



HISTORIC PRESERVATION COMMISSION STAFF REPORT

APPLICATION: COFA2020-0001

AGENDA ITEM: AR-1

PREPARED BY: Teresa Santilena
Associate Planner

MEETING DATE: February 26, 2020

TITLE: Certificate of Appropriateness CofA2020-0001; HL-143/MA-133
228 West Olive Avenue

APPLICANT: John and Megan Ferrell
228 West Olive Avenue
Monrovia, CA 91016

REQUEST: A Certificate of Appropriateness (COA) to rebuild a raised deck on the south (rear) exterior of the home.

ENVIRONMENTAL DETERMINATION: Categorical Exemption (Class 31)

BACKGROUND: The property at 228 West Olive Avenue is a single-story Folk Victorian home that was built in 1887. The house has typical Folk Victorian elements including a steeply pitched gabled front and wing roof system with boxed eaves and eave returns, elongated wood framed double hung windows, and a decorative front porch. The home is clad in horizontal clapboard wood siding with cornerboards and sits on a raised river rock foundation.



Figure 1. View of the front and north elevation of Landmark No. 143. The project will rebuild a raised deck on the south elevation at the back of the

The City Council designated the property as Historic Landmark No. 143 on June 6, 2017, and approved Mills Act Contract No. 133 with the application. The designation was based on the finding that the home is a good example of the Folk Victorian style. According to the property's 2017 Department of Parks Recreation (DPR 523A) record form, the property has been altered through the construction of new accessory structures and additions to the rear of the home. The property owners have also completed several restoration projects, including a seismic retrofit, repair and painting of the exterior siding, and complete restoration of the front porch.

On February 7, 2020, the property owners submitted an application for a Certificate of Appropriateness to rebuild the raised deck in the rear of the home, which had been removed last year due to the damage it was causing to the structure of the house. The doors located on the back of the home are currently unusable and causing a potentially hazardous condition due to the three to four foot drop to the ground (Figure 2).



Figure 2. Photo of the rear of the house with the old deck removed. The French doors are not usable due to the sizable drop to the ground.

A floor plan of the deck indicates that it will span the entire rear elevation of the home and will be accessible from the house through two different sets of French doors (Figure 3). The deck will be built to wrap around an existing mature tree. The property owners are proposing a composite decking material that simulates wood with an accent color at the edge of the stairs to serve as a warning track (Figure 4). Iron spindle railings will be placed on the steps and landing areas with a composite top rail to match the decking. The areas of the deck that are lower to the ground are not proposed to have railings in order to create an area that is more open to the backyard.

ANALYSIS: Pursuant to Monrovia Municipal Code (MMC) Section 17.40.090(A), no alteration may be conducted at a Historic Landmark without first obtaining a Certificate of Appropriateness from the Historic Preservation Commission (HPC). The HPC may issue a Certificate of Appropriateness if it is determined that certain findings can be made regarding the proposed alteration. Based on staff's analysis of the project, the HPC can approve the alteration based on the following findings:

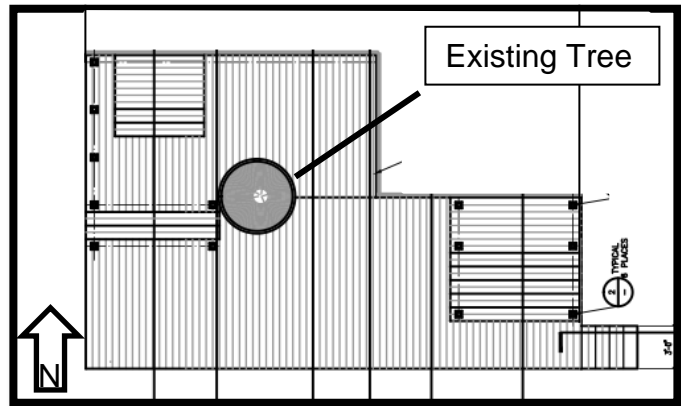


Figure 3. The floor plan of the proposed raised deck on the south elevation at the back of the house.



Figure 4. Composite decking material with accent color.

- *It will not adversely affect any significant historical, cultural, architectural or aesthetic feature of the concerned property or of the Historic District in which it is located;*

The alteration will not adversely affect significant features of the historic Folk Victorian house because the change would occur on the rear of the house, and is not visible from the public right-of-way. Furthermore, the deck is attached to an addition that was completed in 1980, and is not attached an original portion of the home. A new raised deck will be built, which will allow access to the backdoors of the home from the backyard.

- *The proposed change is consistent with or not incompatible with the architectural period of the building;*

The proposed change involves rebuilding a raised deck off the rear of the home that was permitted along with a rear addition in 1980. The City's Historic Context Statement states that minor additions that are not visible from the public right-of-way are acceptable. Since the deck is not located on the original portion of the

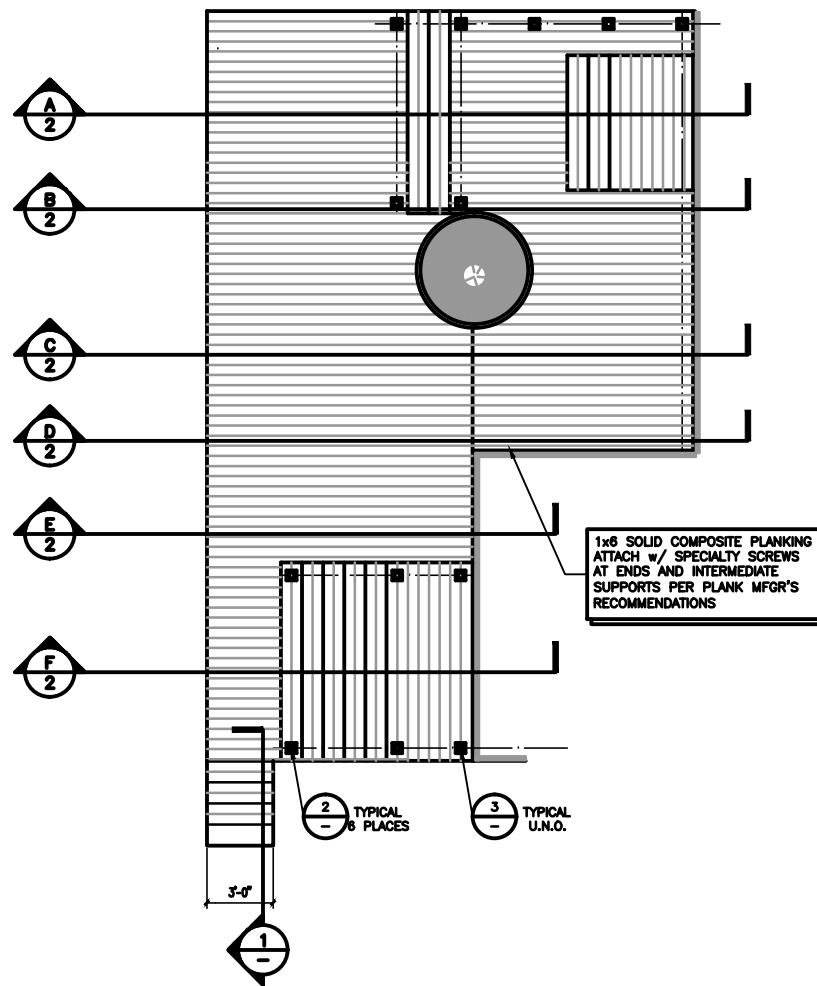
home and it is out of view, the proposed change is consistent and not incompatible with the architectural period of the building.

- *The scale, massing, proportions, materials, colors, textures, fenestration, decorative features and details proposed are consistent with the period and/or compatible with adjacent structures;*

The proportions, materials, colors, textures, and features will be consistent with the Folk Victorian period. The deck will be a composite laminate material that simulates wood and will have iron railings.

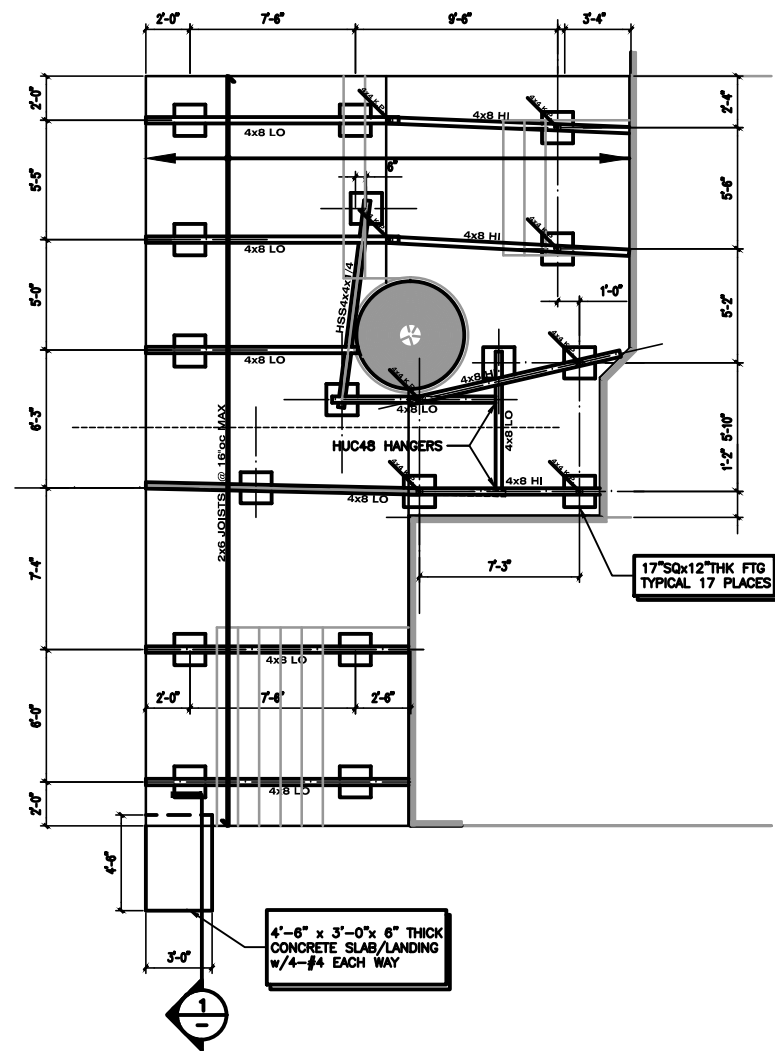
RECOMMENDATION: Staff has determined that the proposed project meets the findings for a Certificate of Appropriateness and recommends approval. If the Historic Preservation Commission concurs then, the appropriate action would be a motion to:

Approve Certificate of Appropriateness



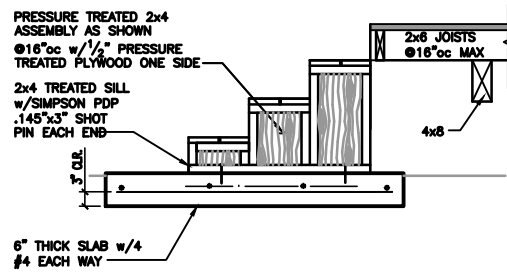
FLOOR PLAN

SCALE
1/4"=1'-0"



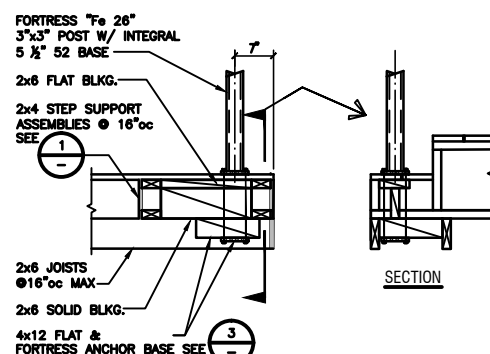
FOUNDATION & FRAMING PLANS

SCALE
1/4"=1'-0"



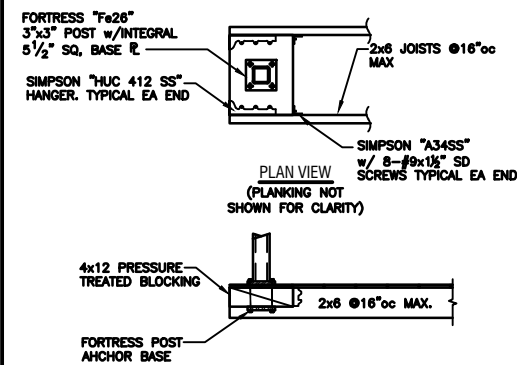
SECTION @ STEPS TO GRADE

1



RAIL POST TO BOTTOM STEP

2



RAIL POST BASE CONNECTION

3

GENERAL NOTES

1. MATERIALS AND WORKMANSHIP TO CONFORM TO THE 2016 EDITION OF THE CBC WITH AMENDMENTS AS ADOPTED BY THE CITY OF MONROVIA.
2. CONTRACTOR TO PROVIDE ALL MATERIALS, EQUIPMENT, SHORING, BRACING, ETC., NEEDED TO COMPLETE THE WORK SAFELY AND SHALL BE FULLY RESPONSIBLE FOR THE SAFETY OF ALL PERSONS WHO COME IN CONTACT WITH THE WORK.
3. DETAILS ON THE DRAWINGS ARE MEANT TO SHOW TYPICAL CONDITIONS AND SHALL APPLY TO SIMILAR SITUATIONS ELSEWHERE, UNLESS NOTED OTHERWISE.
4. CONTRACTOR TO VERIFY ALL DIMENSIONS AND CONDITIONS AT THE JOBSITE, CONFLICTS BETWEEN THE DRAWINGS AND FIELD CONDITIONS SHALL BE BROUGHT TO THE ENGINEER'S ATTENTION SO THAT REMEDIAL WORK CAN BE PROVIDED.

CONCRETE

1. PORTLAND CEMENT SHALL CONFORM TO ASTM C150, TYPE I/II.
2. AGGREGATES SHALL CONFORM TO ASTM C33 WITH SHRINKAGE CHARACTERISTICS CONFORMING TO ASTM C157, NOT MORE THAN 0.04% @ 28 DAYS.
3. PROVIDE A MINIMUM OF 5 SACKS OF CEMENT PER CUBIC YARD OF CONCRETE. MAXIMUM WATER-CEMENT RATIO FOR SLABS SHALL BE 0.50". CONCRETE SHALL ATTAIN THE FOLLOWING STRENGTHS AT 28 DAYS:
FOOTINGS2500 PSI
SLAB-ON-GRADE2500 PSI

REINFORCING

1. REINFORCING SHALL BE A615 GRADE 40 KSI STEEL FOR DEFORMED BARS #4 AND SMALLER, 60 KSI FOR DEFORMED BARS #5 AND LARGER. MESH REINFORCING SHALL CONFORM TO ASTM A-185.
2. REINFORCING MAY BE SPLICED BY LAPPING BARS 48 DIAMETERS.
3. PROVIDE 3" MINIMUM CONCRETE COVER FOR REINFORCING AT CONCRETE CAST AGAINST OR BELOW GRADE, 1 1/2" ELSEWHERE.

STRUCTURAL STEEL

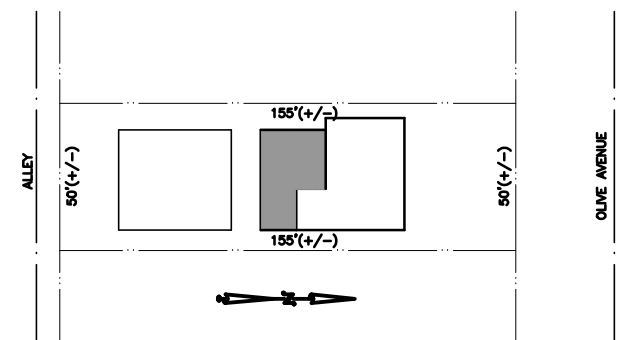
1. WIDE FLANGE SHAPES TO BE ASTM GRADE A992. ANCHOR BOLTS TO BE GRADE A307. MACHINE BOLTS TO BE GRADE A325. STEEL TUBES SHALL CONFORM TO ASTM A-500 GRADE B. STEEL PIPES SHALL CONFORM TO ASTM A-53 GRADE B. OTHER SHAPES SHALL CONFORM TO ASTM GRADE A36
2. WELDING TO BE PERFORMED PER AWS SPECIFICATIONS USING 70 KSI ELECTRODES.
3. ALL STEEL NOT EMBEDDED IN CONCRETE OR MASONRY IS TO RECEIVE SHOP COAT OF PRIMER. ALL STEEL PERMANENTLY EXPOSED TO WEATHER IS TO BE HOT-DIPPED GALVANIZED AFTER FABRICATION.

WOOD FRAMING

1. ALL STRUCTURAL FRAMING SHALL BE GRADE-MARKED DOUGLAS FIR (MOISTURE 19% MAX) AS FOLLOWS UNLESS NOTED OTHERWISE:
6x, 8x BEAMS AND POSTS.....DOUGLAS FIR SELECT STRUCT
4x BEAMS AND POSTS.....DOUGLAS FIR No. 1
2x, 3x BEAMS, JOISTS, RAFTERS, STUDS, BRACES.....D.F. No.2 & BETTER
2. ALL WOOD FRAMING EXPOSED TO WEATHER SHALL BE PRESSURE TREATED.
3. PLYWOOD SHEATHING SHALL BE INTERIOR GRADE PRESSURE TREATED PLYWOOD WITH EXTERIOR GLUE, STRUCTURAL I, CONFORMING TO PS 1-07.
4. FOR NAILING NOT CALLED OUT ON PLANS, SEE TABLE 2304.10.1 OF THE CBC.
5. CUTTING, NOTCHING, & BORING OF WOOD SHALL CONFORM TO CBC RQMNTS.
6. PROVIDE WASHERS WHEREVER BOLT HEADS OR NUTS BEAR ON WOOD. HOLES FOR BOLTS SHALL BE 1/32" LARGER THAN THE NOMINAL BOLT DIAMETER. MAINTAIN 7 BOLT DIAMETERS BETWEEN HOLES AND THE ENDS OF WOOD MEMBERS AND 4" DIAMETERS AT THE EDGES OF WOOD MEMBERS.

EPOXY-SET ANCHORS

1. EPOXY USED IS TO BE SIMPSON STRONG-TIE "SET-XP" EPOXY-TIE ADHESIVE, ICC-ES ESR #2508. FOLLOW ALL REQUIREMENTS OF THE REPORT AND MANUFACTURER'S RECOMMENDATIONS.
2. INSTALLATION OF EPOXY-SET ANCHORS TO BE INSPECTED BY A DEPUTY INSPECTOR REGISTERED WITH GOVERNING AGENCY HAVING JURISDICTION. INSPECTOR TO CHECK HOLES FOR PROPER SIZE, DEPTH, OBSERVE CLEANING BY BLOWING AND BRUSHING OF HOLES, AND OBSERVE INSTALLATION OF ANCHORS. DEPUTY TO SUBMIT REPORT TO THE OWNER UPON COMPLETION OF ANCHOR INSTALLATION.



PLOT PLAN

SCALE
1"=30'

REVISIONS

CONSULTANTS

PROJECT
BACK YARD DECK FOR MR. & MRS. JOHN FERRELL
288 WEST OLIVE AVENUE
MONROVIA, CA 91016

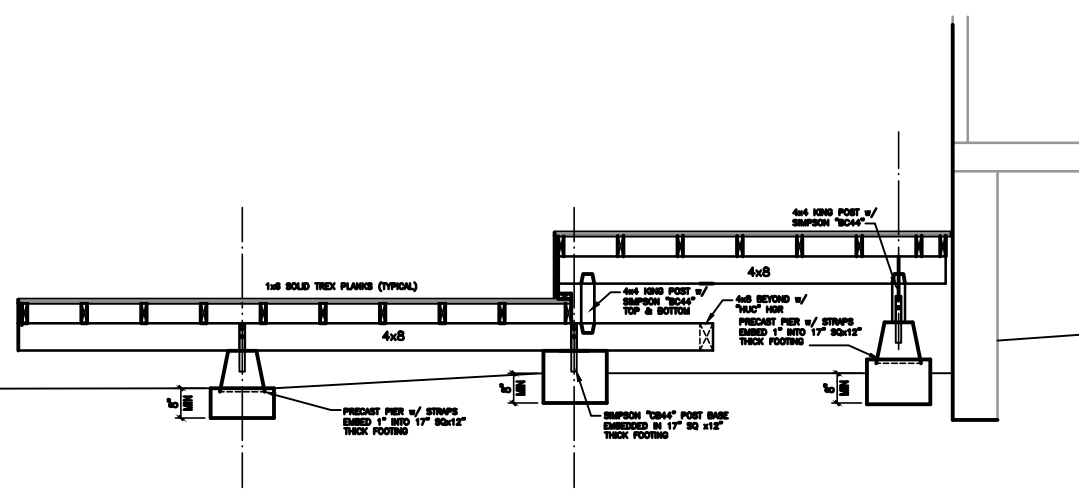
JKL ASSOCIATES

108 Y. JAMES AVENUE
MONROVIA, CA. 91016
(626) 397-8895
FAX (626) 397-8874

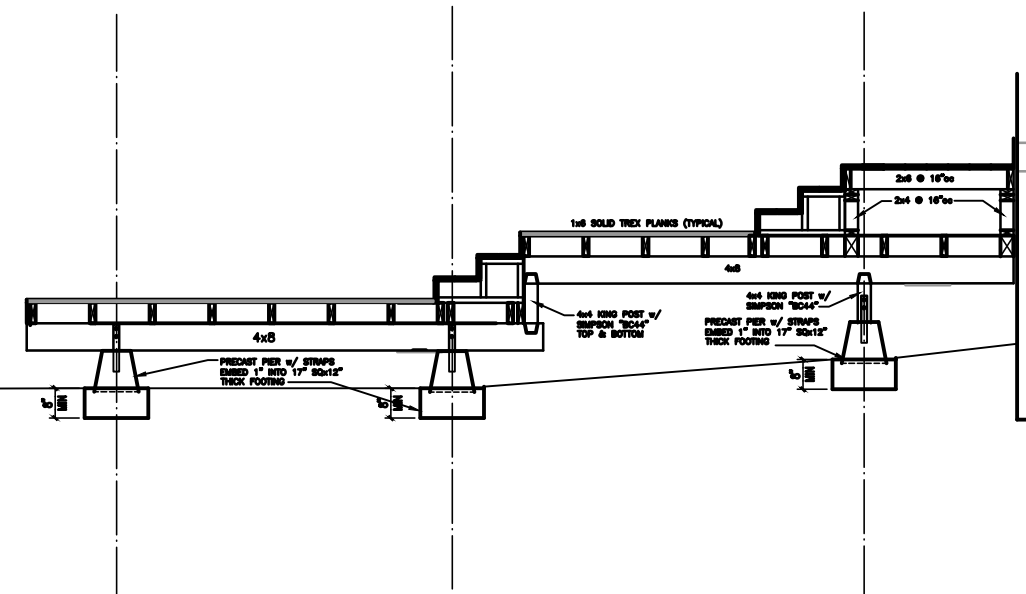
DATE: 1-10-2020
SCALE: AS NOTED
DRAWN: JKL
JOB NO.: 19318

SHEET NUMBER
1
OF

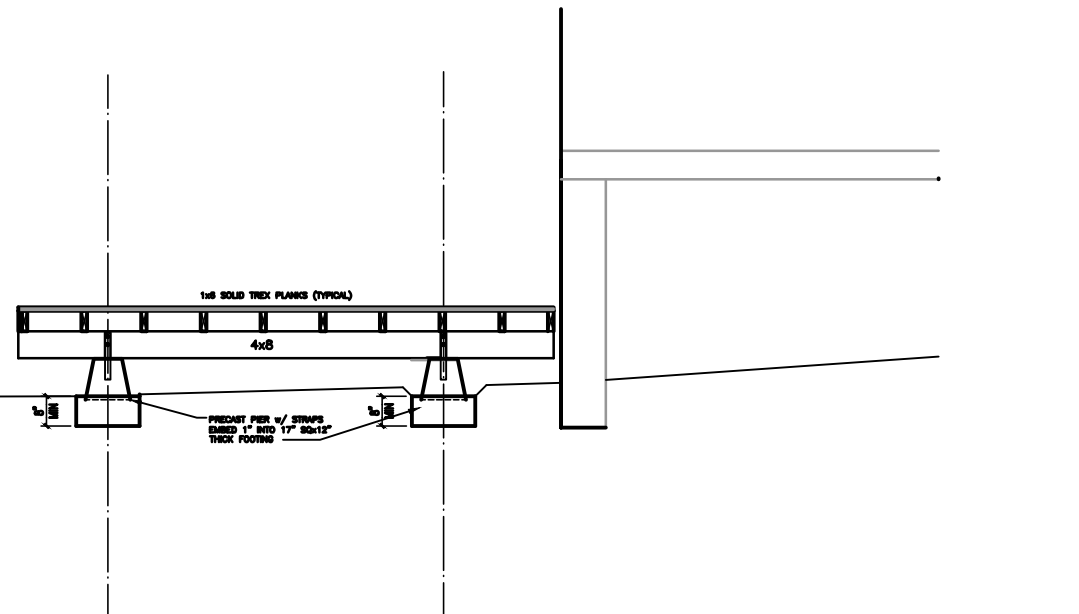
SHEET TITLE
PLANS, DETAILS, GENERAL NOTES



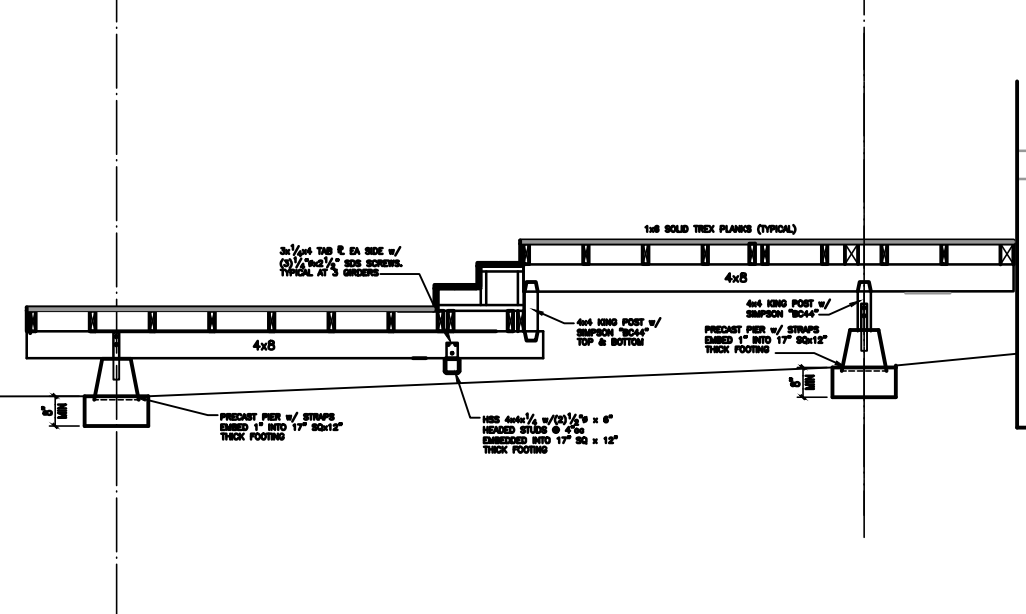
SECTION D



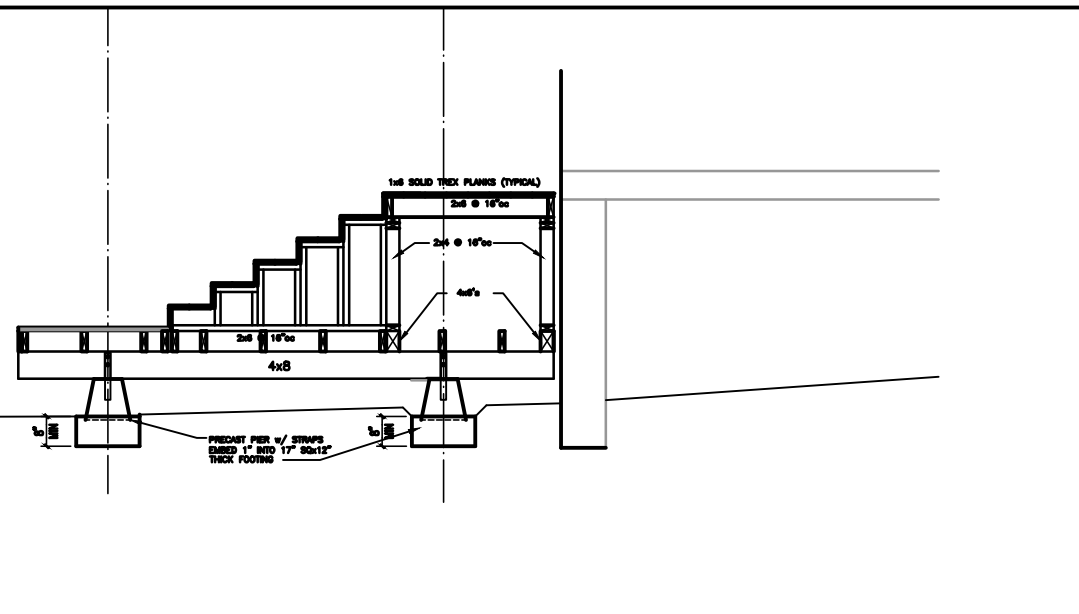
SECTION A



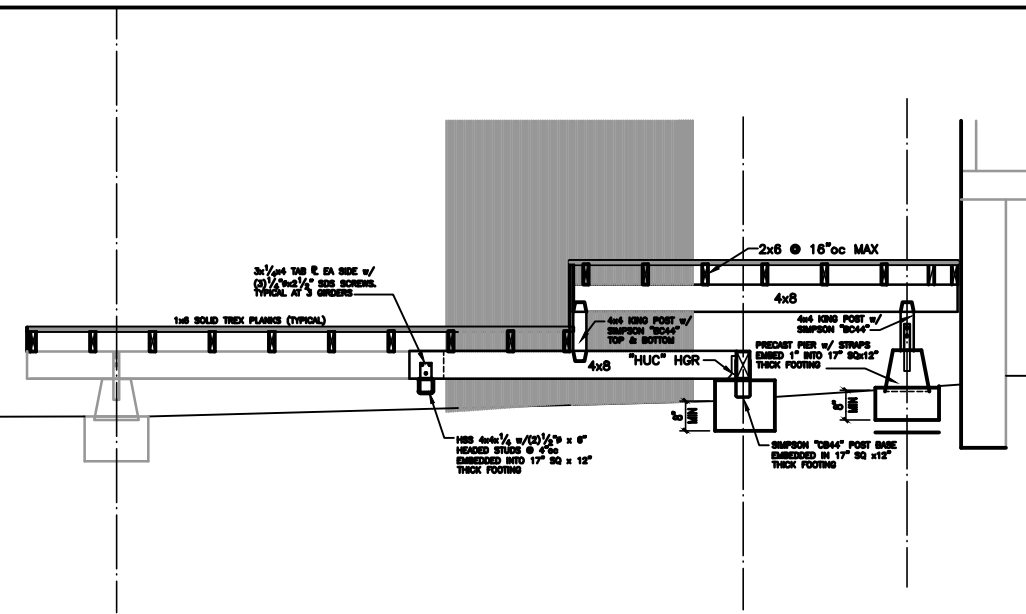
SECTION E



SECTION B



SECTION F



SECTION C

REVISIONS

CONSULTANTS

PROJECT **BACK YARD DECK FOR MR. & MRS. JOHN FERRELL**
 288 WEST OLIVE AVENUE
 MONROVIA, CA 91016

SHEET TITLE
DECK SECTIONS

JKL ASSOCIATES

(661) 387-8888
 FAX(661) 387-8874

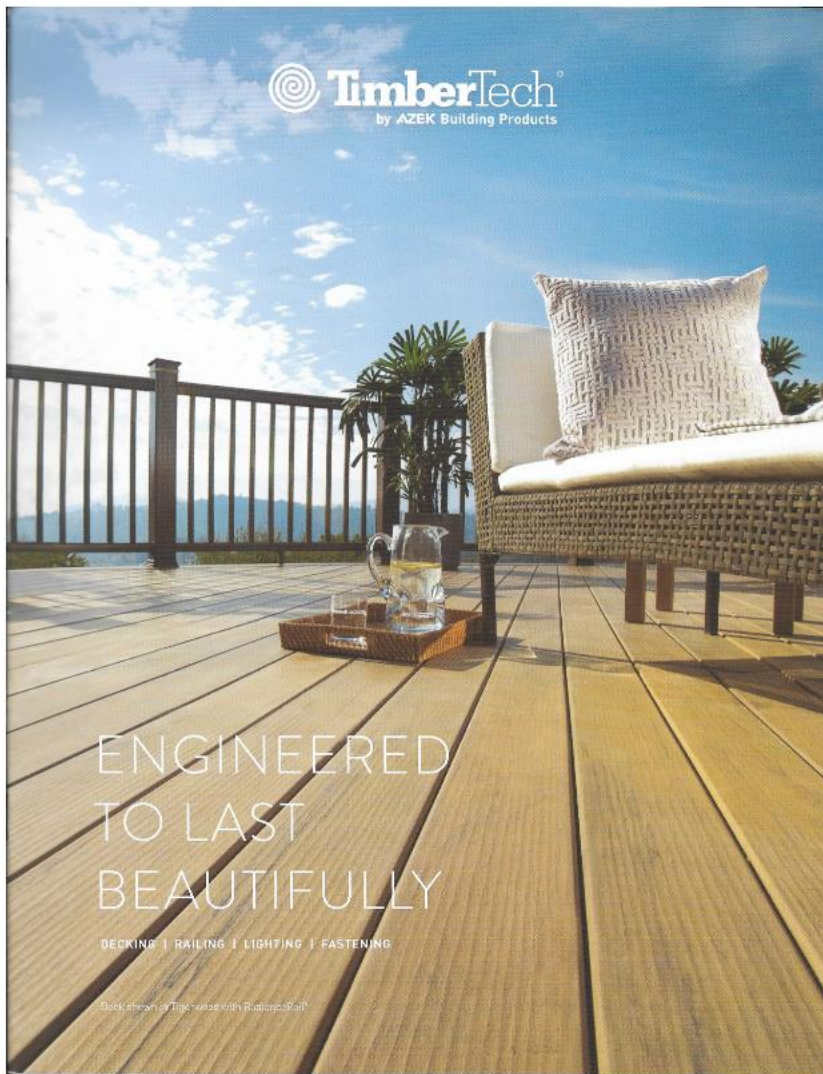
100 W. LAKE AVENUE
 MONROVIA, CA 91016

DATE: 1-10-2020
 SCALE: 1/2" = 1'-0"
 DRAWN: JKL
 JOB NO.: 19318

SHEET NUMBER
2
 OF

Deck

The deck will be built of TimberTech composite materials.



The color and texture of the deck will be from the TimberTech Legacy collection. The colors considered are Timberwood, Ashwood, and Pecan. See sample below. A live sample can be provided on request and will be present at the historical commission review.


76 DECKING

Legacy Collection


Harmony without predictability. This technologically advanced collection features our most unique and dramatic color palette. Highly variegated with multi-layered, cascading colors, the Legacy Collection offers nearly limitless options. No two boards look the same. Perfect for discerning homeowners who demand the best in design and style.

- Unique hand-scraped texture
- 4-sided capping technology
- Virtually unlimited color and grain combinations

Color Choices



V C NEW SAPELE™ V C NEW ESPRESSO V C NEW WHITEWASH CEDAR™



V C TIGERWOOD V C ASHWOOD V C PECAN V C MOCHA

V C Please refer to the key on page 12 for more on TimberTech® Deck's color characteristics.

Here are a few examples of the colors. Top is Ashwood. Bottom left is Tigerwood.



Legacy Collection: Ashwood

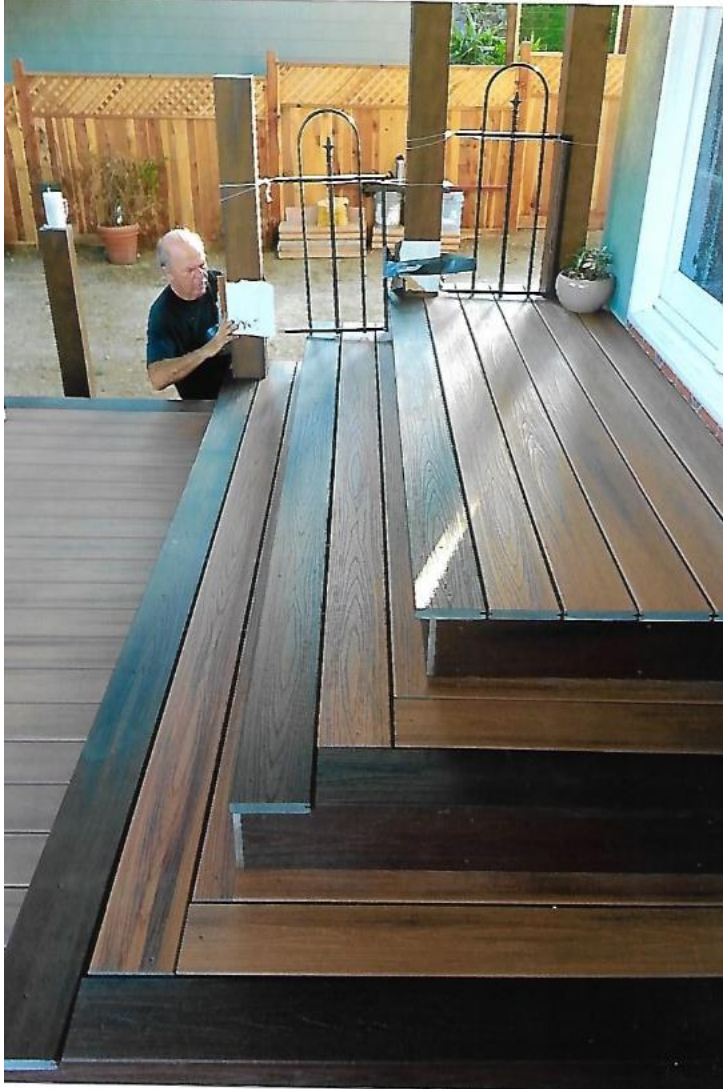


Legacy Collection: Tigerwood with Mod accents and Rattan coffee table



Legacy Collection: Tigerwood with Mod accents and Rattan coffee table

The deck will have an accent color at the edge of the steps and stairs. This will serve as a safety “warning track.” An example will be like seen below. The color will be one of the three mentioned above that is not the primary color.



Railings

The railings will be procured from Fortress Railing Products.




The railings will be from the Fortress Railing Fe26 collection. The style we like is Traditional. The railing sections come prefabricated and meet requirements: the railing itself (40" tall) and the gap between the deck surface and the railing bottom (4").

Railings will be placed in all locations that are 30+ inches above the ground or surface. There is not much railing needed on the plans provided; most of the deck is low to the ground.

Fe²⁶ | IRON RAILING

SELECTION SIMPLIFIED




Fe²⁶ | PANELS

Panels can be used with several types of posts such as Metal, Wood, Vinyl or Composite

LEVEL

TRADITIONAL

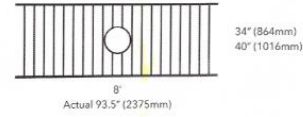


28" (711mm)
34" (864mm)
40" (1016mm)

6" | 8" | 10"
Actual 69.5" (1765mm) | Actual 93.5" (2375mm) | Actual 117.5" (2985mm)

10' panels available in 34" height only

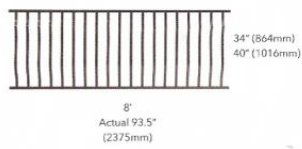
ORNAMENTAL



34" (864mm)
40" (1016mm)

8"
Actual 93.5" (2375mm)

VIENNA

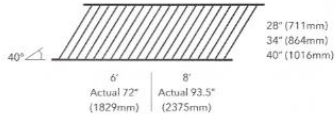


34" (864mm)
40" (1016mm)

8"
Actual 93.5" (2375mm)


STAIR

TRADITIONAL ADJUSTABLE



28" (711mm)
34" (864mm)
40" (1016mm)

6" | 8"
Actual 72" (1829mm) | Actual 93.5" (2375mm)

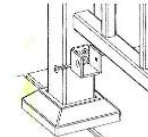
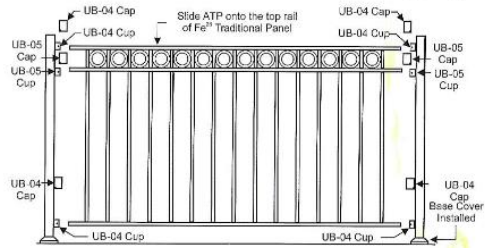
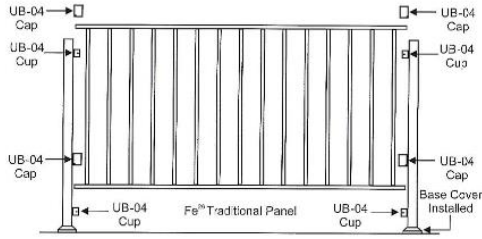


I-Support
(Panel support optional)

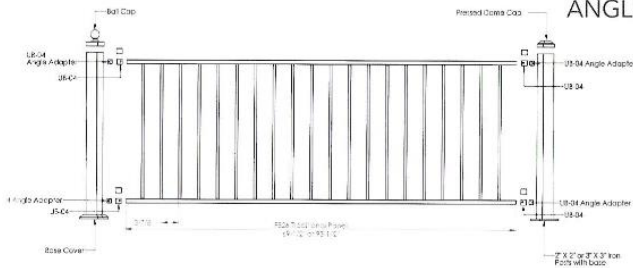
9

MOUNT BRACKETS & PANELS

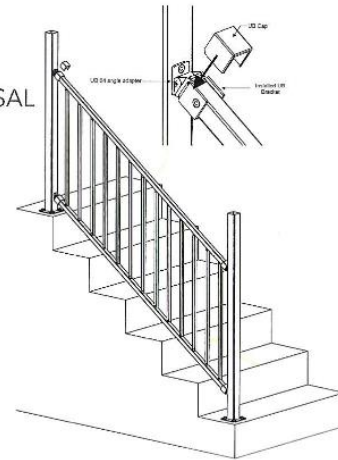
OPTION 1: UNIVERSAL BRACKETS



UNIVERSAL BRACKET: ANGLE/MITER WITH UB-04 ANGLE ADAPTER



STAIR WITH UNIVERSAL BRACKETS & UB-04 ANGLE ADAPTER



The tops of the railing will be flat and smooth with material similar to the deck itself. It will look similar to the pictures below.

