



PLANNING COMMISSION STAFF REPORT

APPLICATION: CUP2020-0004
ME2020-0002

AGENDA ITEM: PH-1

PREPARED BY: Vincent Gillespie,
Planning Technician

MEETING DATE: May 27, 2020

SUBJECT: Conditional Use Permit CUP2020-0004
Minor Exception ME2020-0002
235 West Cherry Avenue

REQUEST: Construct a new two-story dwelling unit with an attached two-car garage behind the main unit in the RM3500 zone. Allow the development to maintain a non-conforming driveway width of 11'-10" in lieu of 12'-00".

APPLICANT: Si Huynh
1926 Highland Oaks Drive
Arcadia, CA 91006

ENVIRONMENTAL DETERMINATION: Categorical Exemption (Class 3 – New Construction)

BACKGROUND: The applicant is proposing a new two-story second unit behind a single-story primary unit on an 8,950 square foot lot in the RM3500 (Residential Medium 3500) zone. Monrovia Municipal Code (MMC) Section 17.12.030(B)(1)(a) requires the approval of a Conditional Use Permit for multifamily development proposals that result in a two-story, second unit behind a main dwelling. The applicant is also requesting a Minor Exception from the Monrovia Municipal Code (MMC) Section 17.24.110(C) that requires a 12' wide driveway for multifamily residential properties. The existing driveway measures 11'-10" wide at its narrowest point, and is located along the west side of the existing single-family dwelling unit. The use change from single family to multifamily makes the existing driveway nonconforming.

SUBJECT PROPERTY: The property is located on the north side of West Cherry Avenue between South Primrose Avenue and South Magnolia Avenue. The lot measures 50 feet wide and 179 feet deep, resulting in a lot area of 8,950 square feet. The subject site abuts a five foot wide vacant unimproved alleyway, a single-story single family home to the east, and a single-story multifamily units to the west.

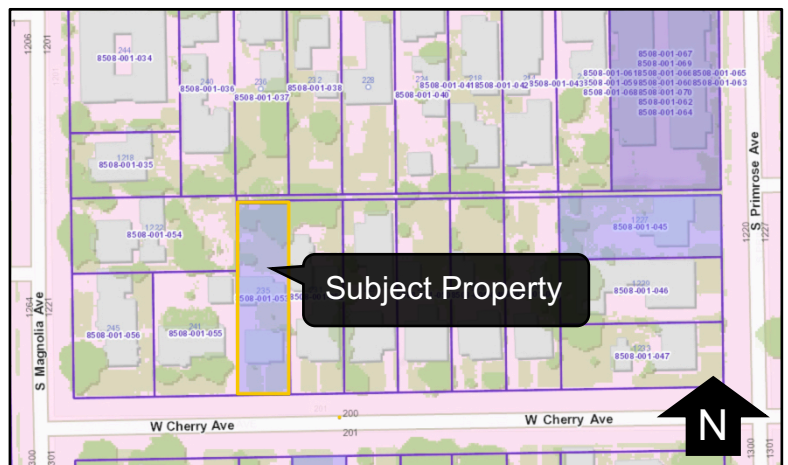


Figure 1. The subject site abuts a five foot wide vacant unimproved alleyway to the north.

Site and Surrounding Land Uses

The project site is designated Residential Medium Density (maximum 5.8-17.4 du/acre) in the General Plan and is zoned RM3500 (Residential Medium 3500). The site is surrounded by the following land uses:

North:

General Plan: Residential Medium Density (5.8-17.4 du/acre)
Zoning: RM 3500 (Residential Medium 3500)
Land Use: Multifamily Residential (Two Units)

South:

General Plan: Residential Medium Density (5.8-17.4 du/acre)
Zoning: RM 3500 (Residential Medium 3500)
Land Use: Single Family Residential

East:

General Plan: Residential Medium Density (5.8-17.4 du/acre)
Zoning: RM 3500 (Residential Medium 3500)
Land Use: Single Family Residential

West:

General Plan: Residential Medium Density (5.8-17.4 du/acre)
Zoning: RM 3500 (Residential Medium 3500)
Land Use: Multifamily Residential (Two Units)

DISCUSSION/ANALYSIS: The applicant is proposing the development of a new two-story detached second dwelling unit behind the existing single-story main dwelling. The existing 1,337 square foot single-story main dwelling will remain on the front half of the property.

Site Plan

The property is currently developed with a single-story main dwelling and an attached two-car garage that was built in 1950 and later remodeled in September 2019. This dwelling has a total floor area of 1,337 square feet. It also has an attached two-car garage attached in the rear.

The new detached second unit will be placed at the rear of the lot and will be oriented towards the street. It will total 1,850 square feet in size. This new unit will also have an attached two-car garage. A private yard space will be provided for the existing and proposed dwelling at the rear of each unit.

The subject property is located in the RM3500 (Residential Medium 3500) zone that allows one dwelling unit per 3,500 square feet of lot area. As shown in Table 1.0, the new development meets or exceeds all zoning code requirements, in relation to density, building setbacks, building height, recreation space, and parking.

TABLE 1.0 DEVELOPMENT STANDARD COMPLIANCE REVIEW

Development Standard	Required/Allowed	Proposed
Density (1 du/3,500SF)	Maximum 2 units	2 units
Floor Area Ratio (FAR) (40% Dwelling Unit / 20% Accessory Structure)	Maximum 40% / 20%	36.9% / 8.7%
Front Setback (25 FT or Average Setback, whichever is greater)	29'-0"	29'-0"
Side Setback – First Story 10% of lot width (5ft min. – 15ft max.)	5'-0"	5'-0" (Main Dwelling) 5'-6" (Second Dwelling)
Side Setback – Second Story	8'-0"	8'-0" (Second Dwelling)
Rear Setback	20'-0"	20'-0"
Building Height	27'-0"	14'-11" (Main Dwelling) 21'-11" (Second Dwelling)
Private Recreation Space 40% of gross dwelling unit floor area	534 SF (Main Dwelling) 740 SF (Second Dwelling)	560 SF (Main Dwelling) 1,039 SF (Second Dwelling)
Parking	2-car garage/dwelling	2-car garage/dwelling

Floor Plans/Building Elevations

The new second dwelling unit proposes one bedroom, one bathroom, a dining room, a living room, a kitchen, a laundry room, and an attached two-car garage on the first floor. The second floor will have three additional bedrooms, two bathrooms, and a laundry room.

The architectural style of the second unit compliments the Minimal Traditional style of the main dwelling. It incorporates matching roof design elements, such as roof pitch and 18" eave overhangs on the second floor. It also integrates architectural elements found within the neighborhood including the use of stucco and Hardie Board siding, shutters, and a wide covered front porch along the front elevation.

Neighborhood Context

The surrounding neighborhood is developed primarily with single-story Minimal Traditional homes built in the 1940's and 1950's. The majority of the properties are improved with single family residences, however there are a couple multifamily dwellings on the block. A two-story multifamily development is located just north (fronting Cypress Avenue) of the unimproved alleyway which happens to be also owned by this project's applicant.

The site has been sensitively designed to minimize impacts on the neighboring properties. All windows on the second story were placed carefully to address privacy and view shed impacts

on the neighboring properties. On the side elevations (east and west), the windows have raised sill heights to reduce the privacy impact to the adjacent neighbors. Larger egress windows were placed on the front and rear (north and south) elevations. The large window on the north elevation aligns with the development to the north, however, there will be a 45 foot building separation between the two structures, and Condition #14(e) (Data Sheet 1) will require that the landscape be designed to minimize privacy impacts to the neighbors.

Several design techniques were incorporated into the new home design to ensure the massing fits within the character of the neighborhood including an “L” shaped second-story floor plan. The second floor also features different exterior wall material from the first floor to break-up the overall massing. The front façade is well-balanced with the incorporation of a gable end over the garage and a hip roof line over the dwelling.

The project includes a condition (Condition #14 on Data Sheet No. 1) to provide a landscape plan that incorporates quality landscape materials proportionate to the size of the development. The plan will incorporate appropriate trees in addition to a variety of plants, shrubs, and groundcover that will be planted throughout the site.

Minor Exception

MMC Section 17.24.110(C) requires multifamily developments to be served by at least a 12' foot wide driveway. The subject property is currently developed with an existing 11'-10" wide driveway within the area adjacent to the existing house. The applicant is requesting a Minor Exception to maintain this existing nonconforming driveway segment only. All portions of the driveway serving the new home will be 12' wide, therefore meeting the Code requirement. The approval of the Minor Exception would allow the property to be developed with an additional home while preserving the architectural integrity of the existing residence.

Development Review Committee Advisory Review

As part of the advisory review by the Development Review Committee (DRC), Staff sent out a courtesy notice to property owners within 300 feet of the subject property. The courtesy notice was provided to further encourage and allow for public input regarding the project prior to the public hearing. Staff did not receive any inquiries regarding the proposed development prior to the meeting held on February 26, 2020. No one from the public spoke in favor or had concerns with the project.

The DRC determined that the proposed project is designed to minimize the privacy impacts to the surrounding properties. Furthermore, the DRC determined that the development was compatible in density and size with the surrounding area and met all applicable development standards for the zone, with exception to the existing nonconforming driveway width, and unanimously recommended approval to the Planning Commission.

Conclusion

The proposed development will result in a property that meets current zoning code requirements, with exception to the existing driveway width. This area is zoned for multifamily development and there are several multifamily structures within this block of West Cherry Avenue, two of which are two-story. The Minor Exception is to allow the existing driveway with to be retained will preserve the main dwelling unit's architectural integrity, ensuring the development is consistent with the neighborhood. In addition, the construction of the second unit in the Minimal Traditional style is compatible with the architectural style and character of the neighborhood.

RECOMMENDATION: Staff and the Development Review Committee recommend approval of the Conditional Use Permit CUP2020-0004 and Minor Exception ME2020-0002. If the Planning Commission concurs with this recommendation then, following the public hearing, the appropriate action would be:

1. Pursuant to the California Environmental Quality Act (“CEQA”) and the City’s local CEQA Guidelines, the Planning Commission in the exercise of its independent judgment finds that CUP2020-0004 and ME2020-0002 are categorically exempt from CEQA under Class 3.
2. The Planning Commission finds that the custodian of records for all other materials that constitute the record of proceeding upon which this decision is based is the Planning Division Manager. Those documents are available for public review in the Planning Division located at 415 South Ivy Avenue, Monrovia, California, 91016.
3. The Planning Commission in the exercise of its independent judgment hereby makes the findings listed on attached Data Sheet No. 3 for CUP2020-0004 and ME2020-0002, which are incorporated herein by this reference.
4. The Planning Commission approves CUP2020-0004 and ME2020-0002, subject to the attached Planning Conditions on Data Sheet No. 1, Public Works Conditions on Data Sheet No. 2, and recommendations in the Staff Report, all of which are incorporated herein by this reference.

MOTION:

Close the public hearing and approve CUP2020-0004 and ME2020-0002 pursuant to the recommendations in the Staff Report.



DATA SHEET 1

Planning Conditions

Conditional Use Permit CUP2020-0004
Minor Exception ME2020-0002

235 West Cherry Avenue

STANDARD CONDITIONS FOR MULTIPLE RESIDENTIAL DEVELOPMENT

Development of the subject property and operations on the site must remain in substantial conformance at all times with the request and application forms and plans submitted by the applicant, as approved by the Planning Commission and placed on file in the office of the Planning Division, except as modified by the conditions imposed by the Planning Commission and by subsequent modifications determined by the Planning Division Manager to be in substantial compliance with the conditions of approval. The term "Applicant" as used herein shall include the applicant, the property developer and all successors in interest to this conditional use permit.

DEVELOPMENT STANDARDS

1. A final materials board shall be submitted to the Planning Division Manager for review and approval prior to building permit issuance. The final materials board shall include a breakdown by unit of materials to be used and samples/examples of siding, stucco, stone veneers, windows, exterior doors, garage doors, roofing, color schemes and exterior light fixtures.
2. A decorative block wall shall be provided by the Applicant adjacent to the side property lines but outside of the front setback area. The property line wall must be a minimum of five feet above the subject property's finished grade and a minimum of five feet and a maximum of six feet above the adjacent property's grade, measured in accordance with the Monrovia Municipal Code. The walls shall be installed before building construction begins.
3. All private recreation areas must be enclosed by 5' to 6' high wood fence or decorative block wall or approved alternative. All proposed fences shall be shown and indicated on the submitted site plan.
4. "The Applicant shall make a good faith effort to work with adjacent property owners (that have existing walls/fences) to avoid a double wall condition, to provide a single wall along the project's perimeter. The applicant shall notify by certified mail all contiguous property owners at least 30 days prior to the removal of any existing walls/fences along the project's perimeter and shall provide proof of mailing to the contiguous property owners to the City prior to the issuance of any demolition or building permits."
5. If a driveway gate is proposed at a later date the Development Review Committee shall consider the request after providing written notification to property owners within a 300' radius of the site. The cost of such notification shall be paid in advance by the Applicant.

6. An area for storage of individual trashcans shall be provided on a paved surface and screened and shall be shown and indicated on the submitted site plan.
7. A level concrete patio shall be provided for each unit in the private recreation area and shall be indicated on the grading plan and approved by the Development Review Committee prior to the start of grading.
8. Placement and design of mailboxes shall be reviewed and approved by both the U.S. Postal Service and the Planning Division prior to installation.
9. No roof mounted mechanical equipment shall be permitted.
10. Ground level mechanical equipment shall be placed a minimum of 5' from the interior property lines and shall be completely screened with landscaping. Ground level mechanical equipment shall not be located within the front setback.
11. Electrical power lines, telephone lines, and any other transmission lines (including, without limitation, cable television lines, data transmission lines, communication lines, other utility lines, etc.) to and from the development, and within the development, shall be placed underground and provided to each unit.
12. All utilities and structures such as gas meters, electrical meters, telephone pedestal-mounted terminal boxes, surface mounted electrical transformers, or other potential obstructions shall be noted on the plans with provisions for appropriate screening.
13. Plans showing all exterior lighting shall be submitted to the Planning Division for review prior to building permit issuance and no exterior lighting shall be installed without the approval of the Planning Division Manager. All exterior lighting shall be designed, arranged, and installed so as to confine direct rays onto the premises and to direct light away from adjacent structures.

LANDSCAPING

14. A Landscape and Irrigation Plan prepared by a Landscape Architect shall be submitted to the Planning Division for plan check showing the size, type, and location of all planting areas and shall incorporate the Tree Retention Plan and the following conditions of approval:
 - a. Landscaping shall be a combination of 24" and 36" box trees, shrubs, groundcover, and turf. Retention of existing mature trees is encouraged.
 - b. All landscaping shall be maintained by a permanent automatic irrigation sprinkler system.
 - c. Any unimproved City right-of-way contiguous with the property shall be landscaped by the Applicant and incorporated into the required landscape plan.
 - d. Hardscape improvements shall be provided in common areas.
 - e. Landscape shall be designed to minimize privacy impacts to the neighbors.
15. A landscape documentation package pursuant to the requirements of the State Model Water Efficient Landscape Ordinance shall be submitted to the Planning Division for approval prior to landscape construction. A Landscape Certificate of

Completion shall be submitted to the Planning Division at the completion of the installation, prior to request for a final inspection and Certificate of Occupancy.

PARKING

16. All paved parking and driveway areas shall be surfaced with Portland cement concrete (3-1/2" minimum thickness) or approved alternative.
17. All driveway surface areas shall incorporate accent treatment throughout the design. Accent treatment shall include stamped concrete or other approved treatment.

CONSTRUCTION SITE REQUIREMENTS

18. Provide temporary perimeter fencing with view obscuring material during construction. If graffiti is painted or marked in any way upon the premises or on an adjacent area under the control of the Applicant (including without limitation, any temporary perimeter construction fencing or the permanent wall), the graffiti shall be removed or painted over by Applicant within twenty-four hours, unless any law in effect imposes a shorter time period. Fencing may be removed prior to landscape installation with Planning Division approval.
19. One waterproof sign (36" x 48") in both English and Spanish noting construction hours and a phone number for contact shall be posted at the front of the site prior to grading or construction.

GENERAL REQUIREMENTS

20. In addition to Planning (Data Sheet No. 1) and Public Works (Data Sheet No. 2) conditions of approval, the Applicant shall also comply with all requirements of the Monrovia Municipal Code, Building Division and Fire Department that are directly applicable to the project.
21. Any violation of these conditions of approval or the Monrovia Municipal Code may be subject to the Administrative Fine Ordinance, other available remedies and/or revocation or modification of this permit at the discretion of the City Attorney and City Prosecutor.
22. The Applicant shall, within 30 days after approval by the Planning Commission, submit to the Community Development Department his/her written consent to all of the conditions of approval contained in Data Sheet Numbers 1 and 2. The Conditional Use Permit 2020-0004 and Minor Exception ME2020-0002 shall be void and of no force or effect unless such written consent is submitted to the City within the 30 day period.
23. All of the above conditions shall be complied with prior to issuance of the Certificate of Occupancy, unless an earlier compliance period is specified as part of a condition. These conditions shall be printed on all grading and construction documents for Building Plan Check.
24. Indemnification. As a condition of approval, Applicant agrees to defend, indemnify, protect and hold harmless City, its officers, officials, employees, agents and

volunteers from and against any and all claims, actions, or proceeding against the City, its officers, officials, employees, agents and/or volunteers to attack, set aside, void or annul, an approval of the City, Planning Commission or City Council concerning this permit and the project. Such indemnification shall include damages, judgments, settlements, penalties, fines, defensive costs or expenses, including, but not limited to, interest, attorneys' fees and expert witness fees, or liability of any kind related to or arising from such claim, action, or proceeding. The City shall promptly notify the Applicant of any claim, action, or proceeding. Nothing contained herein shall prohibit City from participating in a defense of any claim, action or proceeding. The City shall have the option of coordinating the defense, including, but not limited to, choosing counsel for the defense at Applicant's expense.



DATA SHEET 2

Public Works Conditions

Conditional Use Permit CUP2020-0004
Minor Exception ME2020-0002

235 West Cherry Avenue

Development shall be subject to the conditions of approval listed below. The term "Applicant" shall include, without limitation, the applicant, the property developer, the property owner, and all subsequent owners of each parcel.

Engineering Conditions

a) Site Plan showing: survey monuments, boundaries, easements and right-of-ways

- i) Submit existing site plan, topographic map of the project site, grading, drainage and utility plan to Public Works Department for review and approval. The plans shall indicate existing and proposed structures, miscellaneous facilities if applicable and all utilities applicable within the project site. The plans shall be prepared on a 24" x 36" sheets with City standard title block stamped and signed by a Registered Professional Civil Engineer in the State of California.
- ii) All site plans, grading plans, drainage plans and street improvement plans shall be coordinated for consistency prior to the issuance of any permits.

b) Water Improvements

- i) The Applicant shall install additional water service to Monrovia's water system to serve the new unit for domestic and fire usage within the City of Monrovia to the specifications of the City Engineer **or provide calculations for the added capacity of the existing water service.**
- ii) All water lines within the project site shall be a private systems maintained by the project and not the City of Monrovia's responsibility. The project shall provide adequate backflow at the transition from right of way to the private/public utility easement. The City of Monrovia shall not be responsible for the any utility after the backflow and meters.
- iii) All backflow devices will be reduced pressure double check valves from the state approved list. Developer/owner will provide testing of all state approved devices prior to operation and on an annual basis. If testing is not provided, city has the right to test at the owner's expense for said testing. If test fails owner shall replace approved device at their cost with approval from city water personnel.
- iv) The applicant will be responsible for all costs to connect to the City water system and installation of all new fire hydrants off the City system, if required by the Fire Department. The developer shall prepare engineered plans, approved by the City Engineer, and pay for all construction, equipment, testing and inspection for the connections, hydrants and services. These plans to be on separate improvement plans and submitted to Public Works for approval and construction/encroachment permits
- v) The project water usage and standby charges will be per the newly adopted rate schedule: Monrovia ordinance 2018-01.

c) Waste Water Improvements

- i) If the applicant installs an additional sanitary sewers to serve the development it shall be at the applicant's expense and to the specifications of the City Engineer. If the applicant is to use the existing lateral to the sewer system, the applicant shall CCTV the existing lateral (from the property line to the sewer main connection) for the condition of the lateral and the connection to the main system. If the CCTV indicates that the lateral or the connection need improvements, the applicant shall make the needed improvements at the applicant's cost to the specification of the city engineers.
- ii) **The applicant shall provide evidence of payment and approval for connection of sewer units to LA County Waste Water System.**

d) Geotechnical Investigation and Report

- i) Prior to issuance of a grading permit or encroachment permit, Applicant shall provide geotechnical report that addresses earthwork and foundation recommendations, including but not limited to, earthwork, retaining walls and foundation construction adjacent to the existing structures located on the property, pavement structural sections and recommendations. The geotechnical report shall include data regarding the nature, distribution and strengths of existing soils, conclusions and recommendations for grading procedures, design criteria for and identified corrective measures, and opinions and recommendations regarding existing conditions and proposed grading. The report shall also include subsurface geology of the site, degree of seismic hazard if any, conclusions and recommendations regarding the effect of geologic conditions on the proposed development, opinions and recommended design criteria to mitigate any identified geologic hazards including locations of surface and subsurface fault lines in the area as applicable.

e) Hydrology Report and Hydraulic Calculations

None required, based on lot size.

f) Grading Plan

- i) Grading plan shall conform to MMC Chapter 15.28 and be prepared on a 24" x 36" sheets with City title block. Required improvements may be shown on the grading plan along with site drainage.
- ii) Applicant shall provide an analysis and construct required infiltration and/or treatment of storm water from impervious surfaces prior to reaching direct connections leading to the main storm drainage system or street.
- iii) All required mitigation measures identified in the soils engineer's and geologist's reports shall be incorporated into the grading/drainage plans and a made a part thereof.
- iv) Grading plan to provide a scaled detail section at each property line where the project is in cut or fill greater than 0.5 feet. Provide in relation to the adjacent property existing conditions: set back dimensions, retaining wall dimensions and encroachments, ground and finish surface elevations, cut and fill slopes including code setbacks, and direction of flow indicators.
- v) ***Site drainage shall be mitigated with gravity drainage systems. The use of sump pumps and pressure systems is highly discouraged. If a sump pump/pressure system is proposed, a backup underground storage and percolation system is required to hold the one hour point rainfall of a 100 year storm event times the entire surface area draining to the sump location.***

g) Composite Utility Plan

- i) Applicant shall submit a Composite Utility Plan showing all proposed utility cuts for services for Water and Sewer. The Composite Utility Plan shall be submitted for approval using the City's template and approved notes prior to issuance of encroachment permits.
 - ii) Utility plans including sewer, water, gas, including all abandoned, or to be removed facilities, etc. for the proposed development shall be submitted for review and approval by the City Engineer. Pay all applicable fees for Engineering Division services for issuance of Public Works permits.
 - iii) Applicant shall connect all buildings to the public sewer. All new sewer connections are to be constructed through new or existing lateral(s) (sized per the current plumbing code and engineered calculations, minimum 6 inches) with clean-out(s) at property line per City standard drawing S-215 and S-225. Cap off all abandoned laterals at the connection point from the main line to the satisfaction of the City Engineer. Indicate on the Site/Utility Plan the work to be done by the Applicant.
 - iv) A CCTV video of the existing/proposed sewer lateral connecting to the City mainline is required for the project; a copy of the video shall be submitted to Public Works. Prior to CCTV please notify the Department of Public Works requesting to have the Public Works Inspector on-site to witness the inspection.
 - v) Applicant shall underground all electrical and communication service lines to the new buildings.
- h) Off-site Street Improvement Plans
- i) Remove and replace any curb, gutter, sidewalk, driveway approach or street pavement found by the City Engineer to be broken, uplifted, damaged or not meeting current ADA standards. Construct improvements as required, per City standard drawings to match existing improvements on adjacent properties. All ADA requirements shall be satisfied by the Applicant. These conditions apply on public right-of-way along property frontage.
 - ii) All work such as but not limited to demolition, construction and improvements within the public right-of-way shall be subject to review and approval of the Public Works Department, and will require construction and encroachment permit from the City's Public Works Department, prior to start of any construction. All work within the public right-of-way shall be in accordance with applicable standards of the City of Monrovia, Standard Specifications for Public Works Construction ("Green Book", latest edition) and the Manual on Uniform Traffic Control Devices (MUTCD, latest edition), and further that construction equipment ingress and egress be controlled by a plan approved by the City Engineer.
 - iii) The City requires the restoration of the existing pavement after utility installation. Restoration is required from the outer limits of the area covering and encompassing all the utility cuts as shown on the plans, but actual limits shall be determined out in the field by City Engineer. Restoration of asphalt pavement may be up to 2-inch pavement grind and 2-inch asphalt overlay.

i) Traffic Engineering Conditions

i) None required, based on size of project and trip generation.

j) Environmental Conditions

i) Project is under 10,000 impervious Square feet and should meet the minimum standards as outlined on the attached City of Monrovia LOW IMPACT DEVELOPMENT STANDARDS.

k) Demolition of Existing Structures

i) The project demolition activities shall comply with the City's Construction and Demolition Recycling Program (C&D Recycling Program) by filing an application and submitting a deposit to Public Works Environmental Services prior to issuance of permits. Building, demolition, and grading permits will not be issued until the applicant provides the City with the required forms and the waste management plan has been reviewed and approved by the Environmental Services. If the Applicant chooses not to participate in the C&D Recycling Program, then the hauler must be identified on the demolition, building and grading plans.

ii) Building demolition permit will not be issued until the applicant provides copy of Air Quality Management District (AQMD) permit.

l) As-built Plans

i) Applicant shall provide to the City of Monrovia revised plans of the original size, on mylar, showing all as-built conditions for the off-site and on-site improvements prior to the final Certificate of Occupancy

Questions or comments: Brad S. Merrell, P E
City Engineer
Cell # 760-900-7526
bmerrell@ci.monrovia.ca.us



DATA SHEET 3

Findings

Conditional Use Permit CUP2020-0004
Minor Exception ME2020-0002

235 West Cherry Avenue

CONDITIONAL USE PERMIT

As required by Section 17.52.290 of the Monrovia Municipal Code, the decision for granting Conditional Use Permit No. CUP2020-0004 and Minor Exception ME2020-0002 to construct a new two-story unit behind the main dwelling unit located at 235 West Cherry Avenue is based on the following findings:

- A. The project site is adequate in size, shape and topography for the proposed development. *The site has sufficient width, depth and lot area to accommodate this type of development. The site is rectangular in shape and relatively flat and of sufficient size to accommodate the second unit. The proposed development meets or exceeds all objective development standards including density, setbacks, height, parking, and recreation space for the RM3500 zone.*
- B. The project site has sufficient access to streets and highways, adequate in width and pavement type to carry the quantity and quality of traffic generated by the proposed development. *The project provides the required number of enclosed residential parking spaces of two garage spaces per dwelling unit. The proposed development has access to West Cherry Avenue through the existing driveway. The new driveway area has is 12'-00" in width.*
- C. The proposed development will be compatible with the General Plan and will not adversely impact the objectives of the General Plan. *This development works towards achieving Goal 4 of the Land Use Element by maintaining the established architectural style, development pattern, building materials, and scale of buildings within the vicinity of the proposed project. Specifically, the new second unit will have similar building mass and materials as other two-story developments in the vicinity. Its use of construction materials is appropriate in quality and design for the Minimal Traditional architectural style which matches the existing home and is prominent in the neighborhood.*
- D. The proposed development will comply with the applicable provisions of the Zoning Ordinance. *The property is zoned RM3500 (Residential Medium 3500) and the proposed second dwelling unit meets or exceeds all development standards, including density, setbacks, height, parking, and recreation space.*
- E. The location of the proposed development and the conditions under which it will be operated or maintained will not be detrimental to the public health, safety or welfare, nor will it be materially injurious to properties or improvements in the vicinity, *as the site will be upgraded to include new landscaping, perimeter walls, and architectural amenities. It is on a residential block developed with a mix of single family, and multifamily residences. The development is consistent with the existing development patterns in the neighborhood. Other two-story dwelling units*

in the vicinity are similar in massing, height, and scale as the proposed development. The new second unit will incorporate Minimal Traditional architectural elements that match the existing home and are prominent in the neighborhood.

- F. The proposed project will not result in the demolition of a residential structure built prior to January 1, 1940, with architectural or known historic value. *The property located at 235 West Cherry Avenue is currently developed with a main dwelling and attached two-car garage that was built in 1950, and will remain on site. No residential structures are proposed for demolition in conjunction with the proposed development. A Minor Exception is being requested by the applicant to maintain a nonconforming driveway width that will also maintain the architectural integrity of the existing residence.*

MINOR EXCEPTION

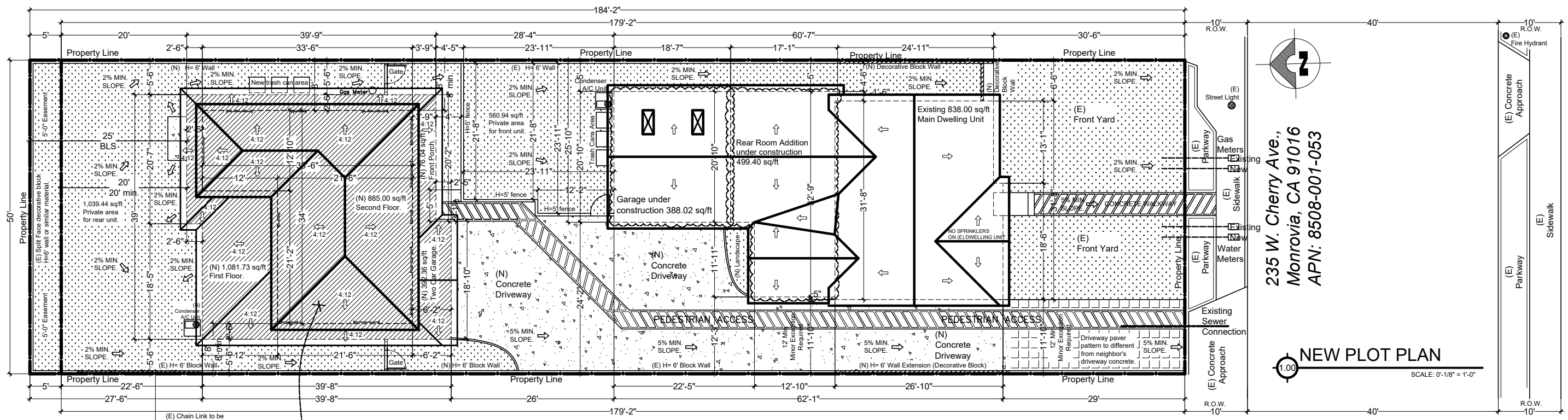
As required by Section 17.52.110 of the Monrovia Municipal Code, the decision for granting Minor Exception ME2020-0002, allowing the development to maintain a non-conforming driveway width (11'-10" in lieu of 12'-00") is based on the following findings:

Practical difficulties, unnecessary hardships and results that may be inconsistent with the general intent of the code warrant the granting of ME2020-0002. Monrovia Municipal Code (MMC) Section 17.52.110 specifically includes a provision to allow deviations pertaining to parking requirements. The applicant's request for a Minor Exception pertaining to the existing non-conforming driveway width is made to protect the architectural integrity of the existing residence. MMC Section 17.12.005 sets forth the Neighborhood Compatibility Design Review standards and states the goal of providing reasonable review of proposals to maximize compatibility with the unique character of the neighborhood.

HOUSING ACCOUNTABILITY ACT

The proposed development is subject to the approval requirements of the state Housing Accountability Act because the development meets or exceeds all of the applicable objective development standards contained within the Monrovia General Plan and the Monrovia Zoning Ordinance, including the density requirements, lot coverage requirements, setback requirements, and the Floor Area Ratio (FAR) requirements.

Rev. No.	Rev. Date	Rev. Description
0	00.00.00	Plan Check Comment



235 W. Chery Ave.,
Monrovia, CA 91016
APN: 8508-001-053

NEW PLOT PLAN
SCALE: 0'-1/8" = 1'-0"

NEW 2ND UNIT SHALL BE FULLY SPRINKLERED

NOTE:
* See "Grading and Drainage Plans" for -direction of surface run-off-
* See "Mechanical Plans" for -utility services-

Trees to be removed see Boundary and Topographic Survey Map

SQUARE FOOTAGE CALCULATION -GARAGES AND PORCH ARE NOT INCLUDED-

	sq/ft	100.00%
Calculated Lot Area	8,950.00	100.00%
Existing Dwelling Unit (Unit 1)	838.00	9.36
Addition under permit (Unit 1)	499.40	5.5799
Existing Square Footage:	1,337.40	14.94
New Dwelling Unit -Lower Level- (Unit 2)	1,081.73	12.09
New Dwelling Unit -Upper Level- (Unit 2)	885.00	9.89
New Square Footage:	1,966.73	21.97
TOTAL NEW SQUARE FOOTAGE:	3,304.13	36.92

SQUARE FOOTAGE CALCULATION -GARAGES AND PORCH ARE INCLUDED-

	sq/ft	100.00%
Calculated Lot Area	8,950.00	100.00%
Existing Dwelling Unit (Unit 1)	838.00	9.36
Addition under permit (Unit 1)	499.40	5.5799
Existing 2-Car Garage (Unit 1)	388.02	4.34
Existing Square Footage:	1,725.42	19.28
New Dwelling Unit -Lower Level- (Unit 2)	1,081.73	12.09
New Dwelling Unit -Upper Level- (Unit 2)	885.00	9.89
New Front Porch (Unit 2)	76.04	0.85
New Two-Car Garage (Unit 2)	392.36	4.38
New Square Footage:	2,435.13	27.21
TOTAL NEW SQUARE FOOTAGE:	4,160.55	46.49

ZONING COMPLIANCE

	Existing	Proposed
LOT SIZE:	8,950.00 square feet	square feet
Width	50.00 feet	feet
Depth	184.25 feet	feet
DWELLING SIZE:	1,337.40 square feet	1,850.93 square feet
DWELLING SETBACKS:		
Front	30'-6" feet	35'-10" feet
Front Average Setback	feet	feet
Rear	35'-10" feet	20' feet
Right side (1st/2nd)	5'-0" feet/feet	5' feet/ 8' feet
Left side (1st/2nd)	11'-10" feet/feet	15' feet/ 8' feet
ACCESSORY STRUCTURE SETBACKS:		
Front	feet	feet
Rear	feet/feet	feet/feet
Right side (1st/2nd)	feet/feet	feet/feet
Left side (1st/2nd)	feet/feet	feet/feet
DWELLING HEIGHT:	14'-11" feet	21'-11" Feet
ACCESSORY STRUCTURE HEIGHT (DETACHED):	feet	Feet

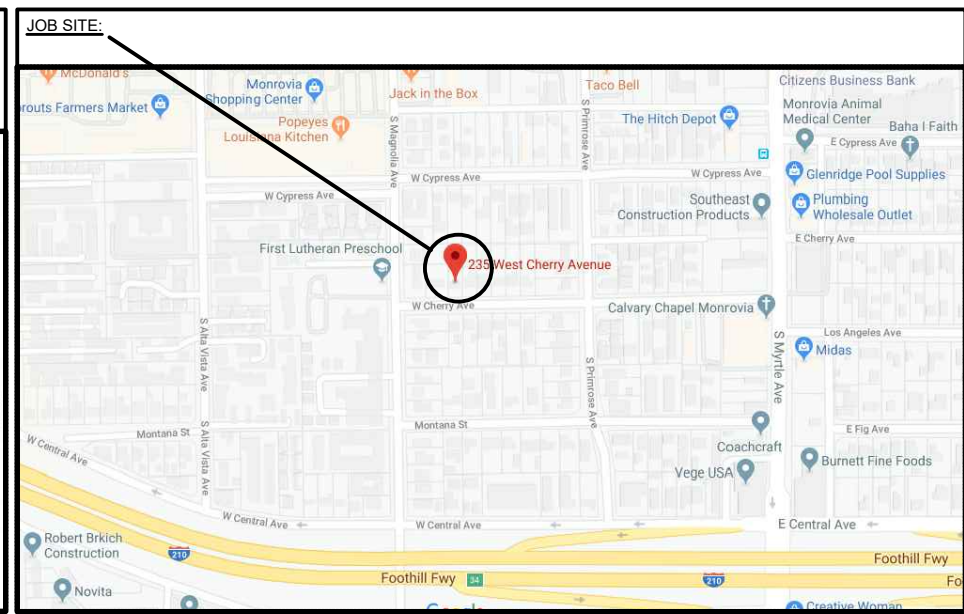
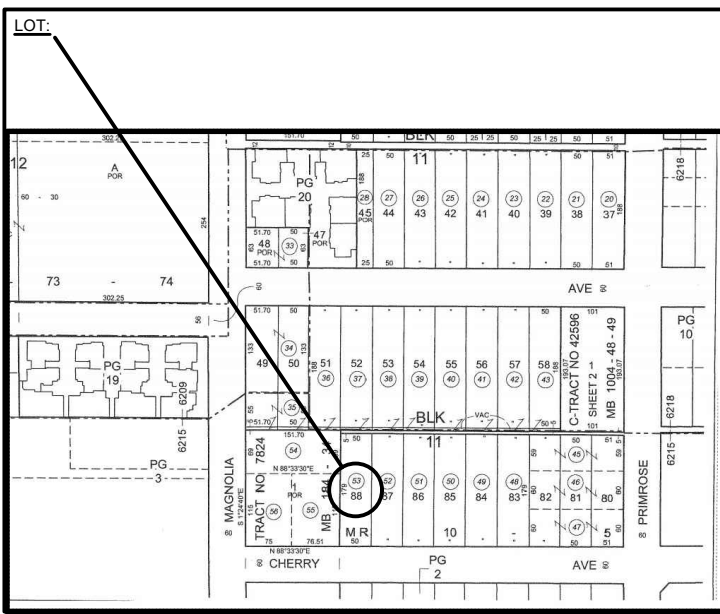
NOTES FOR RESIDENTIAL BUILDING:
These notes are provided as an aid and should not be construed as a complete list of requirements for additional clarity of for all other requirements, please refer Monrovia City Building and Zoning Codes: All construction shall comply with:
1. 2016 California Building Code.
2. 2016 California Residential Code.
3. 2016 California Plumbing Code.
4. 2016 California Mechanical Code.
5. 2016 California Electrical Code.
6. 2016 California Energy Efficacy Standards.
7. 2016 California Green Code.
8. 2017 Monrovia City Municipal Code.

NOTES:
* Impervious surface shall be sloped away from the building at 2% minimum slope for a minimum distance of 10 feet; lot shall be graded to drain surface water away from foundation walls; grade shall be 6" minimum within the first 10 ft. - per Section R313.2
* An automatic residential sprinklers system shall be provided in the new dwelling unit(s) per Section R401.2
* A residential fire sprinklers system shall be installed in new attached garage - per Section R309.6
* Smoke alarms shall be installed inside all bedrooms, on the ceiling or wall outside of each bedroom and in every story - per Section R314.3
* Carbon monoxide alarms shall be installed immediately outside of all bedrooms and on every level - per Section R315.3
* In bathroom, garage, laundry room and utility room: at least one luminaire shall be controlled by vacancy by sensors - per Section 150.0(k)2.J

SCOPE OF WORK:
- 1,966.73 sq/ft New 2nd Dwelling Unit (Two stories)
- 392.36 sq/ft New 2-Car Garage
- 76.04 sq/ft New Front Porch

REQUIRED PRIVATE AREA PER UNIT:

Unit	Private Area
Main Dwelling (Front Unit)	534.96 sf
Second Dwelling Unit	786.69 sf
(E) Total Area:	1,337.40 sq/ft
(N) Total Area:	1,966.73 sq/ft
1,337.40 x 0.40 =	534.96 sq/ft
1,966.73 x 0.40 =	786.69 sq/ft
Required private area:	534.96 sf
Required private area:	786.69 sf
New private area:	560.94 sf
New private area:	1,039.44 sf



PROPERTY INFORMATION
Lot Size: 8,950.00 sq/ft
Assessor's ID No: 8508-001-053
Address: 235 W CHERRY AVE MONROVIA CA 91016
Property Type: Single Family Residential
Region / Cluster: 05 / 05173
Tax Rate Area (TRA): 06215
PROPERTY BOUNDARY DESCRIPTION
PASADENA SUB OF BLKS 6 AND 11 OF MONROVIA
LOT 88 BLK 11
BUILDING DESCRIPTION
Building Improvement 1
Square Footage: 838
Year Build / Effective Year Built: 1950 / 1950
Bedrooms / Bathrooms 2 / 1
Units 1

INDEX SHEET:

- A-1.0 New plot plan and general information.
- A-1.1 Existing plot plan & adjacent structure plan.
- A-1.2 Residential Mandatory Measures.
- A-2.0 Existing floor plan.
- A-3.0 New floor plans.
- A-4.0 Elevations.
- A-5.0 Boundary Survey.

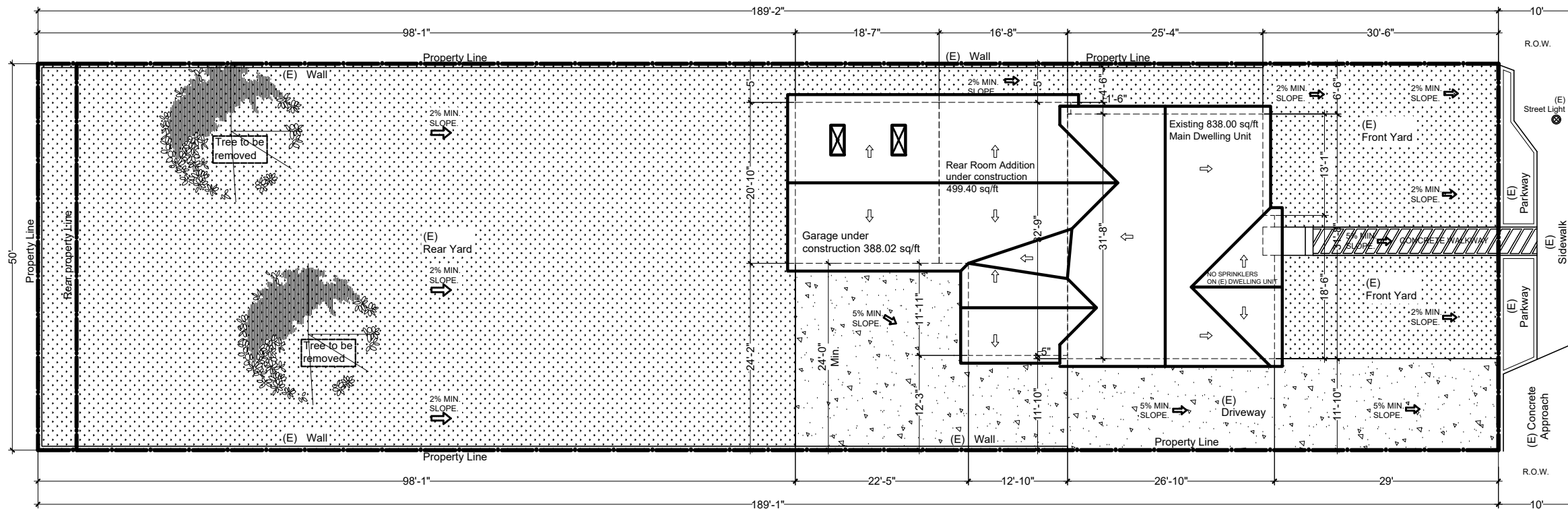
Design: L. Si
235 W. Chery Ave,
Monrovia, CA 91016
Drawn: M. Mejia
235 W. Chery Ave.,
Monrovia, CA 91016

Address: 235 W. Chery Ave., Monrovia, CA 91016
Tract: ---
Block: 11
Lot: 88

Owner: Lam Si
Permit Number: ---
Zone: ---

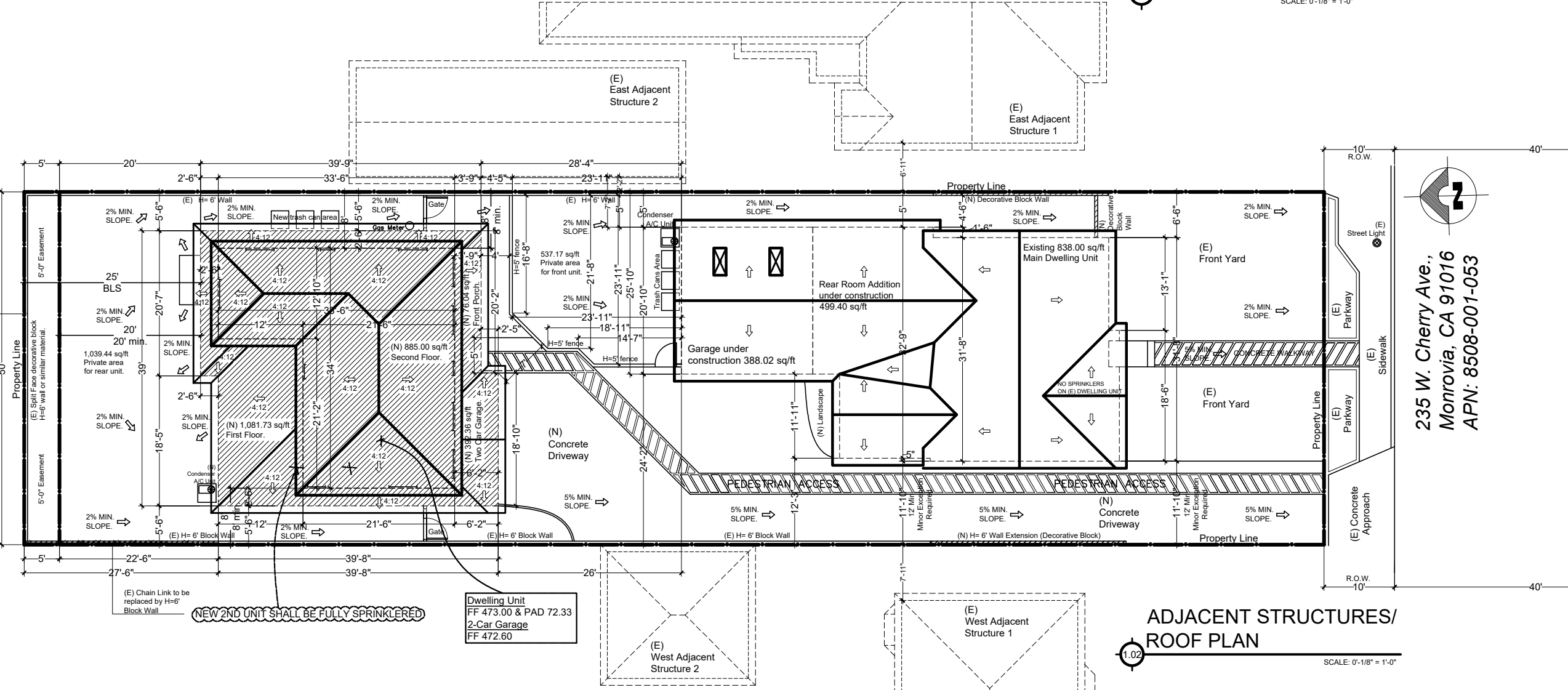
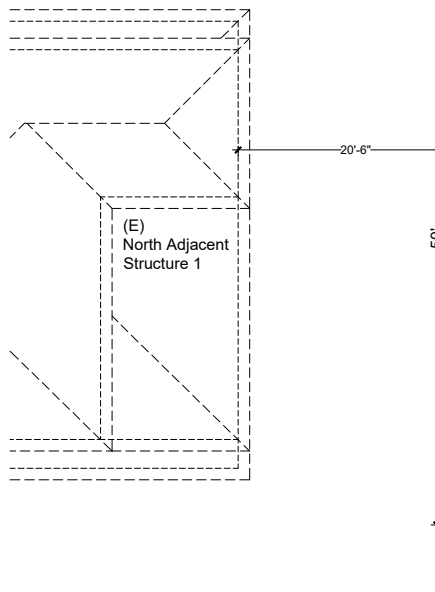
Scope of Work:
1,773.44 sq/ft 2nd dwelling unit (two-story);
383.68 sq/ft two car garage; and 59.53 sq/ft front porch.
Drawing Title:
New Plot Plan & General Information.

A.P.N.: 8508-001-053
Date: November, 14, 2019
Sheet No.: A-1.0
Scale: Each Sheet



EXISTING PLOT PLAN
SCALE: 0'-1/8" = 1'-0"

235 W. Cherry Ave.,
Monrovia, CA 91016
APN: 8508-001-053



**ADJACENT STRUCTURES/
ROOF PLAN**
SCALE: 0'-1/8" = 1'-0"

235 W. Cherry Ave.,
Monrovia, CA 91016
APN: 8508-001-053

NEW 2ND UNIT SHALL BE FULLY SPRINKLERED

Dwelling Unit
FF 473.00 & PAD 72.33
2-Car Garage
FF 472.60

ISSUE BLOCK		
Rev. No.	Rev. Date	Rev. Description
0	00.00.00	Plan Check Comment

Design: L. Si	235 W. Cherry Ave, Monrovia, CA 91016
Drawn: M. Mejia	235 W. Cherry Ave., Monrovia, CA 91016

Address: 235 W. Cherry Ave., Monrovia, CA 91016	Tract: ---	Lot: 88
Lot Size: 9,456.25 sq/ft	Percentage: ---	Block: 11

Owner: Lam Si	Permit Number: ---	Zone: ---
Scope of Work: 1,773.44 sq/ft 2nd dwelling unit (two-story); 383.68 sq/ft two car garage; and 59.53 sq/ft front porch.	Drawing Title: (E) Plot Plan & Adjacent structure plan.	

A.P.N.: 8508-001-053	Scale: Each Sheet
Date: November, 14, 2019	Sheet No.:
A-1.1	

RESIDENTIAL MANDATORY MEASURES EFFECTIVE JANUARY 1, 2017 2016 CALGREEN CODE

SECTION	REQUIREMENTS
Chapter 1 - ADMINISTRATION	
Scope	
101.3.1	Applies to ALL newly constructed residential buildings, low-rise, high-rise, and hotels/motels.
Chapter 3 - GREEN BUILDING	
Additions and alterations	
301.1.1	Applies to additions or alterations of residential buildings where the addition or alteration increases the building's conditioned area, volume, or size. Requirements only apply within the specific area of the addition or alteration. Note directs code users to Civil Code Section 1101.1 et seq. regarding replacement of non-compliant plumbing fixtures.
Low-rise and high-rise buildings	
301.2	Banners identify provisions applying to low-rise only [LR] or high-rise only [HR].
Division 4.1 - PLANNING AND DESIGN (SITE DEVELOPMENT)	
Storm water drainage and retention during construction	
4.106.2	Projects which disturb less than 1 acre of soil and are not part of a larger common plan of development shall manage storm water drainage during construction.
Grading and paving	
4.106.3	Construction plans shall indicate how the site grading or drainage system will manage all surface water flows to keep water from entering buildings. Exception for additions and alterations which do not alter the existing drainage path. Electric vehicle (EV) charging for new construction
4.106.4	Comply with Section 4.106.4.1 and 4.106.4.2 for future installation and use of EV chargers. Electric vehicle supply equipment (EVSE) shall be installed in accordance with the California Electrical Code, Article 625. Exceptions on a case-by-case basis as determined by the Local Enforcing Agency: 1. Where there is no commercial power supply. 2. Verification that meeting requirements will alter the local utility infrastructure design requirements on the utility side of the meter increasing costs to the homeowner/developer by more than \$400.00 per dwelling unit.
EV charging: 1- & 2-family dwellings/townhouses with attached private garages	
4.106.4.1 & 4.106.4.1.1	Install a listed raceway to accommodate a dedicated 208/240-volt branch circuit for each dwelling unit. Raceway shall not be less than trade size 1 (nominal 1-inch inside diameter). Raceway shall originate at the main service or subpanel and terminate into a listed cabinet, box or other enclosure in close proximity to the proposed location of an EV charger. Raceways are required to be continuous at enclosed, inaccessible or concealed areas and spaces. Service panel and/or subpanel shall provide capacity to install a 40-ampere minimum dedicated branch circuit and space(s) reserved to permit installation of a branch circuit overcurrent protective device. Service panel or subpanel circuit.

RESIDENTIAL MANDATORY MEASURES EFFECTIVE JANUARY 1, 2017 2016 CALGREEN CODE

SECTION	REQUIREMENTS
Division 4.1 - PLANNING AND DESIGN (SITE DEVELOPMENT)	
Storm water drainage and retention during construction	
4.106.4.1 & 4.106.4.1.1 continued	Projects which disturb less than 1 acre of soil and are not part of a larger common plan of development shall manage storm water drainage during construction.
Grading and paving	
4.106.3	Construction plans shall indicate how the site grading or drainage system will manage all surface water flows to keep water from entering buildings. Exception for additions and alterations which do not alter the existing drainage path. Electric vehicle (EV) charging for new construction
4.106.4	Comply with Section 4.106.4.1 and 4.106.4.2 for future installation and use of EV chargers. Electric vehicle supply equipment (EVSE) shall be installed in accordance with the California Electrical Code, Article 625. Exceptions on a case-by-case basis as determined by the Local Enforcing Agency: 1. Where there is no commercial power supply. 2. Verification that meeting requirements will alter the local utility infrastructure design requirements on the utility side of the meter increasing costs to the homeowner/developer by more than \$400.00 per dwelling unit.
EV charging: 1- & 2-family dwellings/townhouses with attached private garages	
4.106.4.1 & 4.106.4.1.1	Install a listed raceway to accommodate a dedicated 208/240-volt branch circuit for each dwelling unit. Raceway shall not be less than trade size 1 (nominal 1-inch inside diameter). Raceway shall originate at the main service or subpanel and terminate into a listed cabinet, box or other enclosure in close proximity to the proposed location of an EV charger. Raceways are required to be continuous at enclosed, inaccessible or concealed areas and spaces. Service panel and/or subpanel shall provide capacity to install a 40-ampere minimum dedicated branch circuit and space(s) reserved to permit installation of a branch circuit overcurrent protective device. Service panel or subpanel circuit.

RESIDENTIAL MANDATORY MEASURES EFFECTIVE JANUARY 1, 2017 2016 CALGREEN CODE

SECTION	REQUIREMENTS
Division 4.2 - ENERGY EFFICIENCY	
Scope	
4.201.1 & 5.201.1	Energy efficiency requirements for low-rise residential (Section 4.201.1) and high-rise residential (hotels/motels) (Section 5.201.1) are now in both residential and nonresidential chapters of CALGreen. Standards for residential buildings do not require compliance with levels of minimum energy efficiency beyond those required by the 2016 California Energy Code.
Division 4.2.3 - ENERGY EFFICIENCY (OVERCURRENT PROTECTIVE DEVICES)	
4.106.4.2.3 continued	Construction documents shall identify the raceway termination point. The service panel and/or subpanel shall provide capacity to install a 40-ampere minimum dedicated branch circuit and space(s) reserved to permit installation of a branch circuit overcurrent protective device.
Multiple EV spaces required	
4.106.4.2.4	Construction documents shall indicate raceway termination point and proposed location of future EV spaces and EV chargers. Construction documents shall also provide information on amperage of future EVSE, raceway methods, wiring schematics and electrical load calculations to verify electrical panel service capacity and capacity for facilitating future EV charging. There is no requirement for EV spaces to be rounded up to the nearest whole number. Note: Construction documents are intended to demonstrate the project's capability and capacity for facilitating future EV charging. There is no requirement for EV spaces to be constructed or available until EV chargers are installed for use. EV charging space (EV space) locations
4.106.4.2.1	Construction documents shall indicate the location of proposed EV spaces. At least 1 EV space shall be located in common use areas and available for use by all residents. When EV chargers are installed, EV spaces required by Section 4.106.4.2.2, Item 3, shall comply with at least 1 of the following options: 1. The EV space shall be located adjacent to an accessible parking space meeting the requirements of the California Building Code, Chapter 11A, to allow use of the EV charger from the accessible parking space. 2. The EV space shall be located on an accessible route to the building, as defined in the California Building Code, Chapter 2.
EV charging space (EV space) dimensions	
4.106.4.2.2	EV spaces shall be designed to comply with the following: 1. The minimum length of each EV space shall be 16 feet. 2. The minimum width of each EV space shall be 9 feet. 3. One in every 25 EV spaces, but not less than 1, shall also have an 8-foot wide minimum aisle. A 5-foot wide minimum aisle shall be permitted provided the minimum width of the EV space is 12 feet. a) Surface slope for this EV space and aisle shall not exceed 1 unit vertical in 48 units horizontal (2.083% slope) in any direction. Single EV space required
4.106.4.2.3	Install listed raceway capable of accommodating a 208/240-volt dedicated branch circuit. The raceway shall not be less than trade size 1 (nominal 1-inch inside diameter). The raceway shall originate at the main service or subpanel and shall terminate into a listed cabinet, box or enclosure in close proximity to the proposed location of the EV space.

RESIDENTIAL MANDATORY MEASURES EFFECTIVE JANUARY 1, 2017 2016 CALGREEN CODE

SECTION	REQUIREMENTS
Division 4.3 - WATER EFFICIENCY AND CONSERVATION (INDOOR WATER USE)	
Water conserving plumbing fixtures and fittings	
4.303.1	Plumbing fixtures and fittings shall comply with the following: 4.303.1.1 Water Closets: ≤ 1.28 gal/flush 4.303.1.2 Wall Mounted Urinals: ≤ 0.125 gal/flush; all other urinals ≤ 0.5 gal/flush 4.303.1.3.1 Single Showerheads: ≤ 2.0 gpm @ 80 psi 4.303.1.3.2 Multiple Showerheads: combined flow rate of all showerheads controlled by a single valve shall not exceed 2.0 gpm @ 80 psi, or only one shower outlet is to be in operation at a time
4.303.2	4.303.1.4.1 Residential Lavatory Faucets: Maximum Flow Rate ≤ 1.2 gpm @ 60 psi; Minimum Flow Rate ≥ 0.8 gpm @ 20 psi 4.303.1.4.2 Lavatory Faucets in Common and Public Use Areas of Residential Buildings: ≤ 0.5 gpm @ 60 psi 4.303.1.4.3 Metering Faucets: ≤ 0.25 gallons per cycle 4.303.1.4.4 Kitchen Faucets: ≤ 1.8 gpm @ 60 psi; temporary increase to 2.2 gpm allowed but shall default to 1.8 gpm
Standards for plumbing fixtures and fittings	
4.303.2	Plumbing fixtures and fittings shall be installed in accordance with the California Plumbing Code, and shall meet applicable standards referenced in Table 1701.1 of the California Plumbing Code.
Division 4.3 - WATER EFFICIENCY AND CONSERVATION (OUTDOOR WATER USE)	
Outdoor potable water use in landscape areas	
4.304.1	After December 1, 2015, new residential developments with an aggregate landscape area equal to or greater than 500 square feet shall comply with one of the following: 1. A local water efficient landscape ordinance or the current California Department of Water Resources Model Water Efficient Landscape Ordinance (MWELO), whichever is more stringent, or 2. Projects with aggregate landscape areas less than 2500 square feet may comply with the MWELO's Appendix D Prescriptive Compliance Option.
Division 4.4 - MATERIAL CONSERVATION & RESOURCE EFFICIENCY (ENHANCED DURABILITY & REDUCED MAINTENANCE)	
Radon proofing	
4.406.1	Annular spaces around pipes, electric cables, conduits or other openings in sole/bottom plates at exterior walls shall be closed with cement mortar, concrete masonry or a similar method acceptable to the enforcing agency to prevent passage of radon.
Division 4.4 - MATERIAL CONSERVATION & RESOURCE EFFICIENCY (CONSTRUCTION WASTE REDUCTION, DISPOSAL & RECYCLING)	
Construction waste reduction of at least 65%	
4.408.1	Recycle and/or salvage for reuse a minimum of 65% of the nonhazardous construction and demolition waste in accordance with either Section 4.408.2, 4.408.3 or 4.408.4. OR meet a more stringent local construction and demolition waste management ordinance.

RESIDENTIAL MANDATORY MEASURES EFFECTIVE JANUARY 1, 2017 2016 CALGREEN CODE

SECTION	REQUIREMENTS
Division 4.4 - MATERIAL CONSERVATION & RESOURCE EFFICIENCY (OPERATION & MAINTENANCE)	
Operation and maintenance manual	
4.410.1	At the time of final inspection, a manual, compact disc, web-based reference or other media acceptable to the enforcing agency which covers 10 specific subject areas shall be placed in the building. Recycling by occupants
4.410.2	Where 5 or more multifamily dwelling units are constructed on a building site, provide readily accessible area(s) that serves all buildings on the site and is identified for the depositing, storage and collection of non-hazardous materials for recycling, including (at minimum) paper, corrugated cardboard, glass, plastics, organic waste, and metals or meet a locally enacted local recycling ordinance, if more restrictive. Exception: Rural jurisdictions that meet and apply for the exemption in Public Resources Code Section 42649.82 (a)(2)(A) et. seq. are not required to comply with the organic waste portion of this section.

RESIDENTIAL MANDATORY MEASURES EFFECTIVE JANUARY 1, 2017 2016 CALGREEN CODE

SECTION	REQUIREMENTS
Division 4.6 - ENVIRONMENTAL QUALITY (FIREPLACES)	
General	
4.503.1	Any installed gas fireplace shall be a direct-vent sealed-combustion type. Any installed woodstove or pellet stove shall comply with U.S. EPA New Source Performance Standards (NSPS) emission limits as applicable, and shall have a permanent label indicating they are certified to meet the emission limits. Woodstoves, pellet stoves and fireplaces shall also comply with all applicable local ordinances.
Division 4.5 - ENVIRONMENTAL QUALITY (POLLUTANT CONTROL)	
Protection during construction	
4.504.1	At the time of rough installation, during storage on the construction site and until final startup of the heating, cooling and ventilating equipment, all duct and other related air intake and distribution component openings shall be covered. Tape, plastic, sheetmetal or other methods acceptable to the enforcing agency to reduce the amount of water, dust and debris entering the system may be used.
Adhesives, sealants and caulks	
4.504.2.1	Adhesives, sealants and caulks used on the project shall meet the requirements of the following standards unless more stringent local or regional air pollution or air quality management district rules apply: 1. Adhesives, adhesive bonding primers, adhesive primers, sealants, sealant primers, and caulks shall comply with local or regional air pollution control or air quality management district rules where applicable, or SCAQMD Rule 1168 VOC limits, as shown in Tables 4.504.1 or 4.504.2, as applicable. Such products shall also comply with Rule 1168 prohibition on the use of certain toxic compounds (chloroform, ethylene dichloride, methylene chloride, perchloroethylene and trichloroethylene), except for aerosol products as specified in Subsection 2 below. 2. Aerosol adhesives, and smaller unit sizes of adhesives, and sealant or caulking compounds (in units of product, less packaging, which do not weigh more than 1 pound and do not consist of more than 16 fluid ounces) shall comply with statewide VOC standards and other requirements, including prohibitions on use of certain toxic compounds, of the California Code of Regulations (CCR), Title 17, commencing with Section 94507.
Paints and coatings	
4.504.2.2	Architectural paints and coatings shall comply with VOC limits in Table 1 of the Air Resources Board Architectural Suggested Control Measure, as shown in Table 4.504.3, unless more stringent local limits apply. The VOC content limit for coatings that do not meet the definitions for the specialty coatings categories listed in Table 4.504.3 shall be determined by classifying the coating as Flat, Nonflat, or Nonflat-High Gloss coating, based on its gloss, as defined in subsections 4.21, 4.36, and 4.37, of the 2007 California Air Resources Board, Suggested Control Measure, and the corresponding Flat, Nonflat, or Nonflat-High Gloss VOC limit in Table 4.504.3 shall apply.

RESIDENTIAL MANDATORY MEASURES EFFECTIVE JANUARY 1, 2017 2016 CALGREEN CODE

SECTION	REQUIREMENTS
Division 4.5 - ENVIRONMENTAL QUALITY (INTERIOR MOISTURE CONTROL)	
Concrete slab foundations	
4.505.2	Concrete slab foundations or concrete slab-on-ground floors required to have a vapor retarder by the California Building Code, Chapter 19, or the California Residential Code, Chapter 5, respectively, shall also comply with this section.
Capillary break	
4.505.2.1	A capillary break shall be installed in compliance with at least 1 of the following: 1. A 4-inch thick base of 1/2-inch or larger clean aggregate shall be provided with a vapor retarder in direct contact with concrete and a concrete mix design which will address bleeding, shrinkage and curing shall be used. For additional information, see American Concrete Institute, ACI 302.2R-06. 2. Other equivalent methods approved by the enforcing agency. 3. A slab design specified by a licensed design professional.
Moisture content of building materials	
4.505.3	Building materials with visible signs of water damage shall not be installed. Wall and floor framing shall not be enclosed when the framing members exceed 19% moisture content. Moisture content shall be verified in compliance with the following: 1. Moisture content shall be determined with either a probe-type or a contact-type moisture meter. Equivalent moisture verification methods may be approved by the enforcing agency and shall satisfy requirements in Section 101.8. 2. Moisture readings shall be taken at a point 2 feet to 4 feet from the grade-stamped end of each piece to be verified. 3. At least 3 random moisture readings shall be performed on wall and floor framing with documentation acceptable to the enforcing agency provided at the time of approval to enclose the wall and floor framing. Insulation products which are visibly wet or have a high moisture content shall be replaced or allowed to dry prior to enclosure in wall or roof cavities. Manufacturers' drying recommendations shall be followed for wet-applied insulation products prior to enclosure.
Composite wood products	
4.504.5	Hardwood plywood, particleboard and medium density fiberboard composite wood products used on the interior or exterior of the building shall meet the requirements

RESIDENTIAL MANDATORY MEASURES EFFECTIVE JANUARY 1, 2017 2016 CALGREEN CODE

SECTION	REQUIREMENTS
Division 4.6 - ENVIRONMENTAL QUALITY (FIREPLACES)	
General	
4.504.1	Any installed gas fireplace shall be a direct-vent sealed-combustion type. Any installed woodstove or pellet stove shall comply with U.S. EPA New Source Performance Standards (NSPS) emission limits as applicable, and shall have a permanent label indicating they are certified to meet the emission limits. Woodstoves, pellet stoves and fireplaces shall also comply with all applicable local ordinances.
Division 4.5 - ENVIRONMENTAL QUALITY (POLLUTANT CONTROL)	
Protection during construction	
4.504.1	At the time of rough installation, during storage on the construction site and until final startup of the heating, cooling and ventilating equipment, all duct and other related air intake and distribution component openings shall be covered. Tape, plastic, sheetmetal or other methods acceptable to the enforcing agency to reduce the amount of water, dust and debris entering the system may be used.
Adhesives, sealants and caulks	
4.504.2.1	Adhesives, sealants and caulks used on the project shall meet the requirements of the following standards unless more stringent local or regional air pollution or air quality management district rules apply: 1. Adhesives, adhesive bonding primers, adhesive primers, sealants, sealant primers, and caulks shall comply with local or regional air pollution control or air quality management district rules where applicable, or SCAQMD Rule 1168 VOC limits, as shown in Tables 4.504.1 or 4.504.2, as applicable. Such products shall also comply with Rule 1168 prohibition on the use of certain toxic compounds (chloroform, ethylene dichloride, methylene chloride, perchloroethylene and trichloroethylene), except for aerosol products as specified in Subsection 2 below. 2. Aerosol adhesives, and smaller unit sizes of adhesives, and sealant or caulking compounds (in units of product, less packaging, which do not weigh more than 1 pound and do not consist of more than 16 fluid ounces) shall comply with statewide VOC standards and other requirements, including prohibitions on use of certain toxic compounds, of the California Code of Regulations (CCR), Title 17, commencing with Section 94507.
Paints and coatings	
4.504.2.2	Architectural paints and coatings shall comply with VOC limits in Table 1 of the Air Resources Board Architectural Suggested Control Measure, as shown in Table 4.504.3, unless more stringent local limits apply. The VOC content limit for coatings that do not meet the definitions for the specialty coatings categories listed in Table 4.504.3 shall be determined by classifying the coating as Flat, Nonflat, or Nonflat-High Gloss coating, based on its gloss, as defined in subsections 4.21, 4.36, and 4.37, of the 2007 California Air Resources Board, Suggested Control Measure, and the corresponding Flat, Nonflat, or Nonflat-High Gloss VOC limit in Table 4.504.3 shall apply.

RESIDENTIAL MANDATORY MEASURES EFFECTIVE JANUARY 1, 2017 2016 CALGREEN CODE

SECTION	REQUIREMENTS
Division 4.5 - ENVIRONMENTAL QUALITY (INDOOR AIR QUALITY & EXHAUST)	
Bathroom exhaust fans	
4.506.1	Each bathroom shall be mechanically ventilated and shall comply with the following: 1. Fans shall be ENERGY STAR compliant and be ducted to terminate outside the building. 2. Unless functioning as a component of a whole house ventilation system, fans must be controlled by a humidity control. a) Humidity controls shall be capable of manual or automatic adjustment between a relative humidity range of less than 50% to a maximum of 80%. b) A humidity control may be a separate component to the exhaust fan and is not required to be integral or built-in. Note: For CALGreen a "bathroom" is a room which contains a bathtub, shower, or tub/shower combination. Fans or mechanical ventilation is required in each bathroom.
Division 4.5 - ENVIRONMENTAL QUALITY (ENVIRONMENTAL COMFORT)	
Heating and air conditioning system design	
4.507.2	Heating and air conditioning systems shall be sized, designed, and equipment selected using the following methods: 1. The heat loss and heat gain is established according to ANSI/ACCA 2 Manual J - 2011 (Residential Load Calculation), ASHRAE handbooks or other equivalent design software or methods. 2. Duct systems are sized according to ANSI/ACCA 1 Manual D - 2014 (Residential Duct Systems), ASHRAE handbooks or other equivalent design software or methods. 3. Select heating and cooling equipment according to ANSI/ACCA 3 Manual S - 2014 (Residential Equipment Selection) or other equivalent design software or methods. Exception: Use of alternate design temperatures necessary to ensure the systems functions are acceptable.
CHAPTER 7 - INSTALLER & SPECIAL INSPECTOR QUALIFICATION (QUALIFICATIONS, VERIFICATIONS)	
Installer training	
702.1	HVAC system installers shall be trained and certified in the proper installation of HVAC systems and equipment by a recognized training or certification program. Examples of acceptable HVAC training and certification programs include but are not limited to the following: 1. State certified apprenticeship programs. 2. Public utility training programs. 3. Training programs sponsored by trade, labor or statewide energy consulting or verification organizations. 4. Programs sponsored by manufacturing organizations. 5. Other programs acceptable to the enforcing agency.

RESIDENTIAL MANDATORY MEASURES EFFECTIVE JANUARY 1, 2017 2016 CALGREEN CODE

SECTION	REQUIREMENTS
Division 7 - SPECIAL INSPECTION	
Special inspection	
702.2	Special inspectors must be qualified and able to demonstrate competence to the enforcing agency in the discipline in which they are inspecting.
Documentation	
703.1	Documentation of compliance shall include, but is not limited to, construction documents, plans, specifications, builder or installer certification, inspection reports, or other methods acceptable to the local enforcing agency. Other specific documentation or special inspections necessary to verify compliance are specified in appropriate sections of CALGreen.

ISSUE BLOCK

Rev. No.	Rev. Date	Rev. Description
0	00.00.00	Plan Check Comment

Design: L. Si
235 W. Cherry Ave.,
Monrovia, CA 91016
Drawn: M. Mejia
235 W. Cherry Ave.,
Monrovia, CA 91016

Address:
235 W. Cherry Ave.,
Monrovia, CA 91016

Owner:
Lam Si
Permit Number:
Zone:
Tract:
Lot Size:
9,456.25 sq/ft
Block:
11
Percentage:
Zone:

Scope of Work:
1,773.44 sq/ft 2nd dwelling unit (two-story);
383.68 sq/ft two car garage; and 59.53 sq/ft front porch.
Drawing Title:
Residential Mandatory Measures.

A.P.N.:
8508-001-053
Date:
November 14, 2019
Sheet No.:
A-1.2
Scale:
Each Sheet

ISSUE BLOCK

Rev. No.	Rev. Date	Rev. Description
0	00.00.00	Plan Check Comment

Design:
L. Si
235 W. Cherry Ave.,
Monrovia, CA 91016

Drawn:
M. Mejia
235 W. Cherry Ave.,
Monrovia, CA 91016

Address: 235 W. Cherry Ave., Monrovia, CA 91016

Tract: ---

Lot Size: 9,456.25 sq/ft

Percentage: ---

Block: 11

Lot: 88

Owner:
Lam Si

Permit Number: ---

Zone: ---

Scope of Work:
1,773.44 sq/ft 2nd dwelling unit (two-story);
383.68 sq/ft two car garage; and 59.53 sq/ft front porch.

Drawing Title:
Existing Floor Plan.

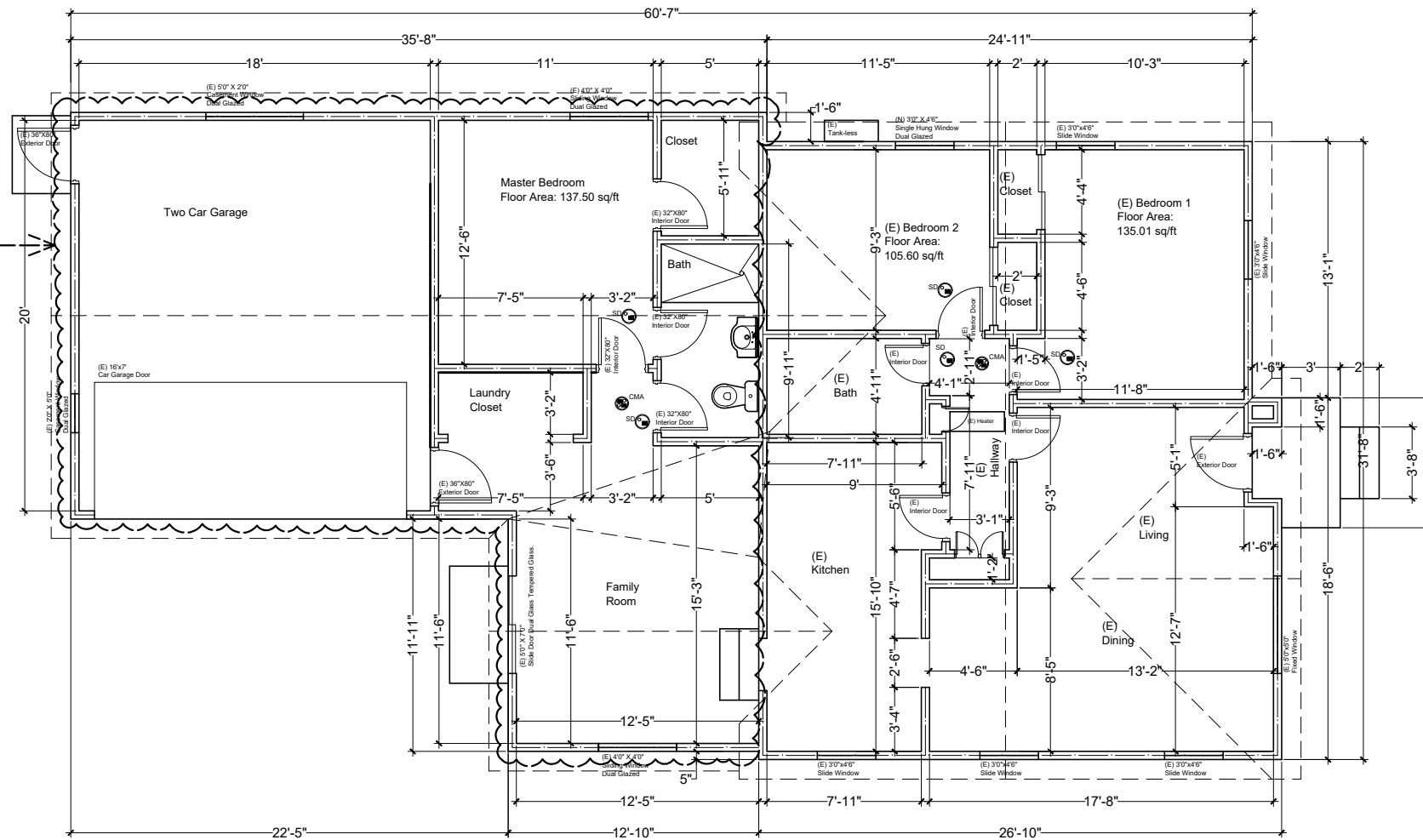
A.P.N.: 8508-001-053

Date: November, 14, 2019

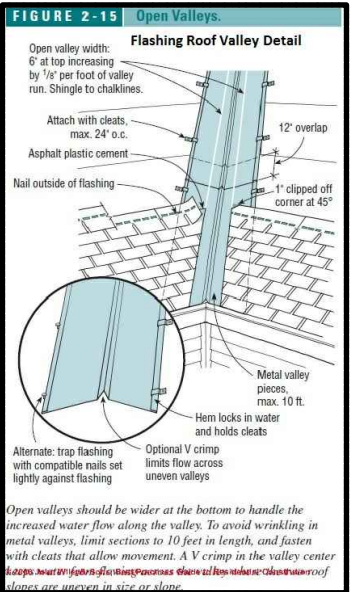
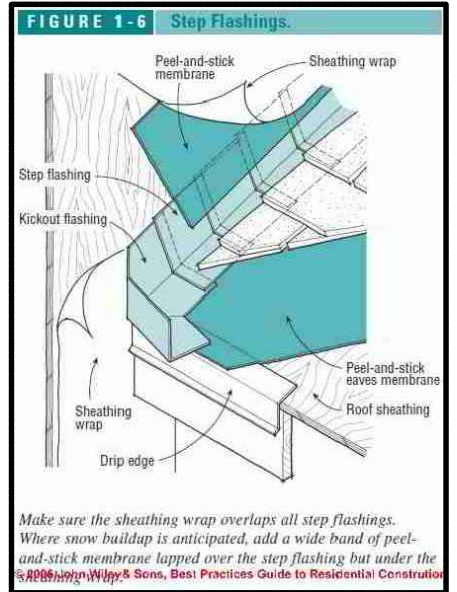
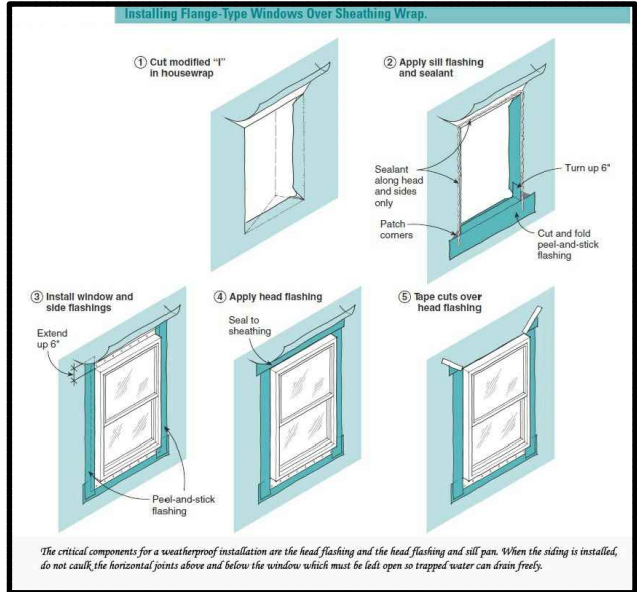
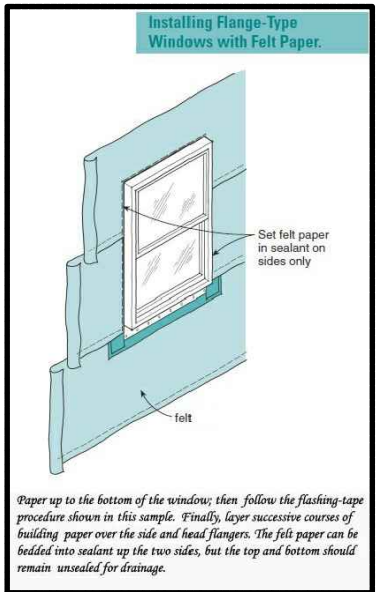
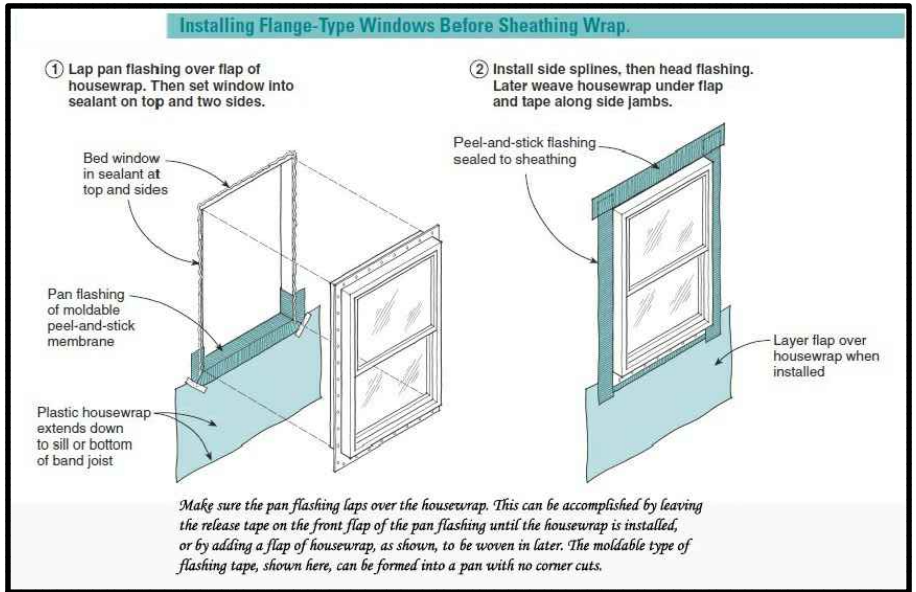
Sheet No.: A-2.0

Scale: Each Sheet

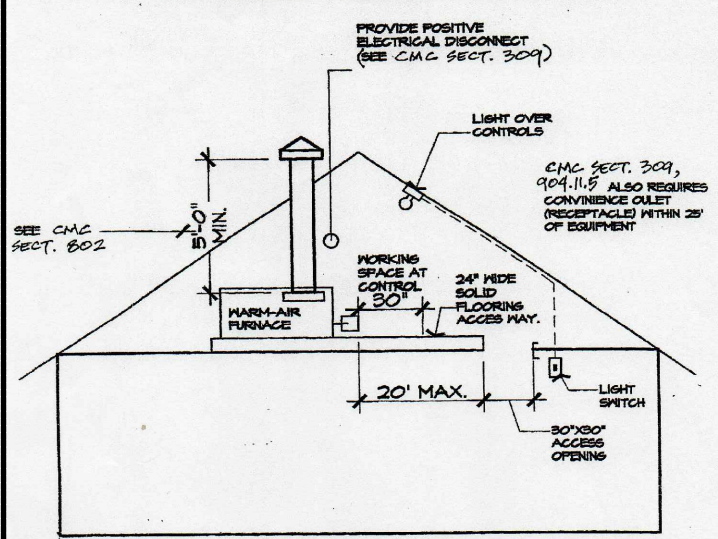
Rear room addition under construction.
Permit Number:
BLDG: PMT2019-202
COMB: COM2019-146



EXISTING FLOOR PLAN
SCALE: 0'-1/4" = 1'-0"



WARM AIR FURNACE - ATTIC



RELATED CODE SECTION: CMC SECT. 931
 CENTRAL WARM-AIR FURNACES INSTALLED IN AN ATTIC MUST BE ACCESSIBLE FOR ROUTINE INSPECTIONS AND MAINTENANCE BY THE OWNER/OCCUPANT AND FOR SERVICE AND REPAIR AS NEEDED. CHANGING FILTERS, LUBRICATING MOTOR AND FAN BEARING, CHECKING BELT TENSION, AND RELIGHTING THE PILOT FOLLOWING A SERVICE INTERRUPTION ARE NORMAL OWNER FUNCTIONS. ADEQUATE LIGHT, AND ELECTRICAL OUTLET, SAFE ACCESS WAY AND SUFFICIENT WORKING SPACE ON THE CONTROL SIDE ALL ENCOURAGE AND FACILITATE MAINTENANCE AND ALSO ENABLE RAPID EGRESS IN AN EMERGENCY.

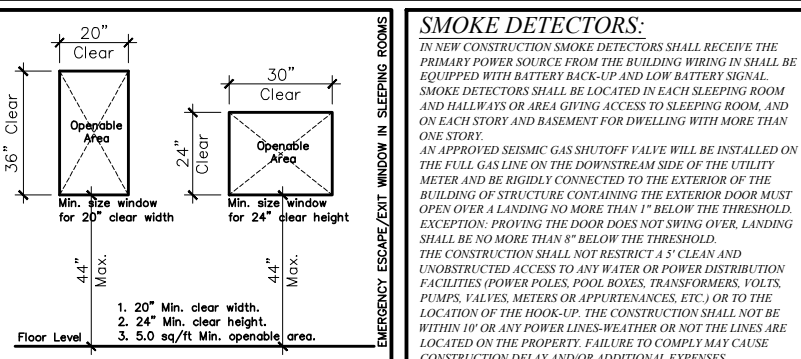
- NOTES:**
1. PROVIDE DOUBLE JOISTS BELOW UNIT
 2. PROVIDE SEISMIC BRACES OR ANCHOR UNIT TO PLATFORM
 3. CONDENSATE DRAIN SHALL TERMINATE AT AN APPROVED PLUMBING FIXTURE

ELECTRICAL NOTES:
 - All receptacles outlets shall be listed tamper-resistant receptacles per CEC Section 406.11.
 - Bathroom receptacles shall be served by a dedicated 20 amp circuit—per CEC Sect. 210.11 (c)
GREEN BUILDING NOTE:
 *Per 2016 CGBSC: existing noncompliant plumbing fixtures shall be replaced with water-conserving plumbing fixtures for a residential building undergoing addition or alteration".

- NOTES:**
- * In bathroom, garage, laundry room and utility room: at least one luminaries shall be controlled by vacancy sensors — per Section 150.0(k)2.J
 - * In habitable rooms: all lighting shall be controlled by either dimmers or vacancy sensors —per Sections 150.0(k)2K.
 - * Outdoor lighting attached to the building shall be high efficacy and shall be controlled by a manual ON and OFF switch and by a motion sensor with integral photo control — per Section 150.0(k)3.
 - * Certificate of installations (CF2R—ENV, CF2R—LTG and CF2R—MECH) shall be completed by the applicable contractors installing energy features. When compliance requires HERS field verification and/or testing, all CF2R forms shall be submitted electronically to an approved HERS provider data registry. The CF2R forms shall be posted at the job site in a conspicuous location.
 - * Certificate of verification (CF3R) shall be completed, registered, and signed/certified by HERS rater. The registered CF3R form shall be made available to the Building Department and builder.

LEGEND SYMBOLS	ELECTRICAL SYMBOLS

ALL BUILDING MATERIALS (IE.: WINDOWS, DOORS ROOF, PAINT, FASCIA, ETC.) SHALL MATCH THE EXISTING HOUSE



Room	Ventilation area, 4% min.	Natural light area, 8% min.	Room floor area	Window area	Calculation
Bedroom 1	165.04 sq/ft	28 sq/ft	165.04 sq/ft	28 sq/ft	(28.0/165.04) x 100 = 16.96%
Bedroom 2	143.69 sq/ft	28 sq/ft	143.69 sq/ft	28 sq/ft	(28.0/143.69) x 100 = 19.48%
Bedroom 3	138.62 sq/ft	16 sq/ft	138.62 sq/ft	16 sq/ft	(16.0/138.62) x 100 = 11.54%
Master Bedroom	169.76 sq/ft	28 sq/ft	169.76 sq/ft	28 sq/ft	(28.0/169.76) x 100 = 16.49%

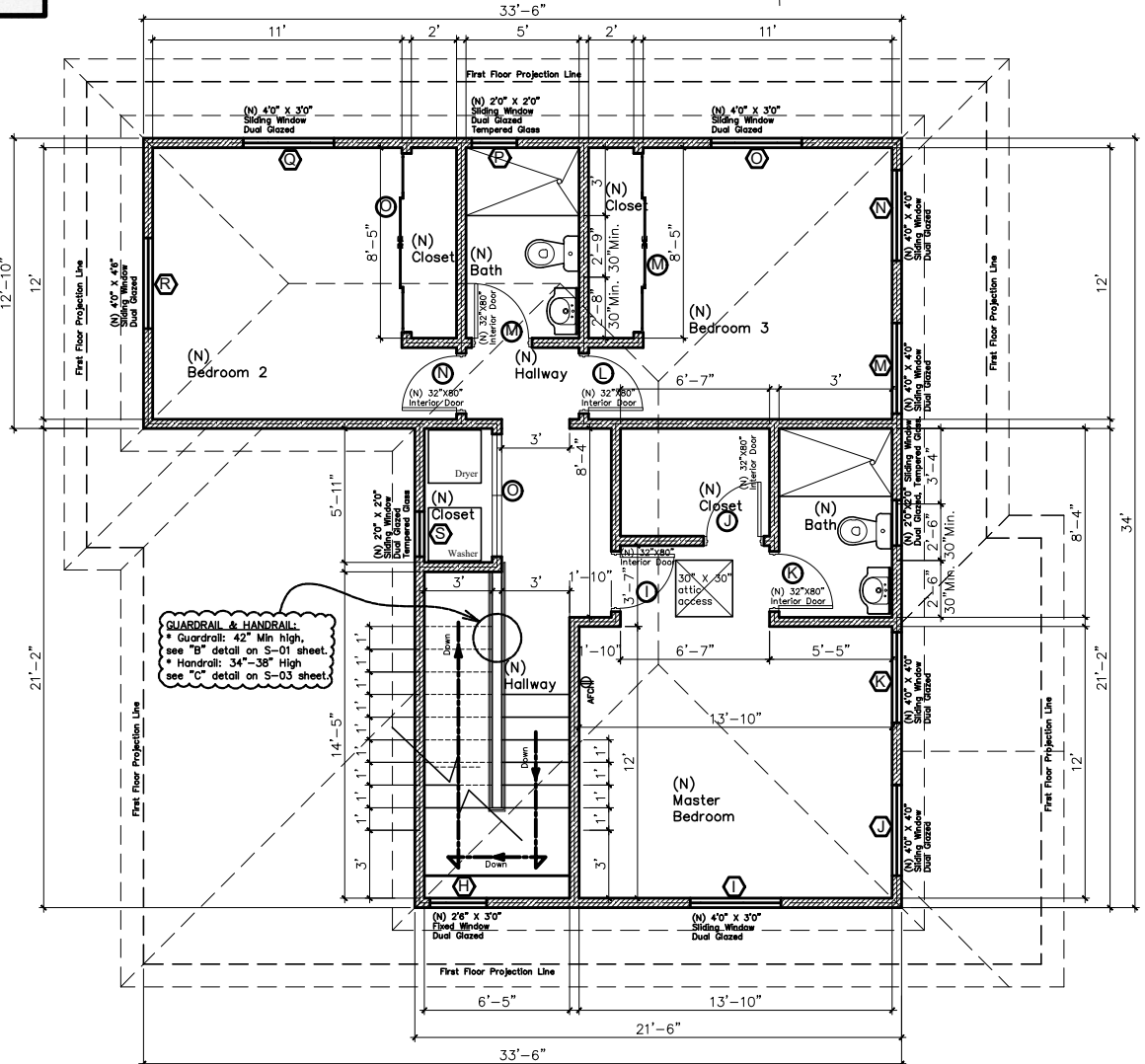
SMOKE DETECTORS:
 IN NEW CONSTRUCTION SMOKE DETECTORS SHALL RECEIVE THE PRIMARY POWER SOURCE FROM THE BUILDING WIRING IN SHALL BE EQUIPPED WITH BATTERY BACK-UP AND LOW BATTERY SIGNAL. SMOKE DETECTORS SHALL BE LOCATED IN EACH SLEEPING ROOM AND HALLWAYS OR AREA GIVING ACCESS TO SLEEPING ROOM, AND ON EACH STORY AND BASEMENT FOR DWELLING WITH MORE THAN ONE STORY. AN APPROVED SEISMIC GAS SHUTOFF VALVE WILL BE INSTALLED ON THE FULL GAS LINE ON THE DOWNSTREAM SIDE OF THE UTILITY METER AND BE RIGIDLY CONNECTED TO THE EXTERIOR OF THE BUILDING OF STRUCTURE CONTAINING THE EXTERIOR DOOR MUST OPEN OVER A LANDING NO MORE THAN 1' BELOW THE THRESHOLD. EXCEPTION: PROVING THE DOOR DOES NOT SWING OVER, LANDING SHALL BE NO MORE THAN 8" BELOW THE THRESHOLD. THE CONSTRUCTION SHALL NOT RESTRICT 4" CLEAR AND UNOBSTRUCTED ACCESS TO ANY WATER OR POWER DISTRIBUTION FACILITIES (POWER POLES, POOL BOXES, TRANSFORMERS, VOLTS, PUMPS, VALVES, METERS OR APPURTENANCES, ETC.) OR TO THE LOCATION OF THE HOOK-UP. THE CONSTRUCTION SHALL NOT BE WITHIN 10' OR ANY POWER LINES-WEATHER OR NOT THE LINES ARE LOCATED ON THE PROPERTY. FAILURE TO COMPLY MAY CAUSE CONSTRUCTION DELAY AND/OR ADDITIONAL EXPENSES.

ALL EXTERIOR JOINTS, PENETRATIONS AND OPENING IN THE BUILDING ENVELOPE SHALL BE CAULKED AND SEALED

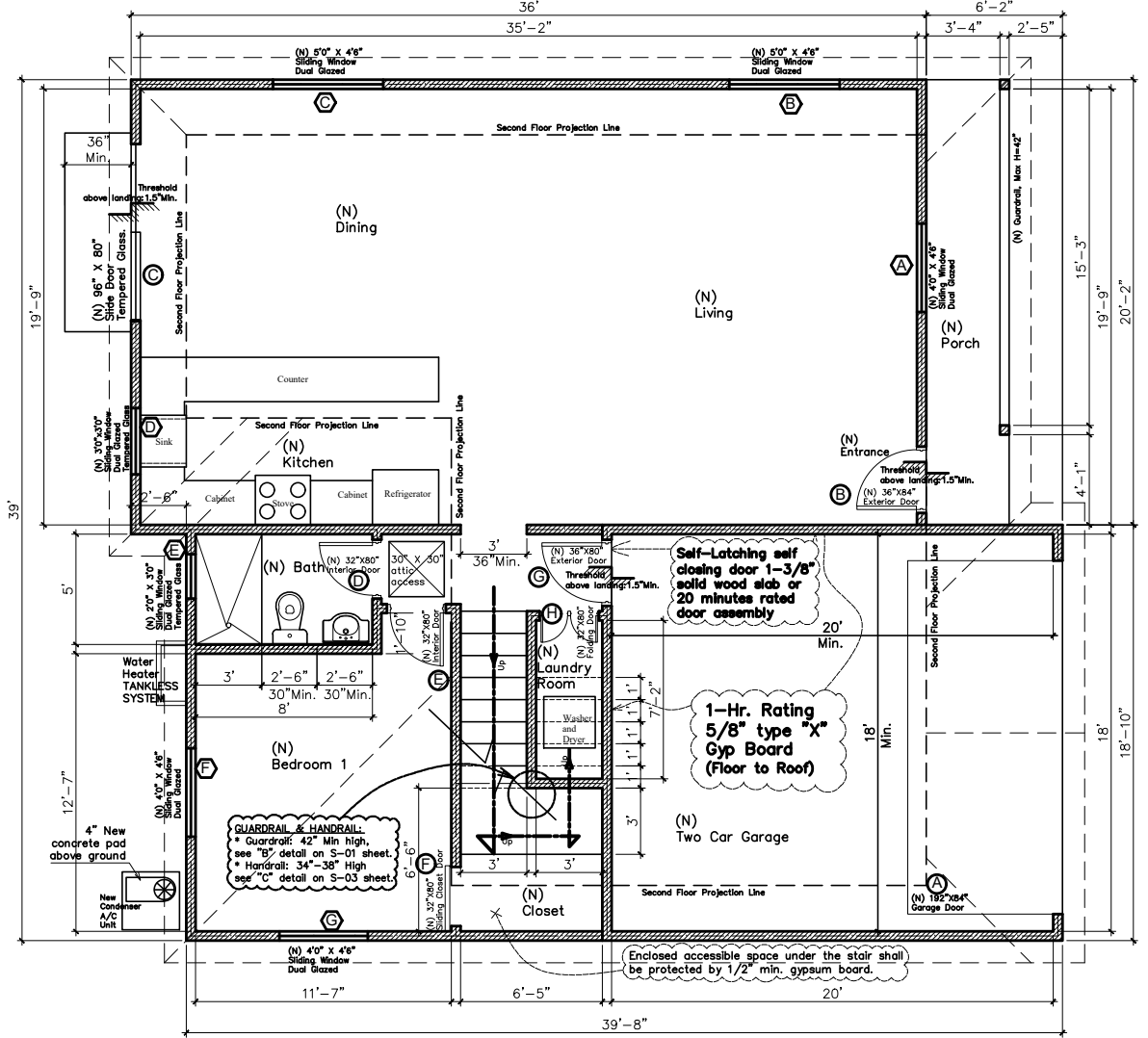
WINDOW SCHEDULE							
Window Mark	Type	Size	Material	Glaz	U-fac.	SHGC	Remark
A	Slide window	4'-0"X4'-6"	Vinyl	Dual Glaz.	0.32	0.25	Egress
B	Slide window	5'-0"X4'-6"	Vinyl	Dual Glaz.	0.32	0.25	Egress.
C	Slide window	5'-0"X4'-6"	Vinyl	Dual Glaz.	0.32	0.25	Egress.
D	Slide window	3'-0"X3'-0"	Vinyl	Dual Glaz.	0.32	0.25	Egress.
E	Slide window	2'-0"X3'-0"	Vinyl	Dual Glaz.	0.32	0.25	Egress
F	Slide window	4'-0"X4'-6"	Vinyl	Dual Glaz.	0.32	0.25	Egress.
G	Slide window	4'-0"X4'-6"	Vinyl	Dual Glaz.	0.32	0.25	Egress.
H	Fixed window	2'-6"X3'-0"	Vinyl	Dual Glaz.	0.32	0.25	Egress.
I	Slide window	4'-0"X3'-0"	Vinyl	Dual Glaz.	0.32	0.25	Egress.
J	Slide window	4'-0"X4'-0"	Vinyl	Dual Glaz.	0.32	0.25	Egress.
K	Slide window	4'-0"X4'-0"	Vinyl	Dual Glaz.	0.32	0.25	Egress.
L	Slide window	2'-0"X2'-0"	Vinyl	Dual Glaz.	0.32	0.25	Egress.
M	Slide window	4'-0"X4'-0"	Vinyl	Dual Glaz.	0.32	0.25	Egress.
N	Slide window	4'-0"X4'-0"	Vinyl	Dual Glaz.	0.32	0.25	Egress.
O	Slide window	4'-0"X3'-0"	Vinyl	Dual Glaz.	0.32	0.25	Egress.
P	Slide window	2'-0"X2'-0"	Vinyl	Dual Glaz.	0.32	0.25	Egress.
Q	Slide window	4'-0"X3'-0"	Vinyl	Dual Glaz.	0.32	0.25	Egress.
R	Slide window	4'-0"X4'-6"	Vinyl	Dual Glaz.	0.32	0.25	Egress.
S	Slide window	2'-0"X2'-0"	Vinyl	Dual Glaz.	0.32	0.25	Egress.

DOOR SCHEDULE				
Window Mark	Type	Size	Material	Remarks
A	Garage Door	192"X84"	Vinyl	Exterior
B	Single Swing	36"X84"	Wood	Exterior
C	Slide Barn door	96"X80"	Glass	Exterior
D	Solid Interior door	32"X80"	Wood	Interior
E	Solid Interior door	32"X80"	Wood	Interior
F	Sliding Closet Door	32"X80"	Wood	Interior
G	Single Swing	36"X84"	Wood	Exterior
H	Folding Door	30"X80"	Wood	Interior
I	Solid Interior door	32"X80"	Wood	Interior
J	Solid Interior door	32"X80"	Wood	Interior
K	Solid Interior door	32"X80"	Wood	Interior
L	Solid Interior door	32"X80"	Wood	Interior
M	Solid Interior door	32"X80"	Wood	Interior
N	Solid Interior door	32"X80"	Wood	Interior
O	Sliding Bypass door	65"X80"	Wood	Interior
P	Sliding Bypass door	100"X80"	Wood	Interior
Q	Sliding Bypass door	100"X80"	Wood	Interior

NEW FLOOR PLAN: UPPER LEVEL
 SCALE: 0'-1/4" = 1'-0"



NEW FLOOR PLAN: LOWER LEVEL
 SCALE: 0'-1/4" = 1'-0"



ISSUE BLOCK

Rev. No.	Rev. Date	Rev. Description
0	00.00.00	Plan Check Comment

Design: L. Si
 Address: 235 W. Chery Ave., Monrovia, CA 91016
 Drawn: M. Meija
 235 W. Chery Ave., Monrovia, CA 91016

Owner: Lam Si
 Address: 235 W. Chery Ave., Monrovia, CA 91016
 Permit Number:
 Lot Size: 9,456.25 sq/ft
 Percentage:
 Block: 11
 Lot: 88

Scope of Work: 1,773.44 sq/ft 2nd dwelling unit (two-story); 383.68 sq/ft two car garage; and 59.53 sq/ft front porch.
 Date: November, 14, 2019
 Sheet No.:
 Scale: Each Sheet
A-3.0
 Drawing Title: New Floor Plans (lower and upper level).

Rev. No.	Rev. Date	Rev. Description
0	00.00.00	Plan Check Comment

Design: L. Si
 235 W. Cherry Ave.,
 Monrovia, CA 91016
 Drawn: M. Mejia
 235 W. Cherry Ave.,
 Monrovia, CA 91016

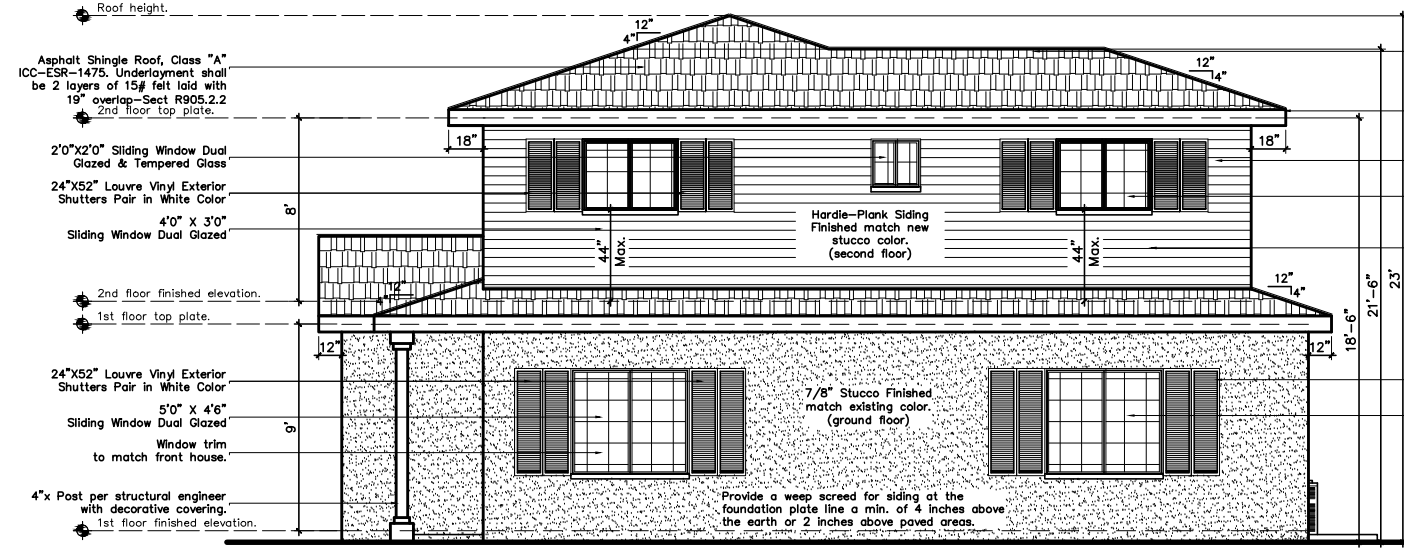
Address: 235 W. Cherry Ave., Monrovia, CA 91016
 Lot Size: 9,456.25 sq/ft
 Percentage: 11
 Block: 11
 Lot: 88

Owner: Lam Si
 Permit Number:
 Zone:
 Scope of Work:
 1,773.44 sq/ft 2nd dwelling unit (two-story);
 383.68 sq/ft two car garage; and 59.53 sq/ft front porch.

A.P.N.: 8508-001-053
 Date: November 14, 2019
 Sheet No.:
 Scale: Each Sheet
A-4.0
 Elevations

EAST ELEVATION OR RIGHT VIEW

SCALE: 0'-1/4" = 1'-0"



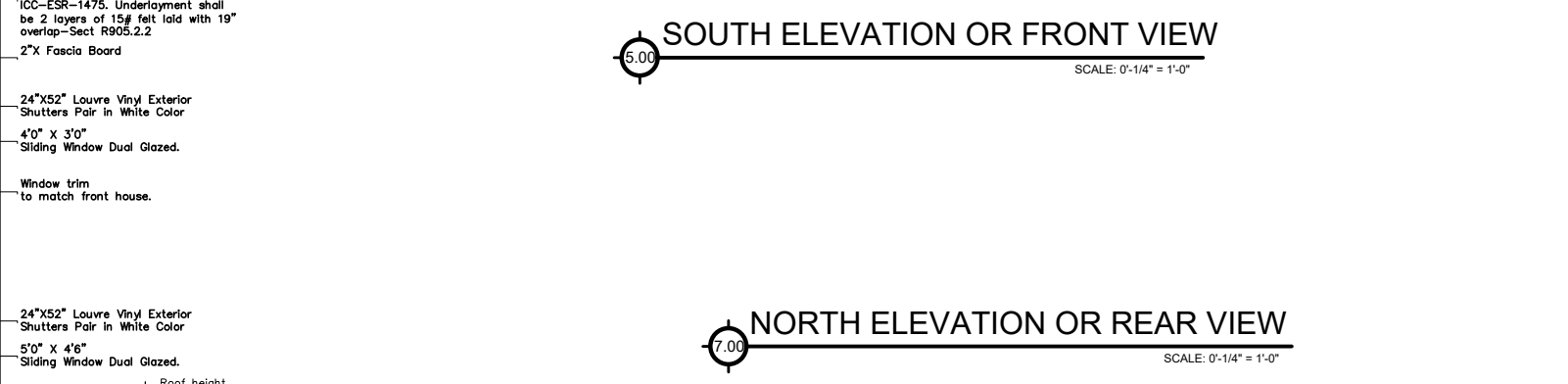
WEST ELEVATION OR LEFT VIEW

SCALE: 0'-1/4" = 1'-0"



SOUTH ELEVATION OR FRONT VIEW

SCALE: 0'-1/4" = 1'-0"



NORTH ELEVATION OR REAR VIEW

SCALE: 0'-1/4" = 1'-0"

NOTES:
 - Bathroom receptacles shall be served by a dedicated 20 amp circuit - per CEC Section 210.11(c)3.
 - All receptacles outlets shall be listed tamper-resistant receptacles per CEC Section 406.11.
 - Receptacles outlets at kitchen countertops shall be spaced at 4' O.C. maximum and within 2' of end/break of counters - per CEC Section 210-52 (c).
 - Receptacles outlets in habitable rooms shall be spaced at 12' O.C. maximum and shall be located within 6' of wall ends, door openings, and at every 2' or wider wall - per CEC Section 210.52 (A)

NOTES:
 In bathroom: At least one efficacy luminaries; all others lighting installed shall be high efficacy luminaries or shall be controlled by either dimmers or vacancy sensors -per Section 150.0(k)5.
 In garage: All lighting shall be high efficacy and controlled by vacancy sensor - per Section 150.0(k)6
 In hallway: All lighting installed shall be high efficacy or shall be controlled by either dimmers or vacancy sensor - per Section 150.0(k)7

MECHANICAL & T-24: CMC 2016 Residential exhaust fans unless used as a components of the whole house ventilation system shall have humidity controls capable of maintaining relative humidity range of < 50% to a maximum of 80%, 2016 Residential Green Mandatory Measures Section 4.506.1

ELECTRICAL NOTES:
 Underground Electrical System

2"X Ridge Board
 Asphalt Shingle Roof, Class "A" ICC-ESR-1475. Underlayment shall be 2 layers of 15# felt laid with 19" overlap-Sect R905.2.2
 2"X Fascia Board
 4'0" X 4'0" Sliding Window Dual Glazed.
 4'0" X 4'6" Sliding Window Dual Glazed.
 36"X84" SOLID DOOR Feather River Doors Model # 873171-400 Internet # 203126109 66 in. x 81.625 in. Rochester Patina 1/2 Lite Unfinished Smooth Fiberglass Double Pre-hung Front Door
 4"x Post per structural engineer with decorative covering.
 2"X Ridge Board
 Asphalt Shingle Roof, Class "A" ICC-ESR-1475. Underlayment shall be 2 layers of 15# felt laid with 19" overlap-Sect R905.2.2
 2"X Fascia Board
 2"X Ridge Board
 Asphalt Shingle Roof, Class "A" ICC-ESR-1475. Underlayment shall be 2 layers of 15# felt laid with 19" overlap-Sect R905.2.2
 2"X Fascia Board
 24"X52" Louvre Vinyl Exterior Shutters Pair in White Color
 4'0" X 4'6" Sliding Window Dual Glazed.
 Window trim to match front house.
 A/C Unit per Energy Calculations.



Second Dwelling Unit

Address: 235 W. Cherry Ave., Monrovia, CA 91016

Scope of Work: 1,966.73 sq/ft Residence (2-story); 76.04 sq/ft Front porch ; and 392.36 sq/ft 2-Car garage.



JELD-WEN
36 in. x 80 in.
Premium Oak
Park
Craftsman
Primed Steel
Prehung
Front Door
with
Brickmold



Clopay: Premium Series 16 ft. x 7 ft. 12.9 R-Value Intellicore Insulated White Garage Door with Plain Windows

Builders Edge
12 in. x 52 in.
Louvered Vinyl
Exterior Shutter
Pair in #03
Paintable



James Hardie
HardiePlank HZ10
5/16 in. x 8.25 in.
x 144 in. Fiber
Cement Select
Cedarmill Lap
Siding



LaHabra
25lbs. Stucco
speed and
finish.



Hampton Bay
1-Light Black
Dusk-to-
Dawn
Outdoor Wall
Lantern

TAFCO WINDOWS
23.5 in. x 35.5 in. Utility
Left-Hand Single Sliding
Vinyl Window - White



TAFCO WINDOWS
35.5 in. x 53.5 in.
Utility Left-Hand
Single Sliding Vinyl
Window - White



**6x8x16 Split
Face 1 Side
Gray Concrete
Block**

Owens Corning
Oakridge Onyx Black
Laminate Shingles (32.8
sq. ft. per Bundle)

