sidewalks shall be illuminated during the hours of darkness with sufficient lighting to illuminate and make easily discernible the appearance and conduct of all persons on or about the establishment.

29. Any graffiti painted or marked upon the premises or on an adjacent area under the control of the licensee shall be removed or painted over within forty-eight hours by the property owner, unless any law in effect at that time imposes a shorter time period for eradication.

30. CUP2020-0001 may be called for review at any time by City Staff, the Development Review Committee, the Planning Commission, or the City Council, if the business is creating impacts, such as but not limited to policing, security, parking overflow and noise to the surrounding properties. In addition to any other remedy available to the City, measures may be required such as modification of hours of operation, and/or securing additional parking offsite for the purpose of identifying mitigation measures to address the area where problems are occurring.
31. The Development Review Committee shall review the use within six months from the date the business commences, and determine if ongoing review is required annually thereafter. The review shall focus primarily on compliance with the conditions of approval and the PD-66 standards and regulations related to any impacts upon the surrounding properties.

## **FIRE DEPARTMENT**

32. Per Monrovia Municipal Code (MMC) 15.20.130 and 15.20.170 the entire structure shall be fire sprinklered per National Fire Protection Association Sections (NFPA) 13, 13D, and local amendments.
33. A rescue window shall be provided for the sleeping room per California Residential Code (CRC) R310.
34. Smoke alarms shall be provided in each room for sleeping purposes and at a point centrally located in the corridor or area giving access to each separate sleeping area.
35. Carbon monoxide alarms shall be provided within all sleeping units.

## **GENERAL REQUIREMENTS**

36. Any violation of these conditions of approval or the Monrovia Municipal Code may be subject to the Administrative Fine Ordinance, other available remedies and/or revocation or modification of this permit at the discretion of the City Attorney and City Prosecutor.
37. The term "Applicant" as used herein shall include the applicant, the property developer and all successors in interest to this conditional use permit.
38. In addition to Planning (Data Sheet No. 1) and Public Works (Data Sheet No. 2) conditions of approval, the Applicant shall also comply with all requirements of the Monrovia Municipal Code, Building Division and the Fire Department that are directly applicable to the project.
39. The development associated with this Conditional Use Permits shall begin within one (1) year after its approval or it will expire.
40. The Applicant shall, within 30 days after approval by the Planning Commission, submit to the Community Development Department his/her written consent to all of the

conditions of approval contained in Data Sheet Numbers 1 and 2. Conditional Use Permit CUP2020-0001 shall be void and of no force or effect unless such written consents are submitted to the City within the 30 day period.

41. All of the above conditions shall be complied with prior to issuance of the Certificate of Occupancy, unless an earlier compliance period is specified as part of a condition.
42. Indemnification. As a condition of approval, the Applicant agrees to defend, indemnify, protect and hold harmless City, its officers, officials, employees, agents and volunteers from and against any and all claims, actions, or proceeding against the City, its officers, officials, employees, agents and/or volunteers to attack, set aside, void or annul, an approval of the City, Planning Commission or City Council concerning this permit and the project. Such indemnification shall include damages, judgments, settlements, penalties, fines, defensive costs or expenses, including, but not limited to, interest, attorneys' fees and expert witness fees, or liability of any kind related to or arising from such claim, action, or proceeding. The City shall promptly notify the Applicant of any claim, action, or proceeding. Nothing contained herein shall prohibit City from participating in a defense of any claim, action or proceeding. The City shall have the option of coordinating the defense, including, but not limited to, choosing counsel for the defense at Applicant's expense.



## DATA SHEET 2

## Public Works Conditions

Conditional Use Permit CUP2020-0001  
(Other Use – A Vintage Clothing  
Artisan Workshop with a Live/Work  
Unit and Incidental Retail Sales)

721 S. Shamrock Avenue

Development shall be subject to the conditions of approval listed below, and if so indicated, the condition(s) shall be satisfied at the final inspection, before Certificate of Occupancy by the Department of Public Works. The term "Applicant" shall include, without limitation, the applicant, the property developer, the property owner, and all subsequent owners of each parcel.

### Engineering Conditions

- a) Site Plan showing: survey monuments, boundaries, easements and right-of-ways
  - i) Submit existing site plan, topographic map of the project site, grading, drainage and utility plan to Public Works Department for review and approval. The plans shall indicate existing and proposed structures, miscellaneous facilities if applicable and all utilities applicable within the project site. The plans shall be prepared on a 24" x 36" sheets with City standard title block stamped and signed by a Registered Professional Civil Engineer in the State of California.
  - ii) All site plans, grading plans, drainage plans and street improvement plans shall be coordinated for consistency prior to the issuance of any permits.
- b) Water Improvements
  - i) The Applicant shall install additional water services to Monrovia's water system to serve the entire development for domestic and fire usage within the City of Monrovia to the specifications of the City Engineer, **or provide calculations that the existing service is adequate.**
  - ii) All water lines within the project site shall be a private systems maintained by the project and not the City of Monrovia's responsibility. The project shall provide adequate backflow at the transition from right of way to the private/public utility easement. The City of Monrovia shall not be responsible for the any utility within the easement after the backflow and meters.
  - iii) All backflow devices will be reduced pressure double check valves from the state approved list. Developer/owner will provide testing of all state approved devices prior to operation and on an annual basis. If testing is not provided, city has the right to test at the owner's expense for said testing. If test fails, owner shall replace approved device at their cost with approval from city water personnel.
  - iv) The applicant will be responsible for all costs to connect to the City water system and installation of all new fire hydrants off the City system, **if required.** The developer shall prepare engineered plans, approved by the City Engineer, and pay for all construction, equipment, testing and inspection for the connections, hydrants and services. These plans to be on separate improvement plans and submitted to Public Works for approval and construction/encroachment permits
  - v) The project water usage and standby charges will be per the newly adopted rate schedule: Monrovia ordinance 2018-01 (See attached).

c) Waste Water Improvements

- i) The Applicant shall install additional sanitary sewers or use existing laterals to Monrovia's sewer system to serve the development to the specifications of the City Engineer.
- ii) A CCTV video of the existing/proposed sewer lateral connecting to the City mainline is required for the project; a copy of the video shall be submitted to Public Works. Prior to CCTV please notify the Department of Public Works requesting to have the Public Works Inspector on-site to witness the inspection
- iii) **The applicant shall provide evidence of payment and approval for connection of sewer units to LA County Waste Water System.**

d) Geotechnical Investigation and Report

None required based on developed sit and location

e) Hydrology Report and Hydraulic Calculations

None required, based on developed site and location.

f) Grading Plan

- i) Grading plan shall conform to MMC Chapter 15.28 and be prepared on a 24" x 36" sheets with City title block. Required improvements may be shown on the grading plan along with site drainage.
- ii) Grading plan to provide a scaled detail section at each property line where the project is in cut or fill greater than 0.5 feet. Provide in relation to the adjacent property existing conditions: set back dimensions, retaining wall dimensions and encroachments, ground and finish surface elevations, cut and fill slopes including code setbacks, and direction of flow indicators.

g) Utility Coordination Plan

- i) Applicant shall submit a utility plan showing all proposed utility cuts for services such as Water, Sewer, Fire Department Stand Pipe, Gas, Edison, Telephone, Cable TV, etc. The Utility plan shall be submitted and approved prior to issuance of grading permits. Private utility plans including sewer, water, gas, including all abandoned, or to be removed facilities, etc. for the proposed development shall be submitted for review and approval by the City Engineer. Pay all applicable fees for Engineering Division services for issuance of Public Works permits.
- ii) Applicant shall underground all electrical and communication service lines to the buildings.

h) Off-site Street Improvement Plans

i) ***Applicant shall dedicate additional rights of way if determined in the review of the improvement plans as/if they are needed.***

ii) ***Install new city curb and gutter*** along frontage where it does not exist. Remove and replace any curb, gutter, sidewalk, driveway approach or street pavement found by the City Engineer to be broken, uplifted, damaged or not meeting current ADA standards. Construct improvements as required, ***including the construction of both driveway approaches to meet ADA***, per City standard drawings. All ADA requirements shall be satisfied by the Applicant. These conditions apply on public right-of-way along property frontage. ***Also the corner ADA ramp needs reconstruction to new standard with truncated domes and code compliant ramps.***

iii) All work such as but not limited to demolition, construction and improvements within the public right-of-way shall be subject to review and approval of the Public Works Department, and will require construction and encroachment permit from the City's Public Works Department, prior to start of any construction. All work within the public right-of-way shall be in accordance with applicable standards of the City of Monrovia, Standard Specifications for Public Works Construction ("Green Book", latest edition) and the Manual on Uniform Traffic Control Devices (MUTCD, latest edition), and further that construction equipment ingress and egress be controlled by a plan approved by the City Engineer.

iv) Applicant shall obtain applicable permits for all work to be done within the public right-of-way from the Public Works Department and shall pay all applicable fees for Engineering Division services such as plan check fee and construction inspection fee as applicable.

v) The City requires the restoration of the existing pavement after utility installation. Restoration is required from the outer limits of the area covering and encompassing all the utility cuts as shown on the plans, but actual limits shall be determined out in the field by City Engineer. Restoration of asphalt pavement may be up to 2-inch pavement grind and 2-inch asphalt overlay and slurry seal type II.

i) Off-site landscaping improvements to be maintained by the Applicant.

i) Any off-site landscaping improvements along the frontage of this project are to be the responsibility of the project for maintenance and upkeep. The watering of this landscaping in the right of way is to be supplied by the projects water service for irrigation.

j) Traffic Engineering Conditions

i) None required, based on size of project and trip generation.

k) Environmental Conditions

i) Project is not subject to NEW DEVELOPMENT/REDEVELOPMENT STANDARDS, or other entities (LACFCD, etc.).

ii) Project should meet the minimum standards as outlined on page 6 of our City of Monrovia flow Chart for LOW IMPACT DEVELOPMENT STANDARDS (Attached)



l) Demolition of Existing Structures

- i) The project demolition activities shall comply with the City's Construction and Demolition Recycling Program (C&D Recycling Program) by filing an application and submitting a deposit to Public Works Environmental Services prior to issuance of permits. Building, demolition, and grading permits will not be issued until the applicant provides the City with the required forms and the waste management plan has been reviewed and approved by the Environmental Services. If the Applicant chooses not to participate in the C&D Recycling Program, then the hauler must be identified on the demolition, building and grading plans.

m) As-built Plans

- i) Applicant shall provide to the City of Monrovia revised plans of the original size, on mylar, showing all as-built conditions for the off-site and on-site improvements prior to certificate of occupancy.

Questions or comments: Brad S. Merrell, P E  
City Engineer  
Cell # 760-900-7526  
bmerrell@ci.monrovia.ca.us



# DATA SHEET 3

# Findings

Conditional Use Permit CUP2020-0001 (Other Use – A Vintage Clothing Artisan Workshop with a Live/Work Unit and Incidental Retail Sales)

721 South Shamrock Avenue

## CONDITIONAL USE PERMIT

As required by Section 17.52.290 of the Monrovia Municipal Code, the decision for granting Conditional Use Permit No. CUP2020-0001 for the adaptive reuse of an existing commercial building for a Vintage Artisan Workshop with a live/work unit and incidental retail sales at 721 South Shamrock Avenue is based on the following findings:

- A. The project site is adequate in size, shape and topography for the adaptive reuse of an existing commercial building for a Vintage Artisan Workshop with a live/work unit and incidental retail sales. *The subject site totals approximately 11,452 square feet in area. The topography of this area is relatively flat. The proposed use will utilize the existing building as well by dividing the existing space into the three components of the project proposal: workshop, live/work, and incidental retail.*
- B. The project site where the adaptive reuse of an existing commercial building for a Vintage Artisan Workshop with a live/work unit and incidental retail sales will be located has sufficient access to streets and highways and is adequate in width and pavement type to carry the quantity and quality of traffic generated by the proposed use. *The existing building is located on the northwest corner of East Walnut Avenue and South Shamrock Avenue. Two driveways provide ingress and egress access to the site; one is located on South Shamrock Avenue, the other is located on East Walnut Avenue. Although the commercial building is situated within a residential neighborhood, the proposed commercial use of the building will be operated on a limited basis of 9:00 AM to 6:00 PM Monday through Friday for the Workshop. The Incidental Retail Sales shall be limited to 12:00 PM (noon) to 6:00 PM Monday through Friday and by appointment as needed, provided that no appointments shall occur after 9 PM. as required by Condition of Approval #23 The existing parking lot onsite will be improved to accommodate 6 parking stalls for the commercial use with one of those spaces dedicated to the live/work unit. Condition #18 on Data Sheet 1 requires that no required parking area shall be fenced-off or otherwise enclosed for outdoor storage.*
- C. The adaptive reuse of an existing commercial building for a Vintage Artisan Workshop with a live/work unit and incidental retail sales is compatible with the General Plan, and will not adversely impact the objectives of the General Plan. *The project was designed in compliance with the newly adopted Planned Development - Area 66 (PD-66) land use and zoning designation standards and guidelines. Furthermore, CUP2020-0001 contains several conditions of approval on Data Sheet 1 to ensure the proposed use is compatible with the surrounding neighborhood. Specifically, Condition of Approval #23 sets limits on the business hours of operation; Condition of Approval #26 limits business delivery hours; Condition of Approval #24 and #25 are intended to reduce impacts to the*

*neighborhood by restricting all business activity to be conducted entirely within an enclosed building and that no machine noise shall be audible from outside the building, respectively. Lastly, Condition of Approval #31 requires the Development Review Committee (DRC) to review the use within six months from the date the business commences, and determine if ongoing review is required annually thereafter. This DRC review will focus primarily on compliance with the conditions of approval and the PD-66 standards and regulations related to any adverse impacts upon the surrounding properties. The adaptive reuse of an existing commercial building for a Vintage Artisan Workshop with a live/work unit and incidental retail sales will comply with the applicable provisions of the zoning ordinance. The project was designed in compliance with the newly adopted Planned Development - Area 66 (PD-66) land use and zoning designation standards and guidelines. Furthermore, CUP2020-0001 contains several conditions of approval on Data Sheet 1 to ensure the proposed use is compatible with the surrounding neighborhood. Specifically, Condition of Approval #23 sets limits on the business hours of operation; Condition of Approval #26 limits business delivery hours; Condition of Approval #24 and #25 are intended to reduce impacts to the neighborhood by restricting all business activity to be conducted entirely within an enclosed building and that no machine noise shall be audible from outside the building. Lastly, Condition of Approval #31 requires the Development Review Committee (DRC) to review the use within six months from the date the business commences, and determine if ongoing review is required thereafter. This DRC review will focus primarily on compliance with the conditions of approval and the PD-66 standards and regulations related to any adverse impacts upon the surrounding properties.*

- D. The granting of the conditional use permit for the adaptive reuse of an existing commercial building for a Vintage Artisan Workshop with a live/work unit and incidental retail sales and the conditions under which it will be operated or maintained will not be detrimental to the public health, safety or welfare, nor will it be materially injurious to properties or improvements in the vicinity. *The project was designed in compliance with the newly adopted Planned Development - Area 66 (PD-66) land use and zoning designation standards and guidelines. Furthermore, CUP2020-0001 contains several conditions of approval on Data Sheet 1 to ensure the proposed use is compatible with the surrounding neighborhood. Specifically, Condition of Approval #23 sets limits on the business hours of operation; Condition of Approval #26 limits business delivery hours; Condition of Approval #24 and #25 are intended to reduce impacts to the neighborhood by restricting all business activity to be conducted entirely within an enclosed building and that no machine noise shall be audible from outside the building. Lastly, Condition of Approval #31 requires the Development Review Committee (DRC) to review the use within six months from the date the business commences, and determine if ongoing review is required annually thereafter. This DRC review will focus primarily on compliance with the conditions of approval and the PD-66 standards and regulations related to any adverse impacts upon the surrounding properties.*

As required by the Planned Development – Area 66, the decision for approving the proposed use and development of the site is based on the following findings:

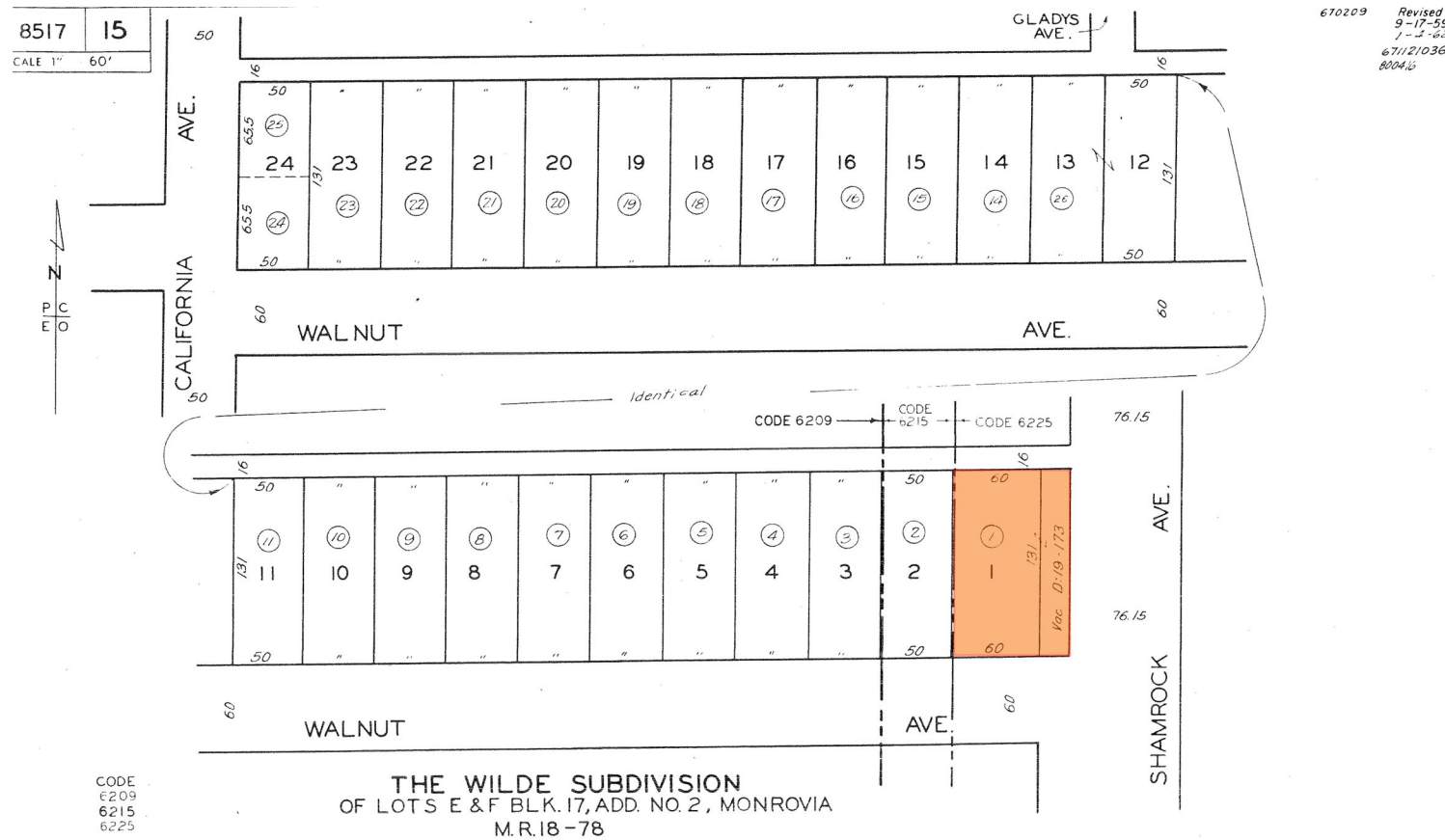
- A. Preservation. The project furthers the preservation and restoration of Route 66 roadside commercial properties by allowing a use that requires minimal change to the character defining features of the building and its site environment. *To further the preservation, rehabilitation, and restoration of the existing building, the applicant is proposing minimal changes to the building's exterior. The building footprint will remain unchanged, as the Vintage Artisan Workshop will be fully contained within the existing building. The character-defining features on each of the building's elevations will be preserved and protected in place. Those features include the building's façade composition, corner location, street orientation, stucco exterior, decorative trim within the windows, tile roof, gasoline pumps, and the angled corner entry that faces the intersection.*

*The project promotes the long-term economic viability of the property. The proposed Vintage Artisan Workshop with the live/work unit and incidental retail sales will promote the long-term economic viability of the property.*

- B. The project proposes a use that will be compatible with the surrounding residential neighborhood. *The proposed project has been carefully designed to minimize potential impacts to the surrounding neighborhood. The business utilizes smaller vintage sewing machines, which minimizes the amount of noise produced. Additionally, with the limited number of employees and limited hours of operation the commercial impact on the residential neighborhood will be minimal.*

*To ensure the business operation will have minimal impact on the surrounding neighborhood, Conditions of Approval #17 through #31 on Data Sheet 1 are proposed to regulate parking, hours of operation, noise, security, and business deliveries*

# 721 South Shamrock Ave Monrovia, CA 91016



## ASSESSOR MAP

## SHEET INDEX

Sheet Number	Sheet Name
A0.00	COVER SHEET
A0.01	EXISTING SITE PHOTOS
A0.02	BUSINESS OPERATIONS STATEMENT
A0.03	EQUIPMENT PHOTOS
A0.04	PROPOSED 3D VIEWS
A2.01	EXISTING SITE PLAN
A2.02	EXISTING FLOOR PLANS - ENLARGED - 1
A2.03	EXISTING FLOOR PLANS - ENLARGED - 2
A2.04	EXISTING ROOF PLAN
A2.11	PROPOSED USE DIAGRAM
A2.12	PROPOSED SITE PLAN
A2.13	PROPOSED RESIDENTIAL AND RETAIL AREA
A4.01	EXISTING BUILDING ELEVATIONS - 1
A4.02	EXISTING BUILDING ELEVATIONS - 2
A4.03	EXISTING BUILDING ELEVATIONS - 3
A4.10	PROPOSED SOUTH & WEST ELEVATIONS
A4.11	PROPOSED EAST ELEVATION
A5.01	EXISTING SECTION

### PROJECT INFORMATION:

Site Address	721 S Shamrock Ave. Monrovia, CA 91016
Assessor ID Number	8517-015-001
Year Build:	1927
Lot/Parcel Area (Calculated)	10,012 sq.ft.
Building Area (Calculated)	5,038 sq.ft.
Zoning:	PD-66



5



2



4



1



7



3



6

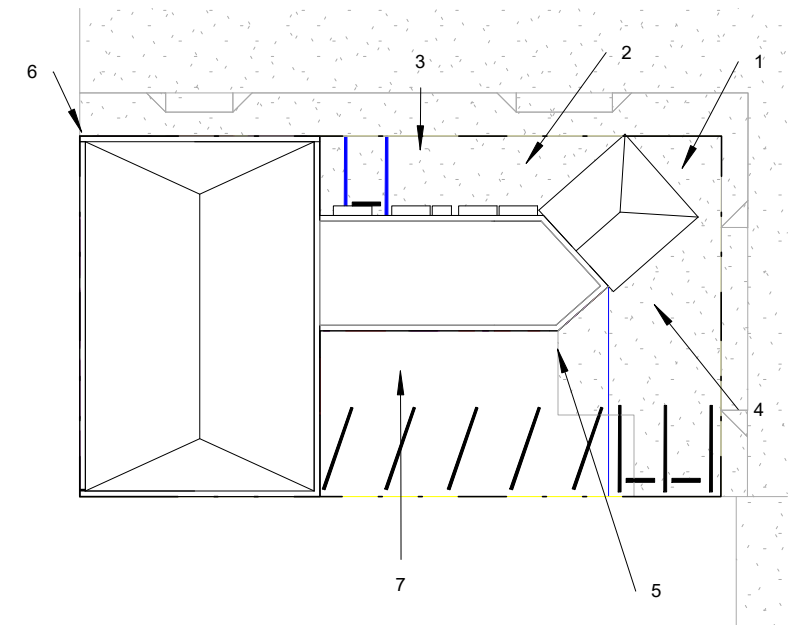


PHOTO KEY MAP  
1" = 40'-0"

# BUSINESS OPERATIONS STATEMENT

RUNABOUT CREATES MODERN INTERPRETATIONS OF CLASSIC DAILY WEAR AND PROGRESSIVE ADVENTURE GOODS. Runabout is an American Made casual wear brand which combines the manufacturing principles of bygone eras with current styling. We make a wide range of iconic outdoor lifestyle tops, from Parkas, Anoraks, and sweatshirts to the perfect tubular T-Shirt. We believe in well-made wearable and durable goods utilizing a progressive styling approach that can withstand the test of time. We create versatile adventure gear that blends tradition, style and function.

Runabout Goods was launched, and the concept is a simple one. In terms of progression within our arena of vintage style and well-made goods, the move from pre-war denim and work wear, to the classic outdoor American styles of the 1950's and 1960's, was the perfect move. The need for rugged hard-wearing quality is the same, yet the color palette and range of design concepts is far broader ranging in our opinion. Even our love of vintage vehicles has been satisfactorily catered for. The hot rods and 1937 Ford pickup truck have given way to an early Land Rover Series II.

ALL OF OUR GARMENTS ARE CURRENTLY DESIGNED IN OUR WORKSHOP IN EAGLE ROCK, CALIFORNIA. We only use machinery that is true to the quality of our garments and the era of which they were inspired. Our sewing machines are turn of the century works of art that have held up over the test of time and use.

We develop our initial concepts in our tailor shop and once we've achieved the final sample then we take the handmade pattern for digitizing and cutting into small batch production runs to be manufactured in the greater LA area or if manageable, in our shop. For this reason the operation is very lean. the whole staff is comprised of two individuals, myself and a master tailor, my wife who steps in from time to time to take care of various needs when required. We develop products such as

Chino Twill Pants, Cargo Pants, Sweatshirts, T-shirts, Button front shirts, Jackets, Anoraks, Vests, Hats, Accessories

## Space usage

The front of the gas station will be utilized as our Retail Shop. We will have an ADA-compliant bathroom and a retail shop that pays homage to the time period of the building's heritage. The 1930's and 40's are considered to many as the Golden Age of the motoring culture and this aesthetic is at the core of the company's visual language. We will celebrate the rich history of the Flying A Station and its location on the historic route 66 by maintaining the gas station and Petroliana design details in the store design. Period correct antique display units and counters as well as the small details like Pendant schoolhouse lights and wall treatments. The pumps will be restored, and they will once again be source of pride for the community of Monrovia. I'm currently looking into locating a set of Flying A signs for the future possibility of having them installed outside the gas station as they would have been back in the day.

## Living Quarters

I intend to live on the portion of the building that is sandwiched in between the large shop and the front gas station. This allocated area consisting of (?square feet) is ample space for my wife and I as a residence. Mr. Norberto F. Nardi, AIA and his team have created a floor plan that involves a minimal disruption to the existing space while striking a balance with comfort and practicality.

## Shop

The large shop building will house our tailor shop where we develop our samples to be used to show how they should be made for the local manufacturers in the LA area. We also manufacture small batch limited release runs of various garments in the range of 15 to 25 pieces which we can claim to be Monrovia made.

My design office will be in the existing office that has been built as a partition back in the 30's. The majority of the space in this building will be used for our fabric stock, Garment inventory and shipping area, we also have a growing online shop business and the packing/shipping will be done from the large garage part of the building where we plan to have our production stock on shelves ready for shipping.

There will be a section of the shop that will be left intact as it was once looked in the original workshop many decades ago. this area is the workbench running along the north side wall of the large building as we intend to use it to attract location scouts for the movie business to be used as a location for filming. This area will be strictly for filming props and a perfect visual set for this purpose.

I have two classic non-working full-size vehicles to use as filming props that will be housed in this area to further compliment the richness of the environment.

## Location for film shooting

We intend to make the space available for various film productions on a case by case scenario or as schedule permits. This will further contribute to the spreading of Monrovia's rich heritage to a worldwide audience. This service and funds generated from it will help with the costs of rebuilding or restoring this grand old lady to its bygone glory days and perhaps enhancing its beauty even further.

## Community relations

We sell the goods to various retailers around the world from Asia, Australia, and Europe and due to this we have created a loyal customer following that will make the pilgrimage to visit our iconic shop so they witness the process and complete they're unique experience to the fullest. I look forward to integrating Runabout to the Monrovia community by passing out informational fliers to local businesses such as Trader Joes, 24-Hour Fitness, Worley and others throughout the neighborhood to introduce ourselves and our locally made goods as a source of pride for the community. We plan on giving special pricing to Monrovia residents with proof of residence, this is just one way that we plan on giving back and integrating as well into the community.

## Hours of operation

The location is perfect for our needs. It has the proper visual aesthetic which lends to our brand's ethos. We are a destination Brand which means that foot traffic is not important for our business model, but we welcome walk-ins and we take the time to answer questions about what we do and why we do it our way.

Working hours are from, 9AM to 6PM Monday to Friday

Retail Shop Hours from 12PM to 6PM or by appointment.

## Parking

Due to the nature of our business model, we do not require excessive amount of parking. We have plenty of parking on the premises from the Canopy which can accommodate up to 4 cars. Parking pad in front on the west side of the property before the gate will become handicap parking. Inside the gated courtyard there is ample parking for up to 5 spots. Curb side parking up to 6 cars

## Trash

We generate very little trash due to our business model. We are a tailor shop and we mainly develop

garments to be manufactured locally and due to this we don't use a lot of resources. One or two regular trash cans, one for trash and one for recycle would be perfect for our needs as we very seldom fill up a single trash can.

## Delivery

We will accept delivery of small packages either in the retail store or the back gate. Most of our

delivery services are small packages, and very seldom do we get bobtail trucks to deliver full size fabric rolls.



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4



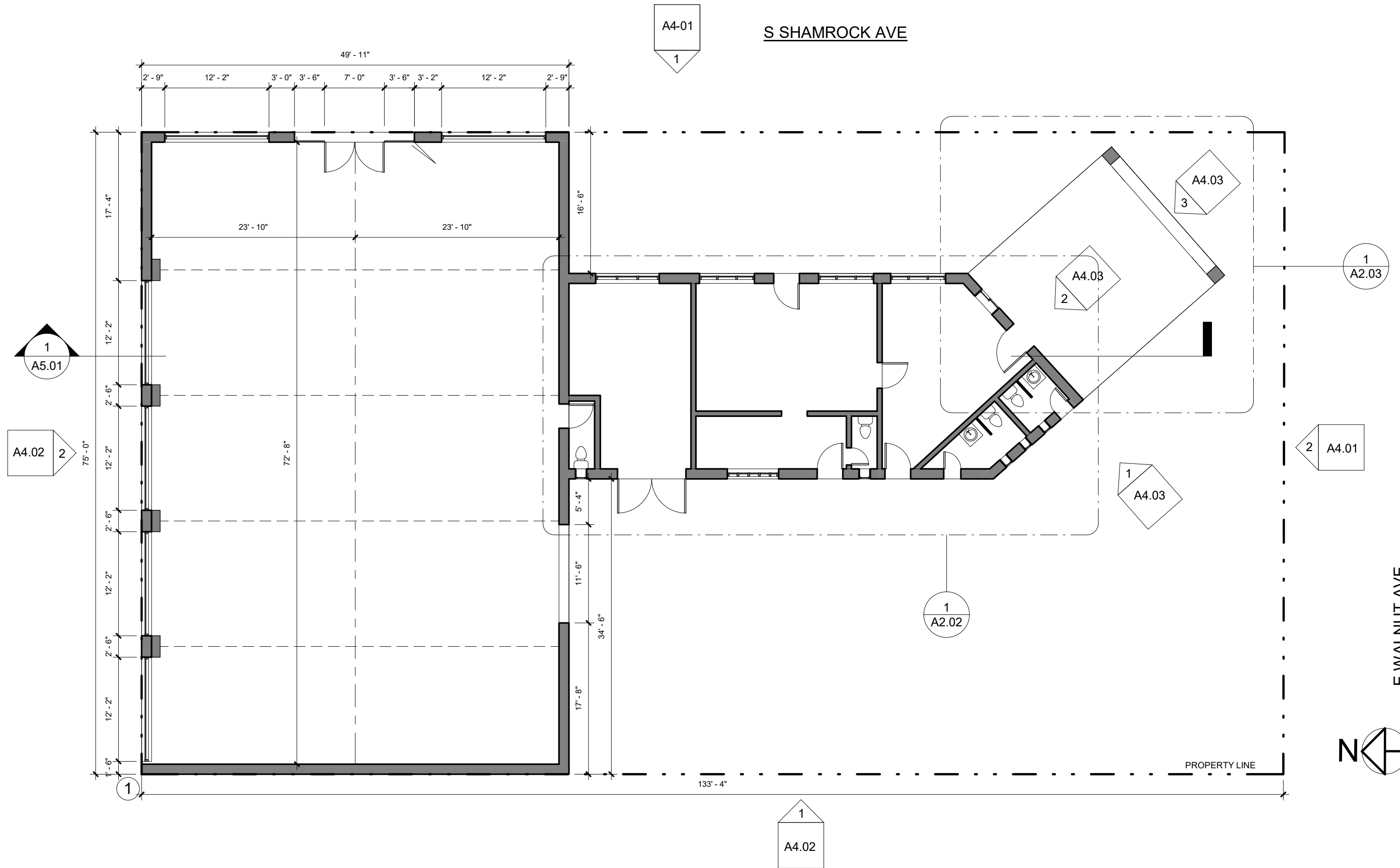
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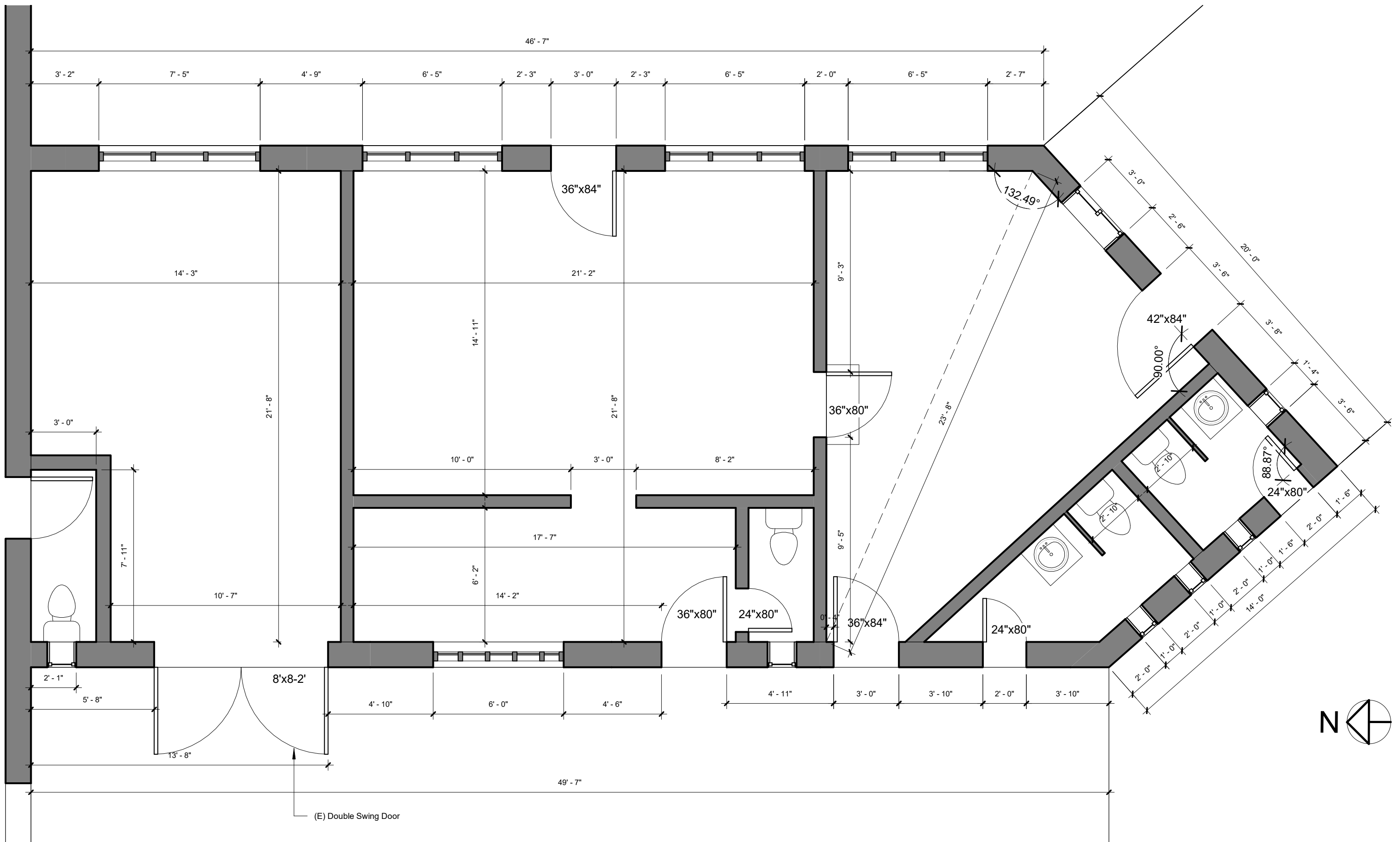


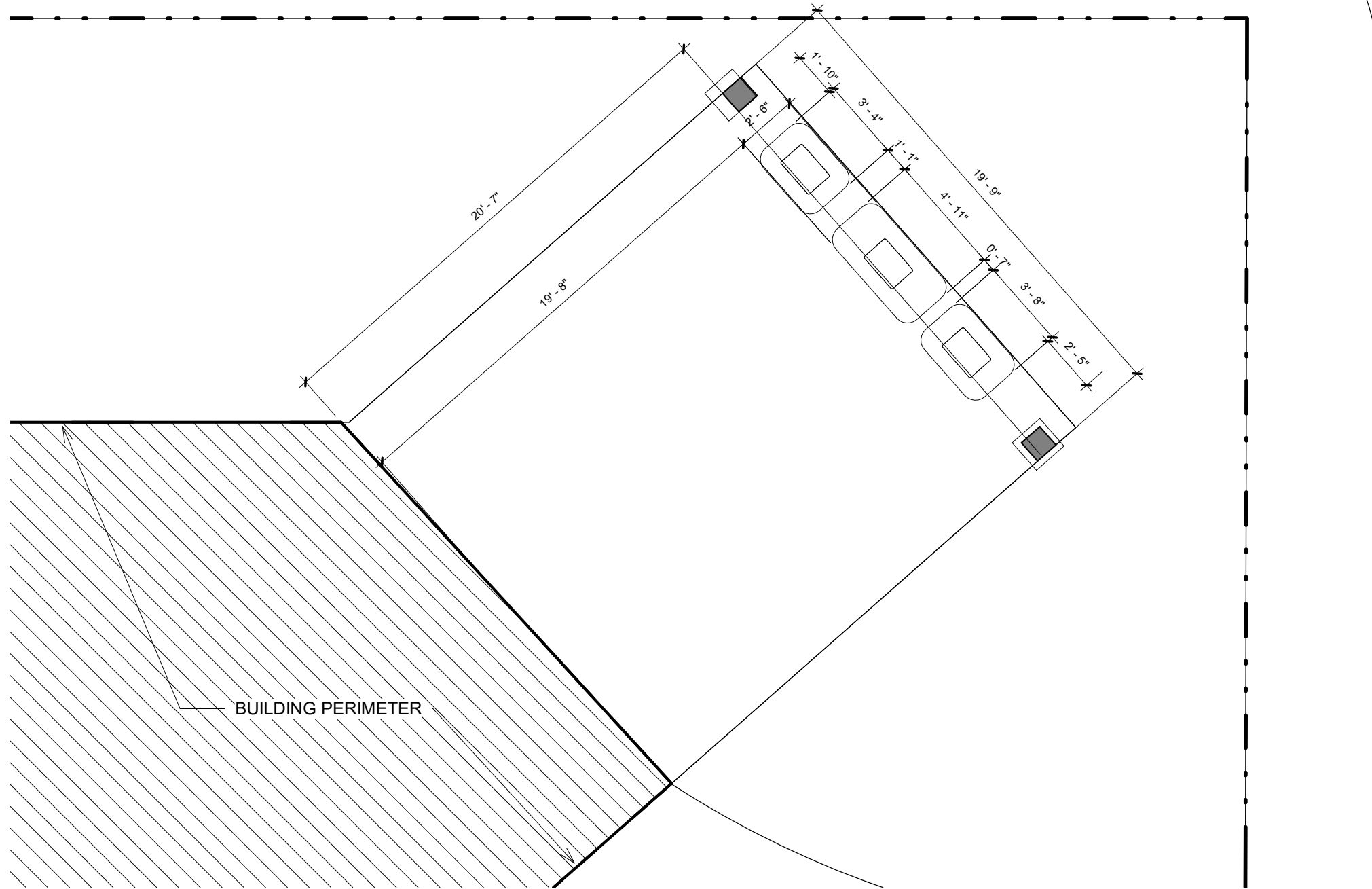


S SHAMROCK AVE

E WALNUT AVE

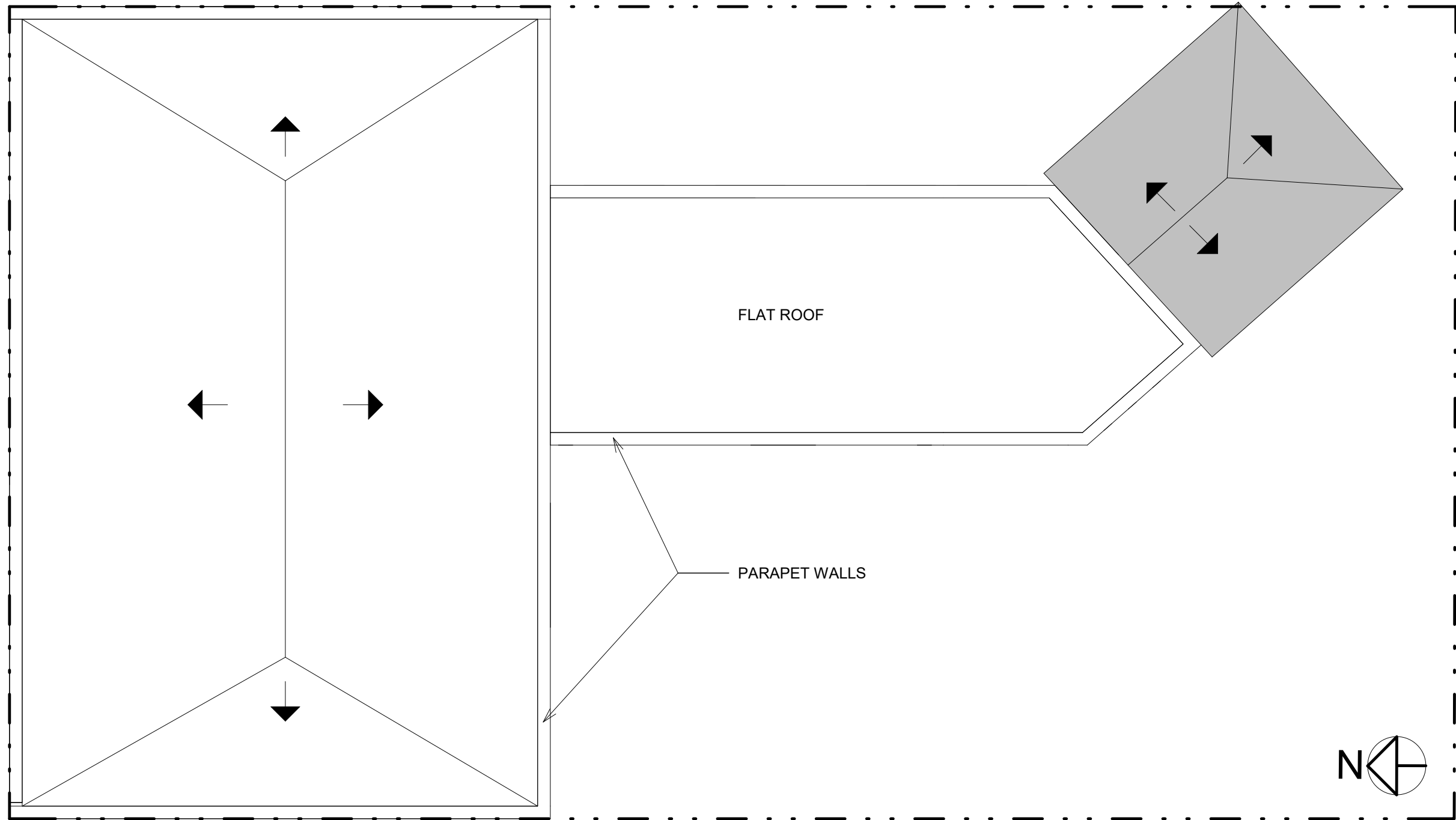






1 GROUND - EXTERIOR  
 3/16" = 1'-0"

A4-01  
1



A4.02  
2

A4.01  
2

FLAT ROOF

PARAPET WALLS

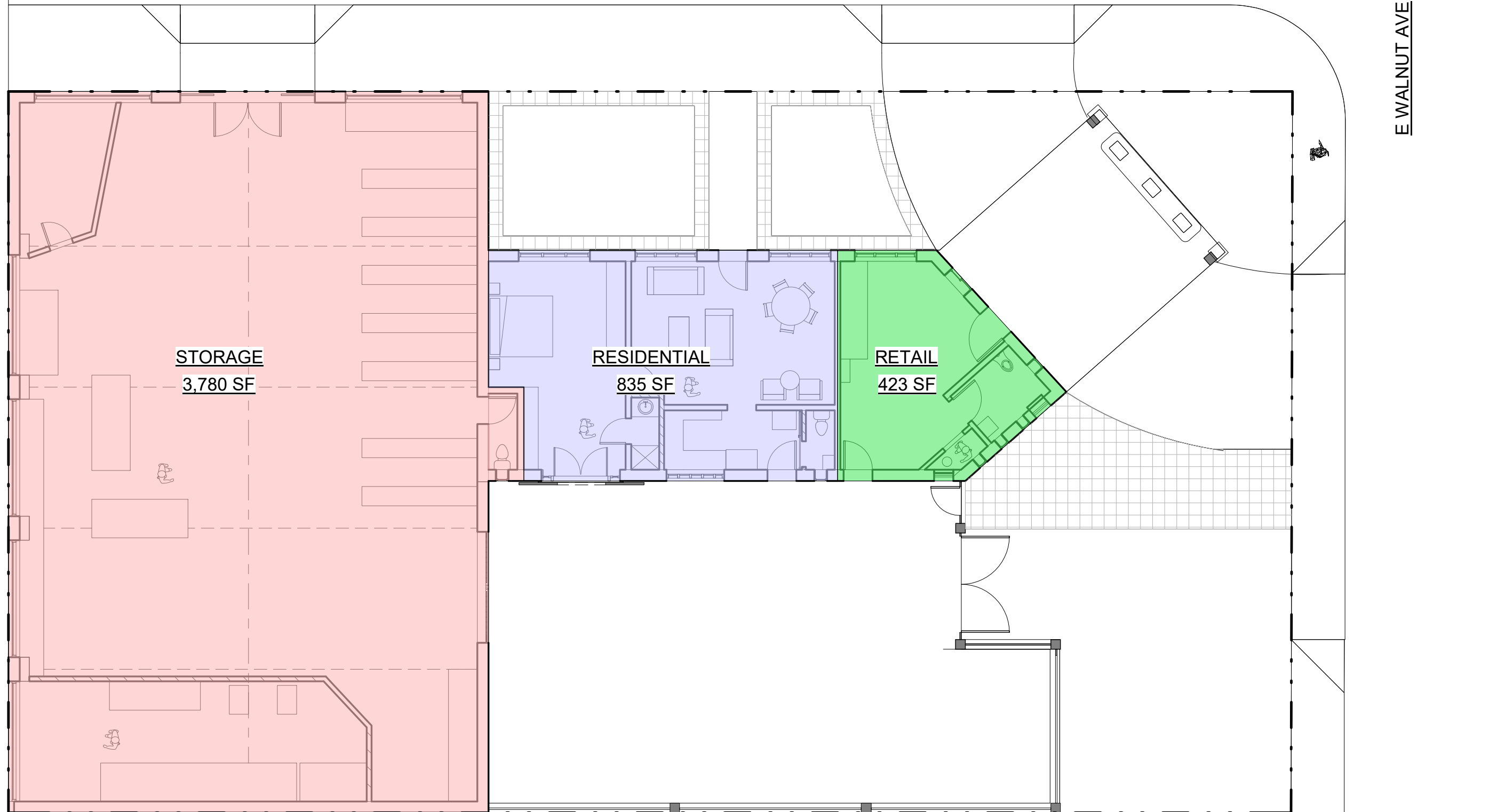


NOTE: EXISTING ROOFS TO REMAIN

1  
A4.02

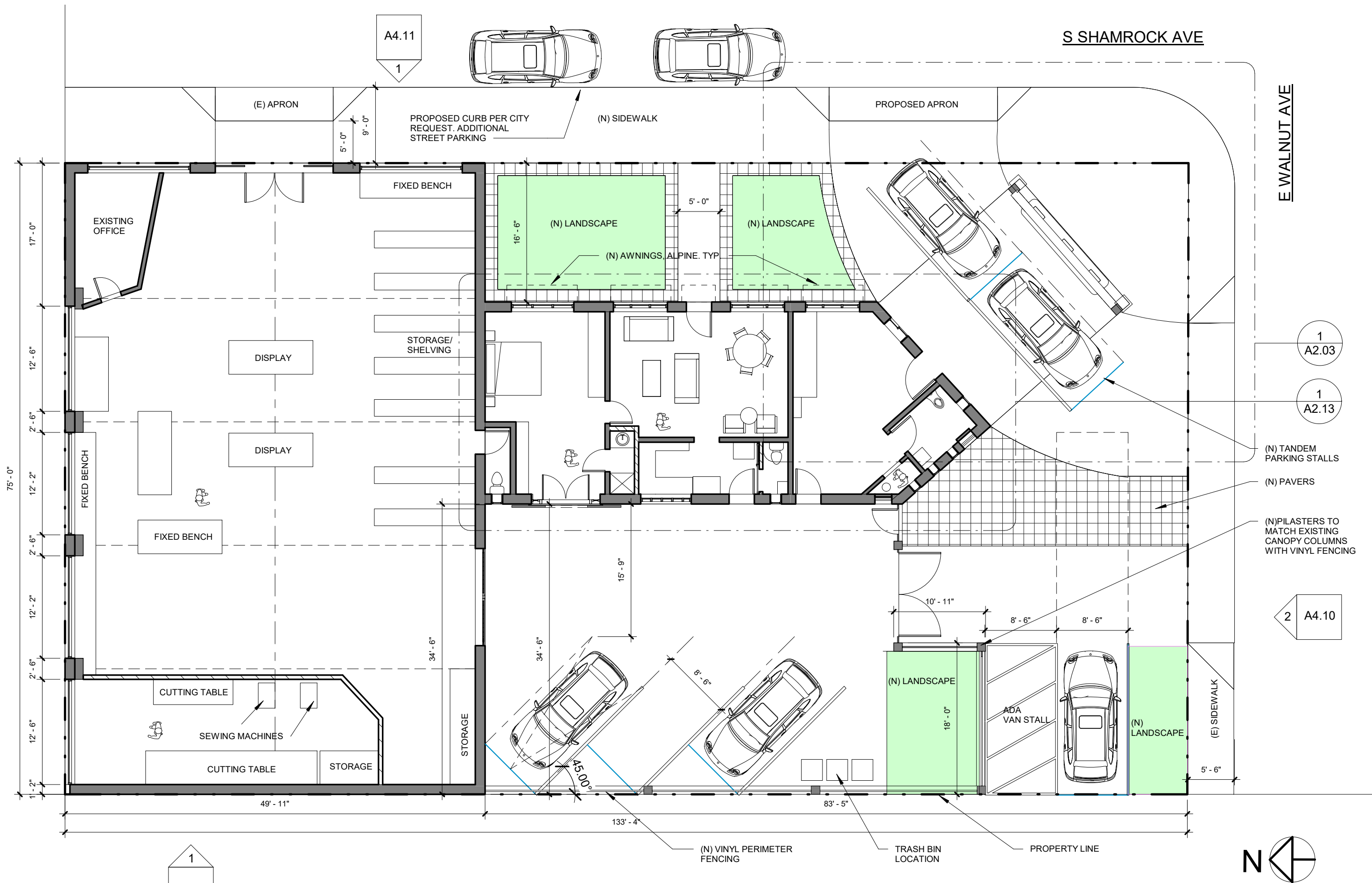
S SHAMROCK AVE

E WALNUT AVE



1 PROPOSED USE DIAGRAM  
3/32" = 1'-0"





S SHAMROCK AVE

E WALNUT AVE

A4.11  
1

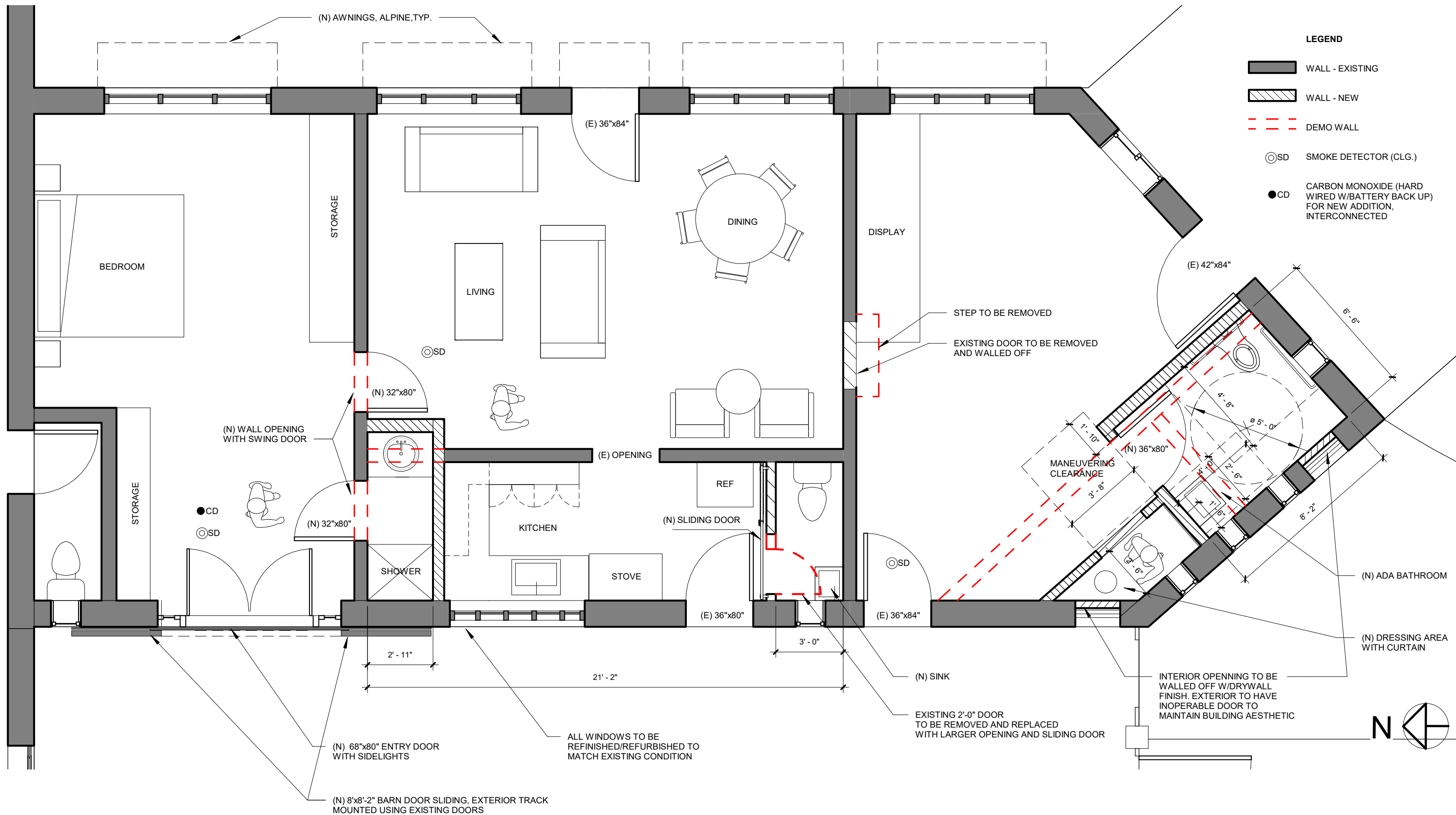
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A2.03

1  
A2.13

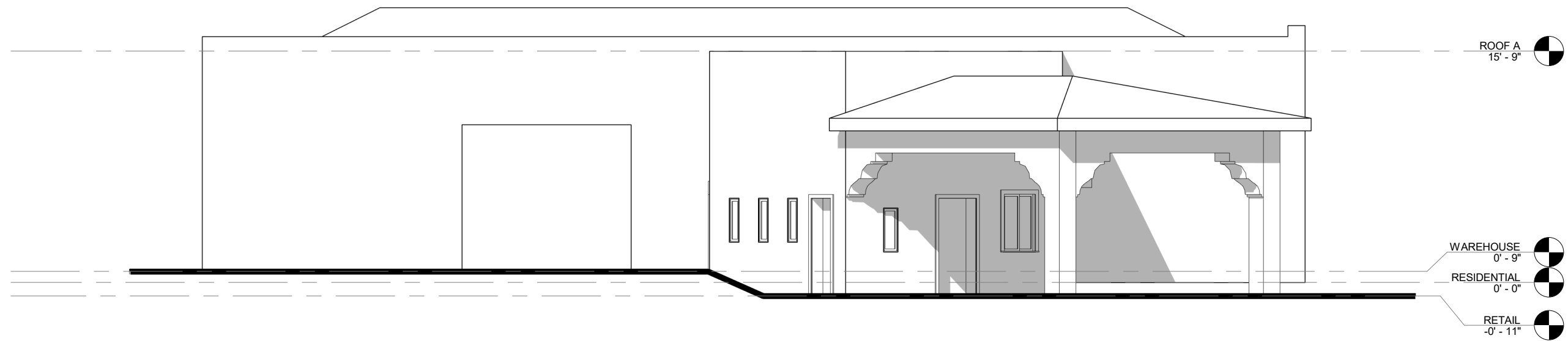
2  
A4.10

1  
A4.10

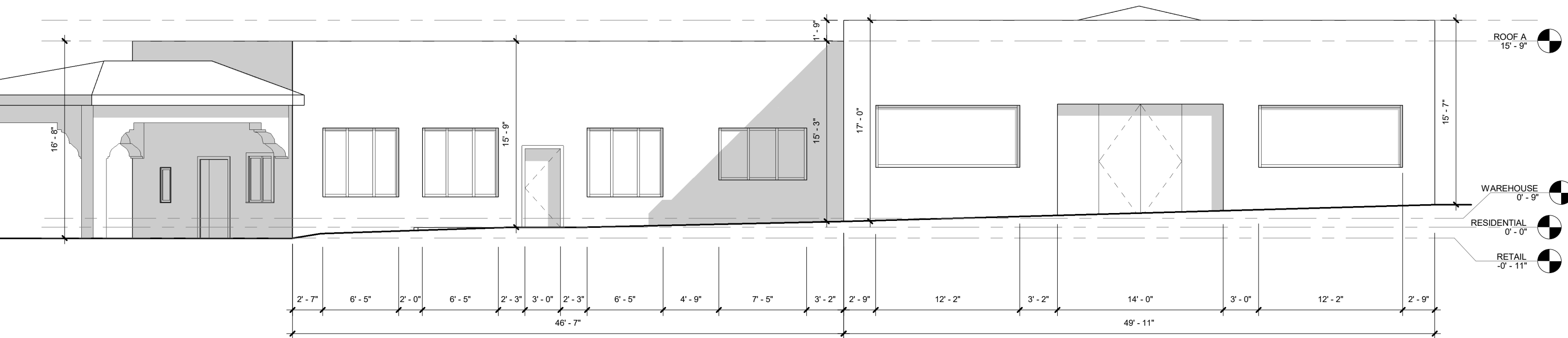




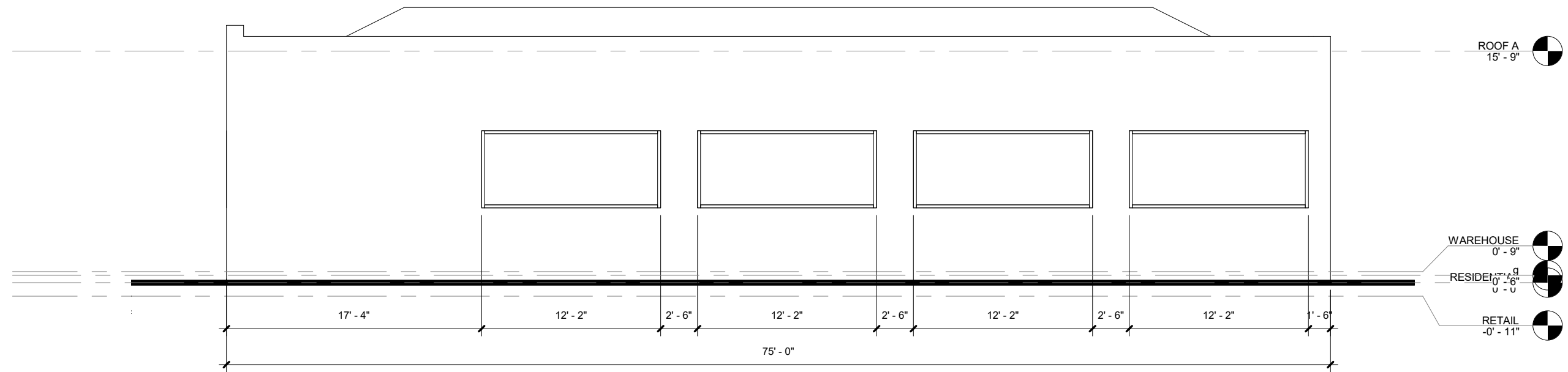




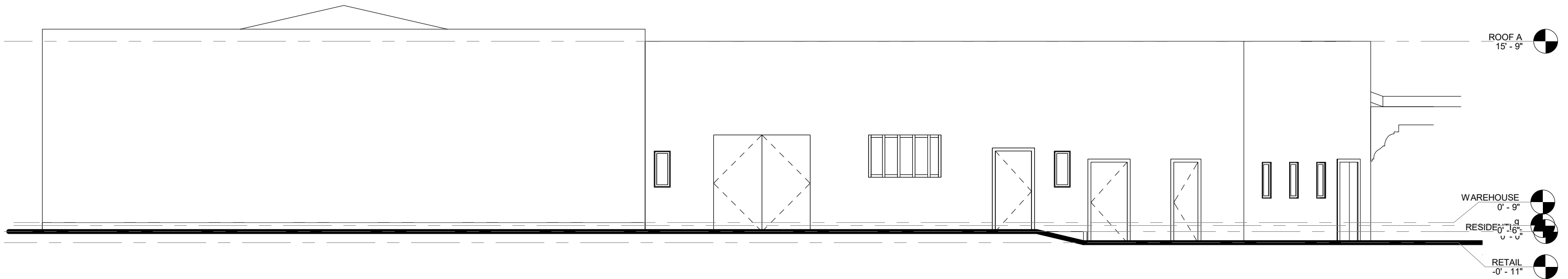
② ELEVATION - SOUTH  
1/8" = 1'-0"



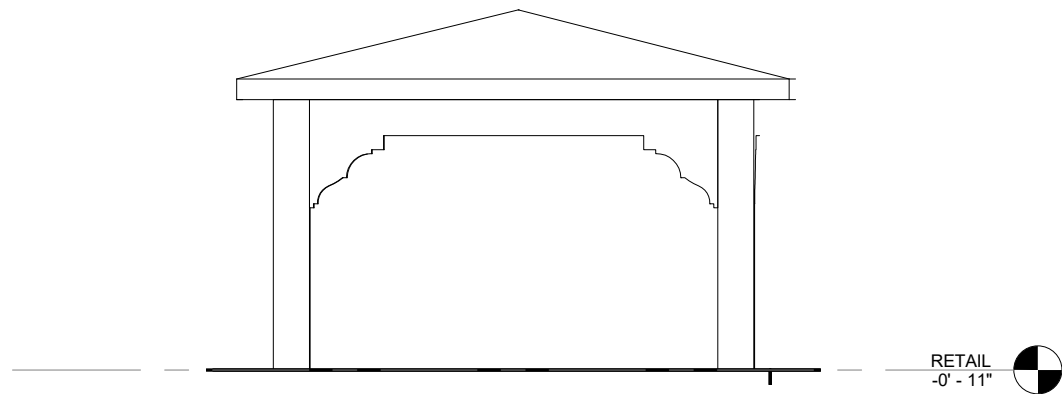
① ELEVATION - EAST  
1/8" = 1'-0"



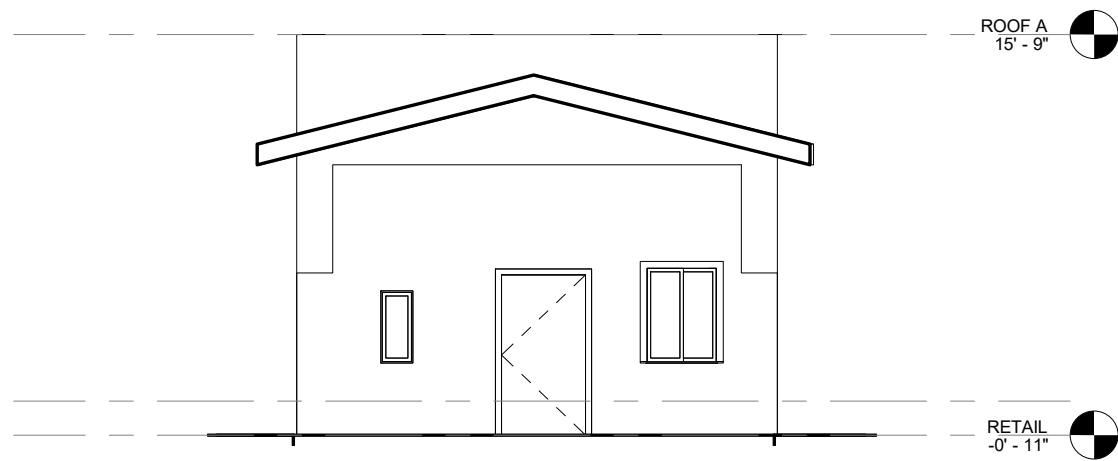
② ELEVATION - NORTH  
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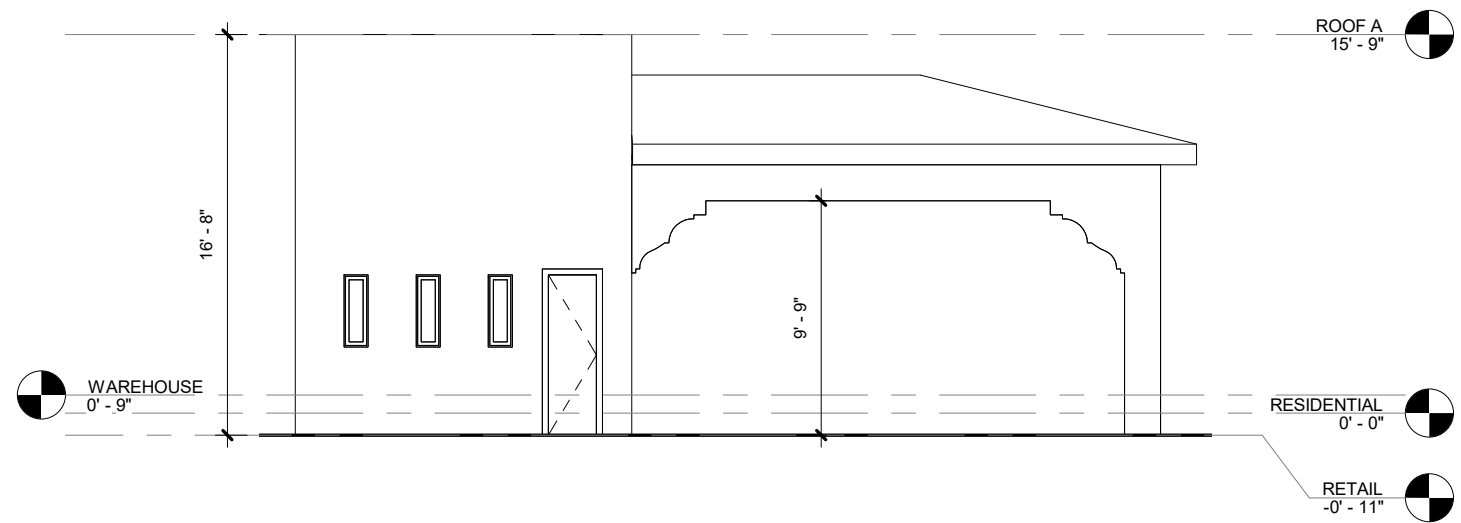
① ELEVATION - WEST  
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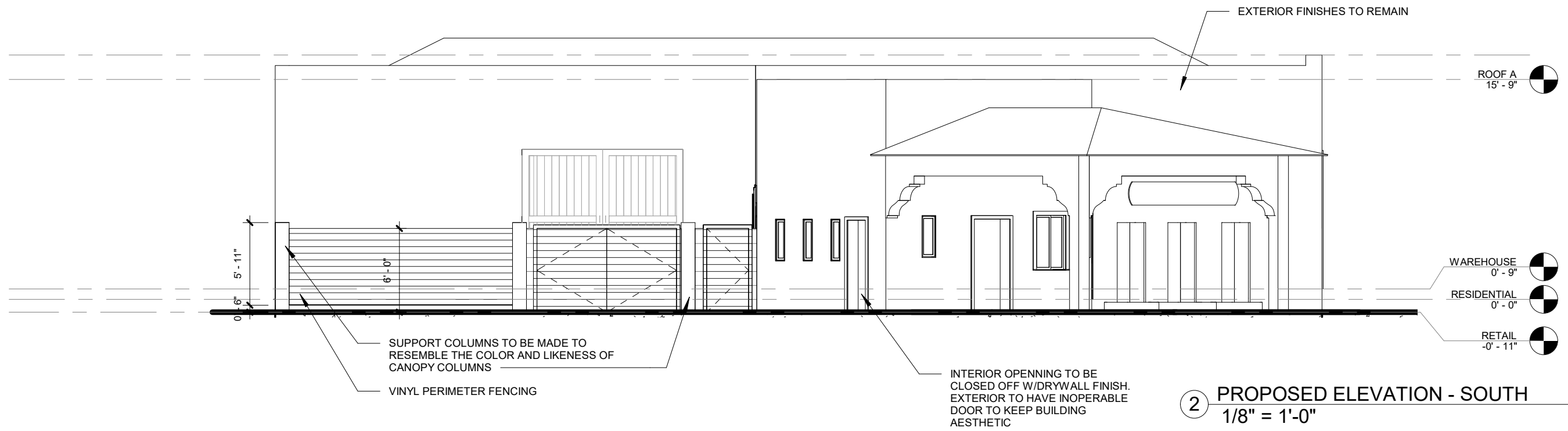
③ Elevation 3 - a  
1/8" = 1'-0"



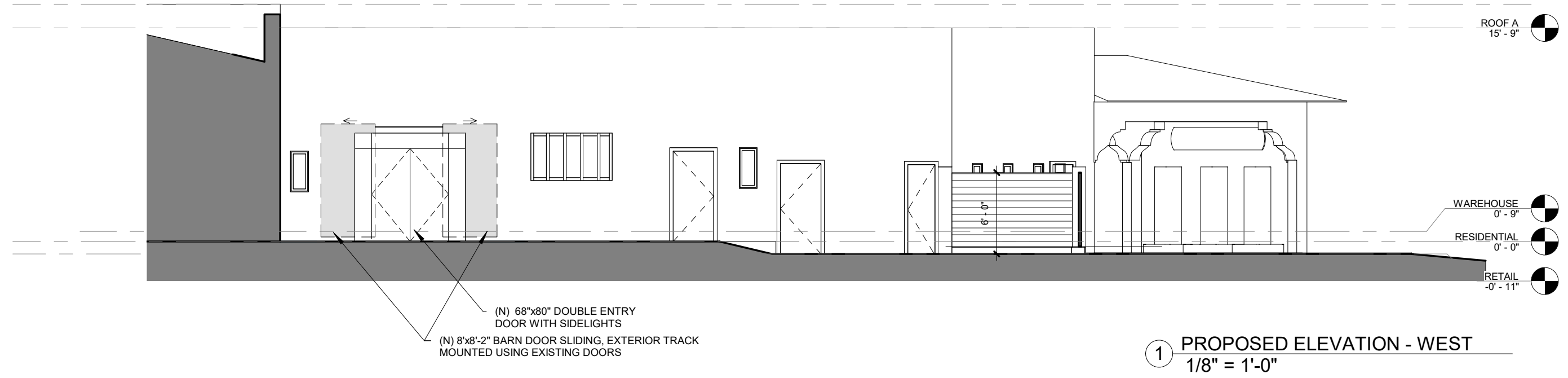
② Elevation 2 - a  
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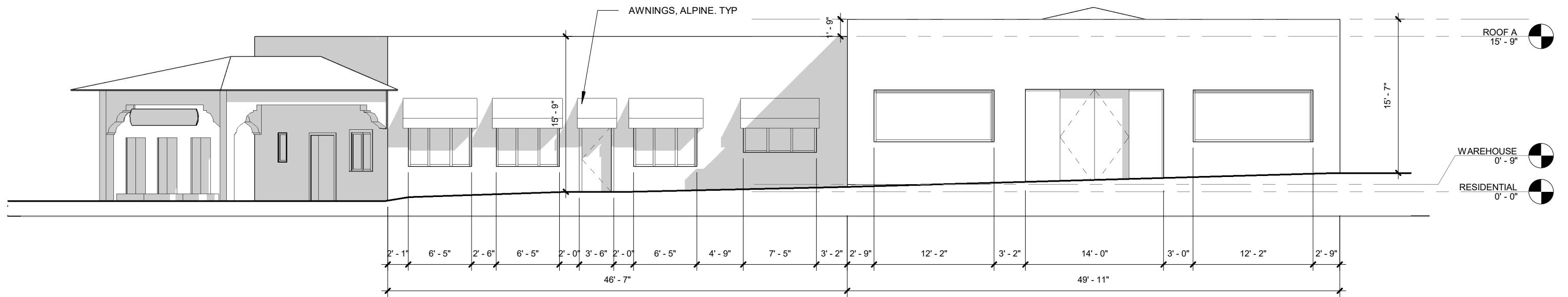
① Elevation 1 - a  
1/8" = 1'-0"



2 PROPOSED ELEVATION - SOUTH  
1/8" = 1'-0"



1 PROPOSED ELEVATION - WEST  
1/8" = 1'-0"



① PROPOSED ELEVATION - EAST  
1" = 10'-0"

