



PLANNING COMMISSION STAFF REPORT

APPLICATION: TTM2020-0002, CUP2019-0020 **AGENDA ITEM:** PH-3

PREPARED BY: John Mayer
Senior Planner **MEETING DATE:** May 27, 2020

SUBJECT: Conditional Use Permit CUP2019-0020, and
Tentative Tract Map TTM2020-0002,
910 South Ivy Avenue

REQUEST: A Conditional Use Permit to construct a 6-unit, two-and-three-story, attached townhouse development and a Tentative Tract Map to subdivide one 16,005 square foot parcel into six residential condominiums in the RM/RH (Residential Medium/High Density) Zone.

APPLICANT: TJ Build/Design
Jimmy Lee, Architect
13841 Roswell Avenue, No. A
Chino, CA 91710

ENVIRONMENTAL DETERMINATION: Categorical Exemption (Class 3 - New Construction)

BACKGROUND: The applicant is requesting approval to build a six-unit townhouse development on a 16,005 square foot lot. The applicant is also requesting approval to subdivide that property so that each of the six units could be sold as condominiums. Monrovia Municipal Code (MMC) Section 17.44.050 requires a Conditional Use Permit (CUP) for the new construction; MMC Section 16.12 requires the approval of a Tentative Tract Map for the subdivision of property.

SUBJECT PROPERTY: The subject site is located on the east side of South Ivy Avenue, between Maple Avenue to the south and East Chestnut Avenue to the north. The lot is rectangular in shape measuring 107 feet in width and 150 feet in length. The total size of the lot is 16,005 square feet (0.37 acre) in area. The property is developed with two residential units which will be demolished for the project. In 2017, the Historic Preservation Commission determined that those structures had no architectural or known historic value. There are four trees on the property that will be removed for the construction of the project. They include two ash trees, an avocado tree, and a cypress tree; none of them are protected under the City's ordinance. The topography has a gentle slope down towards the south where a 16-foot wide alley traverses the lot.

Site and Surrounding Land Uses

The east side of South Ivy Avenue is developed with multi-family and some single family residential uses. The west side of the street is mostly developed with light industrial buildings

and some residential uses. A majority of the buildings are one and two stories in height. The architectural character of this segment of South Ivy Avenue is primarily Craftsman style; however, there are some Spanish and contemporary styles throughout the neighborhood.

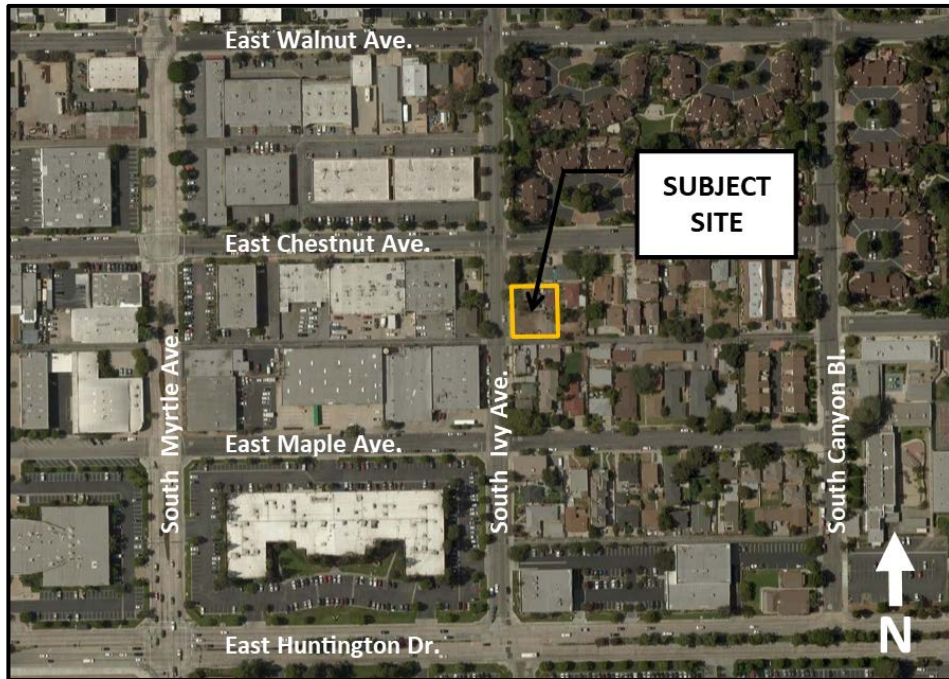


Figure 1. Aerial photo of the subject neighborhood.

The project site is designated Residential Medium/Residential High Density in the General Plan. This land use designation allows a maximum Floor Area Ratio (FAR) of 0.75 for lots greater than 15,000 square feet. The property is zoned RM/RH (Multiple-Family Residential).

The site is surrounded by the following land uses:

North:

General Plan: Residential Medium/Residential High Density (One Unit per 2,500 s.f.)
 Zoning: RM/RH (RM2500)
 Land Use: Single Family House

South:

General Plan: Residential Medium/Residential High Density (One Unit per 2,500 s.f.)
 Zoning: RM/RH (RM2500)
 Land Use: Single Family and Multi-Family Homes

East:

General Plan: Residential Medium/Residential High Density (One Unit per 2,500 s.f.)
 Zoning: RM/RH (RM2500)
 Land Use: Duplex

West:

General Plan: Manufacturing
 Zoning: M (Manufacturing)
 Land Use: Single Family House and Industrial Buildings

DISCUSSION/ANALYSIS:

Site Plan

The applicant is proposing to build a six-unit condominium complex on a 16,005 square foot lot. The proposed project is comprised of two separate structures with a 20-foot wide central courtyard in between them. Each building contains a row of three townhouse-style units. A townhouse is a form of residential development in which each unit has two to three stories and share at least one common wall. The northern structure is identified as Building I; the southern structure is identified as Building II. The front four units would be two stories (29'-6" tall); the rear two units are three stories (36'-9" tall). Each townhouse unit would become a condominium which allows the residents to own the interior of their unit. All other areas, including the building exterior, lawn and communal areas, would be the property of a Homeowners Association (HOA).

A driveway provides vehicular access to Building I along the northern property line and the alley provides access to Building II along the southern side. Driveways extend off of the alley leading to the two-car garages. There are two guest parking spaces at the end of the northern driveway and one guest space accessed from the alley. A small trash enclosure is also provided off the alley next to the guest space. Each unit would have a two-car garage.

The front two units have pedestrian access from the public sidewalk along South Ivy Avenue. The central courtyard provides access to the primary entrances for rear four units are provided by the central courtyard. A 530 square foot common area is located at the courtyard's terminus. This landscaped open space would be available to all of the residents and their guests. Each unit would also have some enclosed private space within the central courtyard; the average size is 145 square feet for each unit. Building II provides additional private open space for each unit within the southern side yard adjacent to the alley. Each unit's air conditioning/heating equipment is placed in the courtyard adjacent to the private spaces and heavily screened with landscaping.

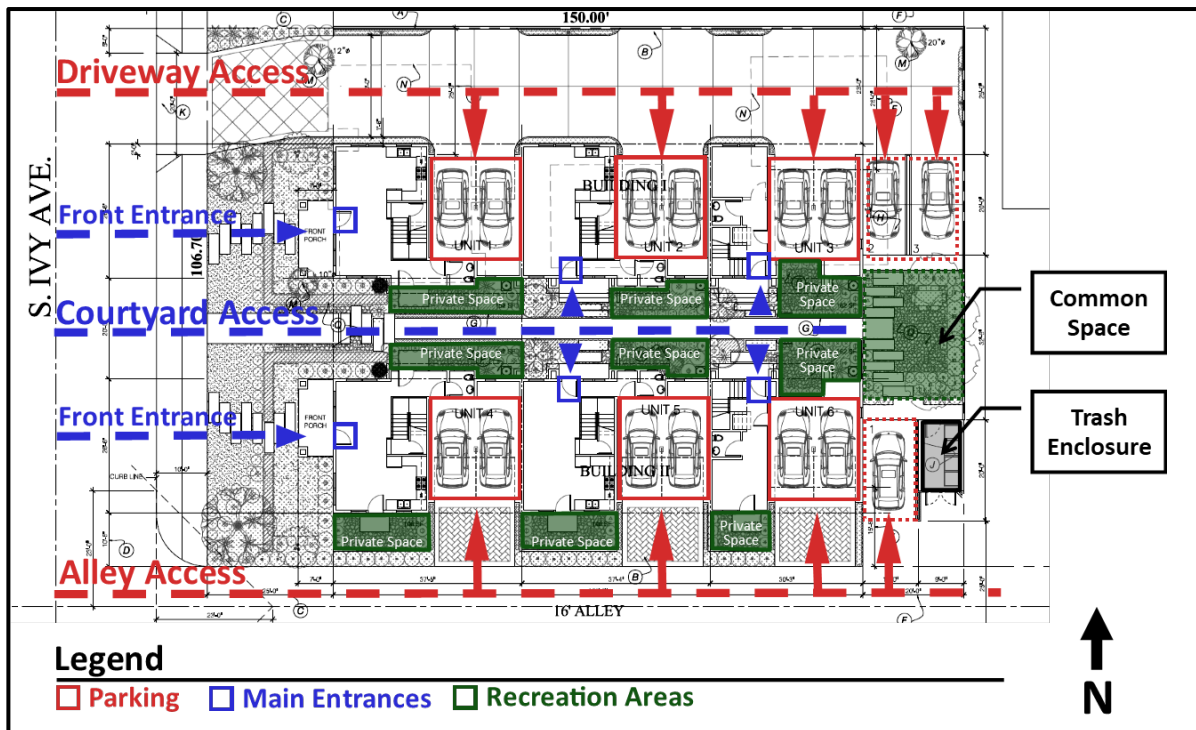


Figure 2. Proposed Site Plan

The architect has submitted a conceptual landscape plan which may be found in the project plans, Sheet L-1. The front yard setback along South Ivy Avenue would feature a combination of grass turf, shrubs, and trees. Live ground cover in these areas would be a combination of hearty evergreen plants, flowering shrubs, and trees. The architect is proposing four, 24-inch box Magnolia trees along the eastern perimeter wall within the common open space area. These evergreen trees grow to a height of 20 to 25 feet and will be used screen the project from the neighbors to the east. Pathways to the units' main entrances are made of concrete and arranged in a staggered step stone fashion.

Pursuant to Monrovia Municipal Code Section 17.12.030, the following development standards apply to the proposed project:

TABLE 1.0 MULTI-FAMILY RESIDENTIAL DEVELOPMENT STANDARDS

Development Standard	Required	Proposed
Maximum Floor Area Ratio (FAR)	75% Dwelling Area 40% Accessory Area	58% Dwelling Area 15% Accessory Area
Front Yard Setback	25'-0"	25'-0"
Side Yard Setbacks	10'-8" (North & South)	23'-0" (North Side) 10'-8" (South Side)
Second Story Side Yard Setbacks	10'-8"	23'-0" (North Side) 10'-8" (South Side)
Third Story Side Yard Setback	Additional 5 feet 15'-8"	28'-0" (North Side) 15'-8" (South Side)
Rear Yard Setback	20'-0"	20'-0"
Building Height	No Maximum	36'-9" (at Three Stories) 29'-6" (at Two Stories)
Recreation Space	1,822 s.f. 20% of Dwelling Area	2,146 s.f.
Recreation (Private Space)	Minimum: 911 s.f.	1,292 square feet (Average 215 s.f. per Unit)
Parking	2-Car Garage/Dwelling	2-Car Garage/Dwelling
Parking (Guest)	½ Space per Unit 3 Spaces	3 Spaces

Floor Plans/Building Elevations

The project includes six three-bedroom units. They range in size from 1,426 square feet to 1,688 square feet. Each unit is provided with private outdoor open space within the central courtyard. Three of the units have additional outdoor space within the side yard along the alley. Each private recreational space is enclosed with a five foot tall fence. The floor plans of the front four units are similar in size and configuration where the family room, dining area, and kitchen are all located on the first floor. The second floor consists of three bedrooms, two bathrooms, and a laundry room. The rear two units are three stories in height. The ground floor has a small den and a staircase that leads to the second level where there is a family room, dining area, kitchen, a bedroom, bathroom, and laundry room. Two bedrooms and two bathrooms are located on the third floor.

The proposed project is designed to fit harmoniously into the neighborhood. Residential buildings in the neighborhood are mostly one and two stories in height. The architectural style in the area generally consists of multi-gabled and sloped roof forms. The exterior materials are either wood, stucco, or a combination of both. The project architect incorporates a series of “nested gables” (one gable behind another) to break up the buildings’ bulk on the primary elevations. The three-story component is effectively blocked by the two-story massing in front of it. Special attention was given to the taller massing by stepping the sides back five feet from the lower two stories as required by the Zoning Code. The third story roof line also slopes away from the neighboring properties to the east in order to reduce the apparent size of the building.

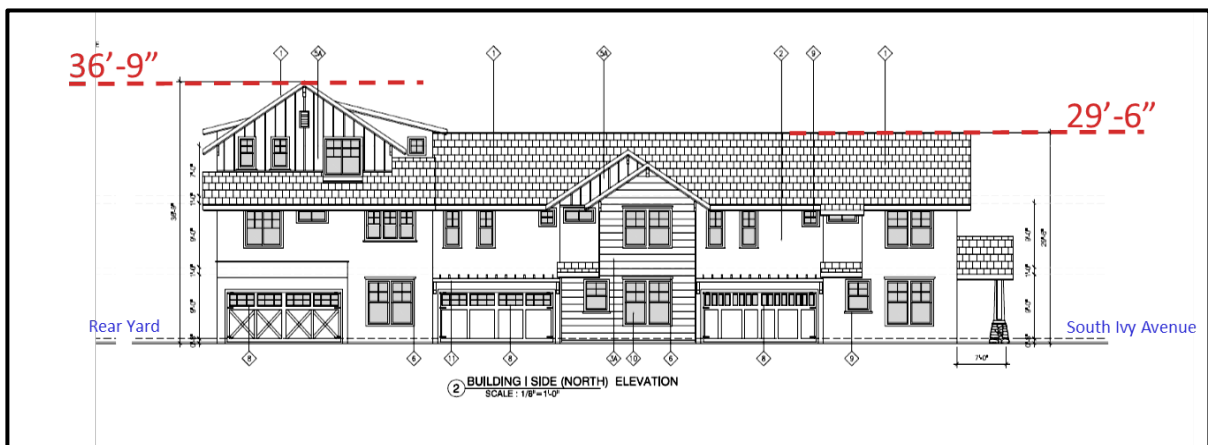


Figure 3. Proposed North Elevation

The proposed buildings are primarily clad in a cement plaster finish; however, the elevations also include a balance of horizontal and vertical elements. The larger gabled ends are partially clad with vertical siding panels; the smaller gabled walls are finished with a horizontal siding. Each unit has a strong, welcoming entrance. Each of the front two units have an entry porch and the courtyard entrances feature a gabled roofline projection with decorative support post. Other design features include: concrete roof tiles, decorative wood window trim and trellises, and ledger stone veneer elements.



Figure 4. Proposed South (Courtyard) Elevation

Tentative Tract Map (TTM)

The proposed Tentative Tract Map No. 082998 (Sheet T-1) would subdivide the 16,005 square foot parcel of land into six residential condominiums; thereby, allowing the individual units to be sold separately. A Tentative Map is a precise engineering document that details the location and dimensions of the parcel boundaries in an approved subdivision of five or more parcels. The Tentative Map review process is used to evaluate the proposed subdivision in terms of compliance with City standards, and the appropriateness of the subdivision’s design. The Applicant must complete certain conditions of approval (Data Sheet 2) before submitting a Final Tract Map for City Council approval. It is then ready to be recorded in the Los Angeles County Recorder’s office.

Development Review Committee Advisory Review

The DRC meeting format changed temporarily due to the COVID-19 pandemic. Although DRC project reviews and determinations are normally conducted during open public meetings, due to the COVID-19 pandemic the arrangement has been temporarily modified to protect residents, property owners, applicants, staff, and elected officials. This change is in accordance with the “Safer at Home” orders, Executive Order N-29-20, and guidance from the California Department of Public Health on gatherings. To further reduce the spread of COVID-19, all DRC review and determination authority was temporarily delegated to the Community Development Director pursuant to City Council Urgency Ordinance (Ordinance No. 2020-06U).

The City’s Community Development Director, on behalf of the City’s DRC, conducted an “Advisory Review” of the project and made a formal recommendation to the Planning Commission on May 7, 2020. As part of this Advisory Review, Staff sent out a courtesy notice to property owners within 300 feet of the subject property. The courtesy notice was provided to further encourage and allow for public input regarding the project prior to any public hearings. No public concerns were submitted for the May 7, 2020 DRC meeting. The Director did recommend a six inch curb along the alley in order to protect the project’s landscaping from vehicle damage. Condition 9(f)(i) of Data Sheet 2 (Public Works Conditions) was added to require a six-inch curb, driveway approaches, and paving in the alley. The Community Development Director recommended approval of the project on behalf of the DRC. It should be noted here that other departments were given the opportunity to provide feedback on this project during the pre-application review phase.

Conclusion

The project is compatible with the character of the surrounding neighborhood. There are several multi-family structures in the neighborhood that are two stories in height with multi-gabled rooflines. The proposed architecture includes certain design elements that help hide the perceived depth and height of the project. The building's massing (or bulk) is broken up with step backs, and slight projections and recessions of the wall planes. The project also provides adequate floor area and outdoor open spaces per unit. The entire project fits within the required front, side, and rear yard setbacks and within the maximum floor area ratio. The project provides two covered parking spaces per unit and three guest spaces, which will reduce any need to park on the street. The proposed subdivision map creates opportunities for individual home ownership in the City.

The proposed development is subject to the approval requirements of the State's Housing Accountability Act because the development meets or exceeds all of the applicable objective development standards contained within the Monrovia General Plan and the Monrovia Zoning Ordinance, including the density requirements, lot coverage requirements, setback requirements, and the Floor Area Ratio (FAR) requirements.

RECOMMENDATION: Staff recommends approval of Conditional Use Permit CUP2019-0020, and Tentative Tract Map TTM2020-0002 for a new 6-unit townhouse development at 910 South Ivy Avenue. If the Planning Commission concurs with this recommendation then, following the public hearing, the appropriate actions would be:

1. Pursuant to the California Environmental Quality Act ("CEQA") and the City's local CEQA Guidelines, the Planning Commission in the exercise of its independent judgment finds that CUP2019-0020 and TTM2020-0002 are categorically exempt from CEQA under Class 3. Class 3 consists of the construction of limited numbers of new, small facilities or structures. Examples of this exemption include apartments, duplexes and similar structures designed for not more than six dwelling units in urbanized areas.
2. The Planning Commission finds that the custodian of records for all other materials that constitute the record of proceeding upon which this decision is based is the Planning Division Manager. Those documents are available for public review in the Planning Division located at 415 South Ivy Avenue, Monrovia, California, 91016.
3. The Planning Commission, in the exercise of its independent judgment, hereby makes the findings listed on attached Data Sheet No. 3 for TTM2020-0002 and CUP2019-0020, which are incorporated herein by this reference.
4. The Planning Commission hereby recommends approval to the City Council of TTM2020-0002 and CUP2019-0020, subject to the attached Planning Conditions on Data Sheet No. 1, Public Works Conditions on Data Sheet No. 2, and recommendations in the Staff Report, all of which are incorporated herein by this reference.

MOTION: Approve Tentative Tract Map No. 082998 (TTM2020-0002) and Conditional Use Permit CUP2019-0020 as presented in the Staff Report.



STANDARD CONDITIONS FOR MULTIPLE RESIDENTIAL DEVELOPMENT

Development of the subject property and operations on the site must remain in substantial conformance at all times with the request, the application forms, and plans associated with TTM2020-0002 and CUP2019-0020 for a new six-unit, two-and-three story attached townhouse development and a Tentative Tract Map to subdivide a 16,005 square foot parcel into six residential condominiums, submitted by the applicant, as approved by the Planning Commission and placed on file in the office of the Planning Division, except as modified by the conditions imposed by the Planning Commission and by subsequent modifications determined by the Planning Division Manager to be in substantial compliance with the conditions of approval. The term "Applicant" as used herein shall include the applicant, the property developer, and all successors in interest to this conditional use permit.

DEVELOPMENT STANDARDS

1. A final materials board shall be submitted to the Planning Division Manager for review and approval prior to building permit issuance. The final materials board shall include a breakdown by unit of materials to be used and samples/examples of siding, stucco, stone veneers, windows, exterior doors, garage doors, roofing, color schemes and exterior light fixtures.
2. A decorative block perimeter wall shall be provided by the Applicant adjacent to the north side property line but outside of the front setback area. A decorative block perimeter wall shall be provided adjacent to the east side property line of the development. The perimeter walls must be a minimum of five feet above the subject property's finished grade and a minimum of five feet and a maximum of six feet above the adjacent property's grade, measured in accordance with the Monrovia Municipal Code. The walls shall be installed before building construction begins.
3. All private recreation areas must be enclosed by a five to six foot high decorative block wall or an approved alternative to that material. All proposed fences and walls shall be shown and indicated on the site plan that is submitted to the Building Division for plan check.
4. The Applicant shall make a good faith effort to work with adjacent property owners (that have existing walls/fences) to avoid a double wall condition, and provide a single wall along the project's perimeter. The applicant shall notify by mail all contiguous property owners at least 30 days prior to the removal of any existing walls/fences along the project's perimeter.
5. A decorative trash enclosure shall be constructed per City specifications and shall be shown and indicated on the submitted site plan.

6. A level concrete patio shall be provided for each unit in the private recreation area and shall be indicated on the grading plan and approved by the Development Review Committee prior to the start of grading.
7. Placement and design of mailboxes shall be reviewed and approved by both the U.S. Postal Service and the Planning Division prior to installation.
8. No roof mounted mechanical equipment shall be permitted.
9. Ground level mechanical equipment shall be placed a minimum of 5' from the interior property lines and shall be completely screened with landscaping. Ground level mechanical equipment shall not be located within the front setback.
10. Electrical power lines, telephone lines, and any other transmission lines (including, without limitation, cable television lines, data transmission lines, communication lines, other utility lines, etc.) to and from the development, and within the development, shall be placed underground and provided to each unit.
11. Placement of the electrical transformer and fire standpipe shall be shown on the submitted site plan and shall be reviewed and approved by the Development Review Committee before building permits are obtained.
12. All utilities and structures such as gas meters, electrical meters, telephone pedestal-mounted terminal boxes, surface mounted electrical transformers, or other potential obstructions shall be noted on the plans with provisions for appropriate screening.
13. Plans showing all exterior lighting shall be submitted to the Planning Division for review prior to building permit issuance and no exterior lighting shall be installed without the approval of the Planning Division Manager. All exterior lighting shall be designed, arranged, and installed so as to confine direct rays onto the premises and to direct light away from adjacent structures.

LANDSCAPING

14. A Landscape and Irrigation Plan prepared by a Landscape Architect shall be submitted to the Planning Division for plan check showing the size, type, and location of all planting areas and shall incorporate the following conditions of approval:
 - a. Landscaping shall be a combination of 24" and 36" box trees, shrubs, groundcover, and turf.
 - b. All landscaping shall be maintained by a permanent automatic irrigation sprinkler system.
 - c. Any unimproved City right-of-way contiguous with the property shall be landscaped by the Applicant and incorporated into the required landscape plan.
 - d. Hardscape improvements shall be provided in common areas.
 - e. Landscaping provided along the property lines shall be designed to provide privacy to the adjacent properties, subject to review and approval by the Planning Division Manager.

- 15. A landscape documentation package pursuant to the requirements of the State Model Water Efficient Landscape Ordinance shall be submitted to the Planning Division for approval prior to landscape construction. A Landscape Certificate of Completion shall be submitted to the Planning Division at the completion of the installation, prior to a request for a final inspection and Certificate of Occupancy.

PARKING

- 16. All paved parking and driveway areas shall be surfaced with Portland cement concrete (3-1/2" minimum thickness) or an approved alternative.
- 17. All driveway surface areas shall incorporate accent treatment throughout the design. Accent treatment shall include stamped concrete or other approved treatment.
- 18. Guest parking spaces shall not be assigned and shall only be used by guests.
- 19. Wheel stops not less than six inches high shall be installed adjacent to the guest parking spaces.

FIRE DEPARTMENT CONDITIONS

- 20. All structures shall be fire sprinklered per NFPA 13D and Monrovia Municipal Code amendments.
- 21. Smoke alarms shall be provided in each room for sleeping purposes and at a point centrally located in the corridor or area giving access to each separate sleeping area. Smoke alarms shall be installed in accordance with the manufacturers' instructions.
- 22. Carbon monoxide alarms shall be provided within all sleeping areas.

CONSTRUCTION SITE REQUIREMENTS

- 23. Provide temporary perimeter fencing with view obscuring material during construction. If graffiti is painted or marked in any way upon the premises or on an adjacent area under the control of the Applicant (including without limitation, any temporary perimeter construction fencing or the permanent wall), the graffiti shall be removed or painted over by Applicant within twenty-four hours, unless any law in effect imposes a shorter time period. Fencing may be removed prior to landscape installation with Planning Division approval.
- 24. One waterproof sign (36" x 48") in both English and Spanish noting construction hours and a phone number for contact shall be posted at the front of the site prior to grading or construction.

GENERAL REQUIREMENTS

- 25. A draft copy of the Conditions, Covenants, and Restrictions (CC&R's) shall be provided in electronic form to the Planning Division for review. The CC&R's, acceptable in form and substance to the City Attorney, must meet the approval of the Planning Division Manager and City Engineer, and shall be recorded against each unit with the Los Angeles County Recorder's Office. No Certificate of

Occupancy will be issued by the City until the CC&R's are approved and recorded. The CC&R's shall require that a homeowner's fee be collected by the Board of Governors of a Homeowners Association (HOA) for maintenance of the front yard areas and common landscaping, walls/fences, the driveway, and all exterior finishes and roofing. Additionally, the CCR's shall incorporate all of the provisions listed in MMC §17.44.050(C)(4)(a) as well as provisions imposing and enforcing the following conditions of approval:

- a. The CC&R's shall not be modified or revoked without the prior written approval of the City of Monrovia.
 - b. All trees indicated on the approved Landscape and Irrigation Plan shall be retained. Removal of any trees requires the approval of the Planning Division Manager.
 - c. Garages shall be used for the storage of vehicles only and shall not be converted for livable, recreational or storage usage in a way that would prohibit its primary use as a two-car garage.
 - d. Maintenance of common landscaping and irrigation includes all areas not in enclosed private yard areas.
26. In addition to Planning (Data Sheet No. 1) and Public Works (Data Sheet No. 2) conditions of approval the Applicant shall also comply with all requirements of the Monrovia Municipal Code, Building Division and Fire Department that are directly applicable to the project.
 27. This project is subject to the provisions of the City's Public Art Ordinance (MMC §15.44.050), if project development costs exceed one million dollars. The developer shall submit documentation of project costs that is satisfactory to the Community Developer Director prior to the issuance of a certificate of occupancy or recording of the final map, whichever occurs first.
 28. Any violation of these conditions of approval or the Monrovia Municipal Code may be subject to the Administrative Fine Ordinance, other available remedies and/or revocation or modification of this permit at the discretion of the City Attorney and City Prosecutor.
 29. The Applicant shall, within 30 days after approval by the Planning Commission, submit to the Community Development Department his/her written consent to all of the conditions of approval contained in Data Sheet Numbers 1 and 2. The Conditional Use Permit (CUP2019-0020) and Tentative Tract Map (TTM2020-0002) shall be void and of no force or effect unless such written consent is submitted to the City within the 30 day period.
 30. The Final Map for the proposed subdivision shown on this Tentative Tract Map No. 082998 must satisfy the requirements of Section 16.16.010 et seq. of the Monrovia Municipal Code and be filed with and deemed a complete filing by the City Engineer, and the use or development to which the Conditional Use Permit applies must begin, within twenty-four months after the Tentative Map was conditionally approved, or TTM2020-0002 and CUP2019-0020 will expire without further action by the City.

31. All of the above conditions shall be complied with prior to issuance of the Certificate of Occupancy, unless an earlier compliance period is specified as part of a condition.
32. Indemnification. As a condition of approval, Applicant agrees to defend, indemnify, protect and hold harmless the City, its officers, officials, employees, agents and volunteers from and against any and all claims, actions, or proceeding against the City, its officers, officials, employees, agents and/or volunteers to attack, set aside, void or annul, an approval of the City, Planning Commission or City Council concerning these permits and the project. Such indemnification shall include damages, judgments, settlements, penalties, fines, defensive costs or expenses (including, but not limited to, interest, attorneys' fees and expert witness fees), or liability of any kind related to or arising from such claim, action, or proceeding. The City shall promptly notify the Applicant of any claim, action, or proceeding. Nothing contained herein shall prohibit City from participating in a defense of any claim, action or proceeding in accordance with the Subdivision Map Act.



Data Sheet 2

Public Works Conditions

910 S. Ivy Avenue
New 6 unit condo development

Development shall be subject to the conditions of approval listed below, and if so indicated, the condition(s) shall be satisfied before the Final Map is filed in the Department of Public Works for review and approval. The term "Applicant" shall include, without limitation, the applicant, the property developer, the property owner, and all subsequent owners of each parcel.

Engineering Conditions

Prior to any permitting of development, except for those conditions where improvements are bonded per Section 16 of the City Municipal Code, the Applicant shall provide the following:

- 1) Final Tract Map for the creation of a one lot subdivision for condominium project
 - a) The Applicant shall submit a Final Tract Map as required by the City's Municipal Code, Chapter 16 – Subdivisions
 - b) Prior to filing the Final Map with the Department of Public Works, the Applicant shall provide a current title report (Tract Map Guarantee) with supporting documents for the project site located in the City of Monrovia. The title report and guarantee is required and such documents shall show all fee interest holders; all interest holders whose interest could ripen into a fee; all trust deeds, together with the name of the trustee; and all easement holders and supporting documents accompanying the title report. Please submit:
 - i) Subdivision application with checking fees
 - ii) Latest Grant Deed for property being subdivided
 - iii) Title report (dated within 60 days of map submission)
 - iv) Copies of all recorded documents contained with the title report
 - v) Copies of all record maps adjacent to and that are referenced by the Final Parcel Map
 - vi) Copy of the approved Tentative Parcel Map and Conditions of Approval for the project
 - vii) Copy of the County Assessor Map of the property.
 - viii) Survey map lot closure calculations
 - c) All easements and dedications shown on the approved tentative tract map and those not shown but to be recorded, such as: Covenants, Conditions & Restrictions (CC&Rs) must be accounted for at the time of the Final Map approval
 - d) A Final Map prepared by or under the direction of a Licensed Land Surveyor or Licensed Civil Engineer legally authorized to practice land surveying in the State of California must be filed in the Department of Public Works for review and approval and processed through the City Engineer prior to being filed with the Los Angeles County Recorder.

- e) Prior to filing the Final Map with the Department of Public Works for review and approval, the Applicant's surveyor or engineer shall set durable monuments to the satisfaction of the City Engineer in conformance with Section 66495 of Subdivision Map Act.
 - f) Improvement plans and an engineer's estimate of the improvements, using the departments approved unit rates and spread sheet template, along with the necessary letters of credit, cash and/or bonds to secure the construction of all public improvements shall be submitted and approved by the City Engineer prior to the recordation of the Final Map. No security or bond will be released in partial amounts. When the project has been completed in full, the final punch list is complete, and the notice of completion filed with the appeal time frames expired, then and only then, will the bonds will be release with a formal request to the City Engineer, and processed through the City Clerk Office.
 - g) Prior to filing the Final Map for recordation the developer shall execute a subdivision agreement with the City of Monrovia and shall adhere to the requirements of this subdivision agreement including a 10% warranty bond for a period of 3 years from the date of completion and acceptance.
 - h) Prior to filing the Final Map with the Department of Public Works for review and approval, the Applicant shall provide street improvements adjacent to the proposed land division to the satisfaction of the City Engineer. Improvements shall include, but are not limited to, driveway modifications, new driveways, removal of abandoned driveways, sidewalk improvements, ADA improvements, replacement of damaged curb and gutter, and street resurfacing and/or slurry seal of alley and street pavement within the dedicated Right-of-Way property as directed by the Engineer.
- 2) Site Plan showing: survey monuments, boundaries, easements and right-of-ways
- a) Submit existing site plan, topographic map of the project site, grading, drainage and utility plan to Public Works Department for review and approval. The plans shall indicate existing and proposed structures, miscellaneous facilities if applicable and all utilities applicable within the project site. The plans shall be prepared on a 24" x 36" sheets with City standard title block stamped and signed by a Registered Professional Civil Engineer in the State of California. The submittal of the plans shall include: a hydrology report, a geotechnical report, required design calculations, a cost estimate, a plan check fee, and an inspection fee. The final submittal for final approval shall include a mylar of the approved grading, drainage and utility plans. The applicant shall use the assigned drawing number obtained from Public Works for this project. Partial or incomplete submittals will not be accepted.
 - b) All site plans, grading plans, drainage plans and street improvement plans shall be coordinated for consistency prior to the issuance of any permits.
- 3) Water Improvements
- a) The Applicant shall install multiple water services to Monrovia's water system to serve the entire development for domestic and fire usage within the City of Monrovia to the specifications of the City Engineer
 - b) All water lines within the project site shall be a private systems maintained by the project and not the City of Monrovia's responsibility. The project shall provide adequate backflow at the transition from right of way to the private system. The City of Monrovia shall not be responsible for the any utility within the system onsite after the meters.

- c) All backflow devices will be reduced pressure double check valves from the state approved list. Developer/owner will provide testing of all state approved devices prior to operation and on an annual basis. If testing is not provided, city has the right to test at the owner's expense for said testing. If test fails owner shall replace approved device at their cost with approval from city water personnel.
- d) The applicant will be responsible for all costs to connect to the City water system and installation of all new fire hydrants off the City system. The developer shall prepare engineered plans, approved by the City Engineer, and pay for all construction, equipment, testing and inspection for the connections, hydrants and services. These plans to be on separate improvement plans and submitted to Public Works for approval and construction/encroachment permits. Plans shall use city provided template notes and title blocks, and shall show pavement reconstruction limits as outlined by the city engineer.

4) Waste Water Improvements

- a) The Applicant shall install sanitary sewers to Monrovia's sewer system to serve the development within the City of Monrovia to the specifications of the City Engineer.
- b) If the applicant installs an additional sanitary sewers to serve the development it shall be at the applicant's expense and to the specifications of the City Engineer. If the applicant is to use the existing lateral to the sewer system, the applicant shall CCTV the existing lateral (from the property line to the sewer main connection) for the condition of the lateral and the connection to the main system. If the CCTV indicates that the lateral or the connection need improvements, the applicant shall make the needed improvements at the applicant's cost to the specification of the city engineers.
- c) **The applicant shall provide evidence of payment and approval for connection of sewer units to LA County Waste Water System.**

5) Geotechnical Investigation and Report

- a) Prior to issuance of a grading permit or encroachment permit, Applicant shall provide geotechnical report that addresses earthwork and foundation recommendations, including but not limited to, earthwork, retaining walls and foundation construction adjacent to the existing structures located on the property, pavement structural sections and recommendations. The geotechnical report shall include data regarding the nature, distribution and strengths of existing soils, conclusions and recommendations for grading procedures, design criteria for and identified corrective measures, and opinions and recommendations regarding existing conditions and proposed grading. The report shall also include subsurface geology of the site, degree of seismic hazard if any, conclusions and recommendations regarding the effect of geologic conditions on the proposed development, opinions and recommended design criteria to mitigate any identified geologic hazards including locations of surface and subsurface fault lines in the area as applicable. Provide off-site and on-site pavement structural section to be address with recommendation based on Traffic indexes and R values, per Caltrans methods. Provide percolation/infiltration testing for Low Impact Design (LID) standards.

6) Hydrology Report and Hydraulic Calculations

- a) Applicant shall provide hydrology study and hydraulic calculations per L.A. County standards, for mitigation of off-site and on-site flows tributary to these structures and conveyances. The outfall

of this project after meeting LID standards shall be directed to City of Monrovia streets

7) Grading Plan

- a) Grading plan shall conform to MMC Chapter 15.28 and be prepared on a 24" x 36" sheets with City title block. Required improvements may be shown on the grading plan along with site drainage.
- b) Applicant shall provide an analysis and construct required infiltration and/or treatment of storm water from impervious surfaces prior to reaching direct connections leading to the main storm drainage system or the street.
- c) All required mitigation measures identified in the soils engineer's and geologist's reports shall be incorporated into the grading/drainage plans and a made a part thereof.
- d) Grading plan to provide a scaled detail section at each property line where the project is in cut or fill greater than 0.5 feet. Provide in relation to the adjacent property existing conditions: set back dimensions, retaining wall dimensions and encroachments, ground and finish surface elevations, cut and fill slopes including code setbacks, and direction of flow indicators.
- e) ***Site drainage shall be mitigated with gravity drainage systems. The use of sump pumps and pressure systems is highly discouraged. If a sump pump/pressure system is proposed, a backup underground storage and percolation system is required to hold the one hour point rainfall of a 100 year storm event times the entire surface area draining to the sump location.***

8) Utility Coordination Plan

- a) Applicant shall submit a utility plan showing all proposed utility cuts for services such as Water, Sewer, Fire Department Stand Pipe, Gas, Edison, Telephone, Cable TV, etc. The Utility plan shall be submitted and approved prior to issuance of grading permits. Private utility plans including sewer, water, gas, including all abandoned, or to be removed facilities, etc. for the proposed development shall be submitted for review and approval by the City Engineer. Pay all applicable fees for Engineering Division services for issuance of Public Works permits.
- b) Applicant shall underground all electrical and communication service lines to the buildings.

9) Off-site Street Improvement Plans

- a) ***Applicant shall dedicate additional rights of way if determined in the review of the improvement plans they are needed.***
- b) Remove and replace any curb, gutter, sidewalk, driveway approach or street pavement found by the City Engineer to be broken, uplifted, damaged or not meeting current ADA standards. Construct improvements as required, per City standard drawings to match existing improvements on adjacent properties. All ADA requirements shall be satisfied by the Applicant. These conditions apply on public right-of-way along property frontage.
- c) All work such as but not limited to demolition, construction and improvements within the public right-of-way shall be subject to review and approval of the Public Works Department, and will

require construction and encroachment permit from the City's Public Works Department, prior to start of any construction. All work within the public right-of-way shall be in accordance with applicable standards of the City of Monrovia, Standard Specifications for Public Works Construction ("Green Book", latest edition) and the Manual on Uniform Traffic Control Devices (MUTCD, latest edition), and further that construction equipment ingress and egress be controlled by a plan approved by the City Engineer.

- d) Applicant shall obtain applicable permits for all work to be done within the public right-of-way from the Public Works Department and shall pay all applicable fees for Engineering Division services such as plan check fee and construction inspection fee as applicable.
- e) The City requires the restoration of the existing pavement after utility installation. Restoration is required from the outer limits of the area covering and encompassing all the utility cuts as shown on the plans, but actual limits shall be determined out in the field by City Engineer. Restoration of asphalt pavement may be up to 2-inch pavement grind and 2-inch asphalt overlay and slurry seal type II.
- f) Improvements to public alley:
 - i) Applicant shall install 6-inch A-curb along the frontage of the public alley, with standard driveway approaches at each drive, and replace the asphalt paving in the alley from A-curb to existing valley gutter. All work to be approved by City Engineer.

10) Off-site Utility Extension/Connection Plans

- a) Applicant shall connect all buildings to the public sewer. The sewer is to be constructed in the common driveways through new lateral(s) (sized per the current plumbing code and engineered calculations, minimum 6 inches) with clean-out(s) at property line per City standard drawing S-215 and S-225. Cap off all abandoned laterals at the connection point from the main line to the satisfaction of the City Engineer. Indicate on the Site/Utility Plan the work to be done by the Applicant
- b) The Applicant shall comply with the requirements of MMC Section 13.12.015 Non-Storm Water Discharges, Section 13.12.02 Deposit or Discharge of Specified Substances Prohibited, Section 13.12.030 Grease Traps Required and Section 13.12.040 Maintenance of Sewer Laterals. All sewer laterals shall be maintained by the owner of the property served by such lateral in a safe and sanitary operating condition so that there is no seepage of waste at any point up to and including the junction of the sewer lateral and sewer main so that passage of waste through the lateral to the sewer main is free from stoppage and obstruction; all devices and safeguards required for the operation of sewer laterals shall be maintained in good working order. The Applicant shall provide the Department of Public Works a copy of a closed circuit television inspection report of the condition of the existing sewer lateral. If the sewer lateral needs repair, it shall be completed to the satisfaction of the City Engineer prior to commencement of the applicant's operation or prior to issuance of certificate of occupancy.
- c) A CCTV video of the existing/proposed sewer lateral connecting to the City mainline is required for the project; a copy of the video shall be submitted to Public Works. Prior to CCTV please notify the Department of Public Works requesting to have the Public Works Inspector on-site to witness the inspection.

11) Off-site landscaping improvements to be maintained by the Applicant.

- a) All off-site landscaping improvements along the frontage of this project are to be the responsibility of the project for maintenance and upkeep. The watering of this landscaping in the right of way is to be supplied by the projects water service for irrigation.

12) Traffic Engineering Conditions

- a) Prepare and submit for approval: traffic control plans and staging plans for all off-site improvements and utility connections. Applicant to maintain all traffic control devices for the entire time while working within the City right of way.

13) Environmental Conditions

- a) Based upon the requirements of the City's Storm water Management Ordinance, MMC 12.36 and the Los Angeles County Municipal Storm Water National Pollutant Discharge Elimination System (MS4 NPDES) Permit issued by California Regional Water Quality Control Board, Los Angeles Region, the following shall be incorporated into the project application.

- b) The applicant shall be responsible for the following when applicable in the code:

- i) Minimize impacts from storm water runoff on the biological integrity of natural drainage systems and water bodies in accordance with requirements under the California Environmental Quality Act (California Public Resources Code Section 21100), Section 13369 of the California Water Code, Sections 319, 402(p), and 404 of the Clean Water Act, Section 6217(g) of the Coastal Zone Act Reauthorization Amendments, Section 7 of the Environmental Protection Act, and local governmental ordinances.

- c) The applicant shall provide in a table on the title sheet of the approved grading plans for the project the following information :

- (1) The drainage area addressed by the project in Acres
- (2) The total BMP retention capacity of the project in Acre-Feet
- (3) The estimated total runoff volume to be retained on-site for a typical year.

- d) LOW IMPACT DEVELOPMENT STANDARDS for ALL PROJECTS

All Projects shall develop and implement measures that:

- i) Prevents illicit construction-related discharges of pollutants into the MS4 and receiving waters.
- ii) Implements and maintains structural and non-structural BMPs to reduce pollutants in storm water runoff from construction sites.
- iii) Reduces construction site discharges of pollutants to the MS4 to the Maximum Extent Possible (MEP).
- iv) Prevents construction site discharges to the MS4 from causing or contributing to a violation of water quality standards.
- v) At MINIMUM, all projects shall provide an Erosion and Sediment Control Plan (ESCP) and

must address the following elements:

- vi) Methods to minimize the footprint of the disturbed area and to prevent soil compaction outside of the disturbed area.
- vii) Methods used to protect native vegetation and trees.
- viii) Sediment/Erosion Control.
- ix) Controls to prevent tracking on and off the site.
- x) Non-storm water controls (e.g., vehicle washing, dewatering, etc.).
- xi) Materials Management (delivery and storage).
- xii) Spill Prevention and Control.
- xiii) Waste Management (e.g., concrete washout/waste management; sanitary waste management).
- xiv) Identification of site Risk Level as identified per the requirements in Appendix 1 of the Construction General Permit.
- xv) The ESCP must include the rationale for the selection and design of the proposed BMPs, Including quantifying the expected soil loss from different BMPs.
- xvi) Shall be developed and certified by a Qualified SWPPP Developer (QSD).
- xvii) All structural BMPs be designed by a licensed California Engineer.
- xviii) Project shall be inventoried and inspected by city as needed based on the evaluation of the factors that are a threat to water quality. In evaluating the threat to water quality, the following factors shall be considered: soil erosion potential; site slope; project size and type; sensitivity of receiving water bodies; proximity to receiving water bodies; non-storm water discharges; past record of noncompliance by the operators of the construction site; and any water quality issues relevant to the particular MS4. (Part VI.8.d. p. 116-119)

e) Retention requirements

- i) All projects with over 10,000 square feet of impervious area will be subject to NEW DEVELOPMENT/ REDEVELOPMENT PROJECT PERFORMANCE CRITERIA and will be required to control pollutants, pollutant loads, and runoff volume emanating from the project site by:
 - (1) Minimizing the impervious surface area and controlling runoff from impervious surfaces through infiltration, bio-retention and/or rainfall harvest and use.
 - (2) Projects are required to retain 100% of the Stormwater Quality Design Volume (SWQDV) defined as the runoff on site.
 - (3) Early in planning phase (as project may require LACFCD application, review, and approval), if the project has / determines if there is: TECHNICAL INFEASIBILITY, or if there is an OPPORTUNITY FOR REGIONAL GROUND WATER REPLENISHMENT.

14) Demolition of Existing Structures

- a) The project demolition activities shall comply with the City's Construction and Demolition Recycling Program (C&D Recycling Program) by filing an application and submitting a deposit to Public Works Environmental Services prior to issuance of permits. Building, demolition, and grading permits will not be issued until the applicant provides the City with the required forms and the waste management plan has been reviewed and approved by the Environmental Services. If the Applicant chooses not to participate in the C&D Recycling Program, then the hauler must be identified on the demolition, building and grading plans.
- b) Building demolition permit will not be issued until the applicant provides copy of Air Quality Management District (AQMD) permit

15) As-built Plans

- a) Applicant shall provide to the City of Monrovia revised plans of the original size, on mylar, showing all as-built conditions for the off-site and on-site improvements prior to the release of bonds held for the completion of the map.

Questions or comments: Brad S. Merrell, P E
City Engineer
Cell # 760-900-7526
bmerrell@ci.monrovia.ca.us



DATA SHEET 3

Findings

Tentative Tract Map No. 082998
(TTM2020-0002) and CUP2019-0020

910 South Ivy Avenue

TENTATIVE TRACT MAP

Pursuant to California Government Code, Sections 66473.5 & 66474, a decision to approve Tentative Tract Map No. 082998 for the subdivision of a six-unit townhouse development for condominiums located at 910 South Ivy Avenue is based on the following findings:

- A. That the tentative tract map subdividing the existing 16,005 square foot parcel of land for the development of six condominiums, together with the provisions for the subdivision's design and improvement, are consistent with the General Plan and satisfy the requirements of the Map Act and of the Municipal Code.

The proposed subdivision is consistent with the General Plan Land Use Element and the Residential Medium High land use designation where condominiums are specifically allowed. The proposed Floor Area Ratio (F.A.R) is 58% which is less than the maximum permitted F.A.R of 75%. The project promotes a variety of housing types ranging in size, density, and price which is consistent with Policy 1.6 of the General Plan's Land Use Element. The subdivision would also provide opportunities for home ownership which is consistent with the Housing Element of the General Plan. Policy 2.3 encourages the development of residential projects to maintain a balance of ownership and rental properties. As outlined in the Discussion/Analysis section of the Planning Commission Staff Report, the proposed Tentative Tract Map is consistent with the Residential Medium/Residential High (RM/RH) Zoning regulations that are applicable to the subject property.

- B. That the site is physically suitable for this type of development.

The subject site is 16,005 square feet (0.37 acre) in size with flat topography. The parcel for which the tentative map will be applied is suitable for the development. The entire development project fits within the required front, side, and rear yard setbacks. Each of the six units offers adequate living area and outdoor private and common open spaces. Each unit has two covered parking spaces within a garage and there are three guest spaces. The building footprint of the proposed tentative map allows efficient vehicular and pedestrian circulation.

- C. That the site is physically suitable for the proposed density of development.

The 16,005 square foot project site is zoned Residential Medium High (RM/RH) and the project will be developed at an F.A.R of 58% which is well below the maximum 75% F.A.R threshold of the Zoning Code. The proposed development will meet or exceed all of the development standards as outlined in the Discussion/Analysis section of the Planning Commission Staff Report.

- D. That the design of the subdivision and the proposed improvements are not likely to cause substantial environmental damage or substantially and avoidably injure fish or wildlife or their habitat

The proposed subdivision is located in a medium to high-density urban residential neighborhood. The subject site was previously developed and there are residential and industrial buildings surrounding the site. The project site will be developed with two residential structures, each containing three units. It is not adjacent to any streams or rivers or to known wildlife or their habitat. Therefore, there will be no damage or injury to fish and wildlife or their habitat as a result of this subdivision.

- E. The design of the subdivision and the type of improvements are not likely to cause serious public health problems, as it will comply with all City design and safety standards, including fire suppression requirements.

The proposed use is a six-unit condominium project that is in a Medium to High Density Residential zoning district. The applicant is subject to the conditions of approval contained in Data Sheet 1 imposed by the City's Community Development, and Fire Departments, and Data Sheet 2, Public Works Department requirements. Such conditions are intended to eliminate serious health problems and require compliance with the City's safety and design standards. The applicant will be required to maintain a screening fence around the property during construction and must adhere to the City's limits on the hours of construction. Conditions, Covenants, and Restrictions (CC&R's) will be recorded against each unit which will establish a Home Owners Association to ensure proper maintenance of common landscaping and irrigation. The Fire Department will require that all structures have fire sprinklers, smoke alarms, and carbon monoxide alarms. The applicant will be required to submit construction staging plans and complete certain infrastructure improvements as deemed necessary by the Public Works Department. Compliance with the conditions of approval is necessary to protect public health and comply with City safety standards.

- F. That the design of the subdivision and the type of improvements will not conflict with easements, acquired by the public at large, for access through or use of, property within the proposed subdivision.

There are currently no existing or proposed public easements to provide access through or use of the property. Therefore, the design of the subdivision will not conflict with any public easements for access through or use of the property within the proposed subdivision.

- G. The City has considered the effect of the subdivision on the housing needs of the region in which the City is situated, and balanced those needs against the public service needs of its residents and available fiscal and environmental resources.

The proposed development consists of six residential units. This change will not significantly increase the demands on available fiscal and environmental resources. The housing needs will be improved in the region by the addition of six more units.

Lastly, by subdividing the land, the opportunity for individual home ownership becomes a possibility.

- H. The discharge of waste from the proposed subdivision into an existing community sewer system will not result in violation of existing requirements of the Regional Water Quality Control Board.

The City Engineer has reviewed the proposed subdivision. Per Data Sheet No.2 (Public Works conditions of approval), the existing sewer system will be upgraded to accommodate the project.

CONDITIONAL USE PERMIT

Pursuant to Monrovia Municipal Code Section 17.52.290, the decision to grant approval of the major conditional use permit (CUP2019-0020) for the construction of a six-unit townhouse development located at 910 South Ivy Avenue is based on the following findings:

- A. The project site is adequate in size, shape and topography for the proposed six unit townhouse project.

The project site is a 16,005 square foot, rectangular shaped property with a flat topography. The property's dimensions are 150 feet in length and 106 feet in width which is sufficient in size and shape to accommodate the six unit townhouse project. The project will be constructed within the required front, side, and rear yard setbacks. No variances would be required and it would be developed well below the maximum F.A.R.

- B. The project site has sufficient access to streets and highways, adequate in width and pavement type to carry the quantity and quality of traffic generated by this six-unit development.

A driveway would provide vehicular access from South Ivy Avenue to the three units along the north side of the property; an existing alley provides access from South Ivy Avenue to the three units along the south side of the property. The project is not expected to generate a substantial increase in traffic. South Ivy Avenue is connected to West Huntington Drive to the south and East Foothill Boulevard to the north. It is considered a Local Street in the Circulation Element of the General Plan. Local streets have a capacity of up to 5,000 vehicles per day. South Ivy Avenue is adequate in size to carry the traffic generated by this project.

- C. The six-unit townhouse development will be compatible with the General Plan and will not adversely impact the objectives of the General Plan.

The proposed six-unit townhouse project supports the General Plan's objectives through its compatibility with specific goals and policies. Goal Number 3 of the General Plan's Land Use Element is to "preserve the integrity of residential neighborhoods." The project is consistent with Policy 3.1 in that adequate parking is provided on site. The layout of the proposed project is consistent with Policy 3.2 in that it helps preserve the integrity of the block frontage on South Ivy Avenue by

using alley access for vehicular circulation. Goal Number 4 of the Land Use Element is to “promote land use patterns and development which contribute to community and neighborhood identity.” The architectural design and massing of the proposed development is consistent with Policies 4.1 and 4.2. The project was designed to be harmonious with the height and design of residential buildings in the neighborhood. The project architect incorporated a series of gabled roof lines, which is commonly found in the neighborhood, to help break up the buildings’ bulk. Although most residential buildings in the neighborhood are two stories, the project’s third-story component is limited to the rear and is effectively blocked by the two-story massing in front of it. Special attention was also given to the taller massing by stepping the sides back five feet from the lower two stories as required by the Zoning Code. The third story roof line also slopes away from the neighboring properties to the east in order to reduce the apparent size of the building.

- D. The 6-unit Townhouse Development will comply with the applicable provisions of the Zoning Ordinance. *The project is zoned RH (Residential High Density) and meets or exceeds all development standards, including density, setbacks, height, parking, and recreation space.*
- E. The proposed location and the conditions under which the use will be operated or maintained will not be detrimental to the public health, safety or welfare, nor will it be materially injurious to properties or improvements in the vicinity.

The proposed location for the 6-unit condominium project is in a Medium to High Density Residential zoning district. As such, the maintenance and operation of the proposed use is anticipated and permitted by the General Plan and Zoning Code. The applicant is subject to the conditions of approval imposed by the City's Community Development Department, Fire Department, and the Public Works Department. Such compliance is necessary prior to obtaining occupancy clearance. Therefore, it would not be detrimental to public health, safety, or welfare. The proposed 6-unit condominium project would be compatible with the neighborhood context. The east side of South Ivy Avenue is developed with multi-family and some single family residential uses.

- F. The proposed project will not result in the demolition of a residential structure built prior to January 1, 1940 with architectural or know historic value.

The property is developed with two residential units which will be demolished for the project. In 2017, the Historic Preservation Commission determined that those structures had no architectural or known historic value.

PUD/TOWNHOUSE DEVELOPMENT

As required by Section 17.44.050 of the Monrovia Municipal Code, the approval of the 6-unit Townhouse Development located at 910 South Ivy Avenue is based upon the following findings:

- A. The plan provides as well, or better, for light and air, for public safety and convenience, the protection of property values and the preservation of the general welfare of the community, than if developed in other permitted uses.

The applicant is proposing to build a six-unit condominium complex on a 16,005 square foot lot. The proposed project is comprised of two separate structures with a 20-foot wide central courtyard in between them. The central courtyard and setbacks allow abundant light and air throughout the site. A driveway provides vehicular access to Building I along the northern property line and the alley provides access to Building II along the southern side. Vehicular access and circulation on the site was designed to ensure public safety and convenience. The proposed project is designed to fit harmoniously into the neighborhood, thus protecting property values and preserving the general welfare of the community. Residential buildings in the neighborhood are mostly one and two stories in height. The three-story component of the planned project is effectively blocked by the two-story massing in front of it. Special attention was given to the taller massing by stepping the sides back five feet from the lower two stories as required by the Zoning Code. The third story roof line also slopes away from the neighboring properties to the east in order to reduce the apparent size of the building. Each unit is also provided with private outdoor open space and common recreation space in the rear yard.

HOUSING ACCOUNTABILITY ACT

The proposed development is subject to the approval requirements of the state Housing Accountability Act because the development meets or exceeds all of the applicable objective development standards contained within the Monrovia General Plan and the Monrovia Zoning Ordinance, including the density requirements, lot coverage requirements, setback requirements, and the Floor Area Ratio (FAR) requirements.



6 DWELLING UNITS
 MULTI-FAMILY
 CONDOMINIUM DEVELOPMENT
 910 S. IVY AVENUE, MONROVIA, CA 91016
 APN: 8515-018-041

T.J. BUILD DESIGN

13841 ROSWELL AVE. # A
 CHINO, CA 91710
 T: 951.415.9622
 F: 909.590.8804
 jimmysylee@gmail.com

PROJECT NAME:
**MULTI-FAMILY DEVELOPMENT
 RM/RH Zone
 910 S. Ivy Avenue
 Monrovia, CA 91016**

REVISIONS:



PROPOSED DESIGN RENDERING

DATE PRINTED:
 DATE: 02-29-2020
 SCALE:
 DRAWN: J.L.
 JOB NO: 710

CHESTNUT AVENUE

6 DWELLING UNITS
MULTI-FAMILY
CONDOMINIUM DEVELOPMENT
910 S. IVY AVENUE, MONROVIA, CA 91016
APN: 8515-018-041

T.J. BUILD
DESIGN

13841 ROSWELL AVE. # A
CHINO, CA 91710
T: 951-415-9622
F: 909-590-8804
jimmysylee@gmail.com

PROJECT SUMMARY

APPLICANT: T.J. BUILD
CONTACT: JIMMY SHOU-YI LEE
13841 ROSWELL AVENUE, SUITE A
CHINO CA 91710
TEL: 951-415-9622
FAX: 909-590-8804
EMAIL: jimmysylee@gmail.com

PROPERTY OWNER:
MXM, Inc.
2666 E. HUNTINGTON BLVD.
DUARTE CA
CONTACT: SANDY WANG
EMAIL: mtadsandy@hotmail.com
PHONE: 626-215-6128

PROJECT ADDRESS:
910 S. IVY AVENUE, MONROVIA, CA 91016
APN: 8515-018-041

PROPERTY SIZE:
LOT DIMENSION: 106.70' X 150.00'
LOT SIZE: 16,005 SF
EXISTING USE: 2 DWELLING UNITS - ONE-STORY APARTMENT TO BE DEMOLISHED

ZONING SUMMARY

PROPOSED USE: CONDITIONAL USE PERMIT FOR 6 MULTI-FAMILY CONDOMINIUM DWELLING UNITS
EXISTING GENERAL PLAN: RESIDENTIAL
APPLIED ZONING REGULATION: RH
REQUIRED AND PROPOSED SETBACK:
FRONT SETBACK - REQUIRED: 25'-0" TO S. IVY AVENUE
PROPOSED: 25'-0"

SIDE SETBACK - REQUIRED FIRST FLOOR SETBACK: 10'-8",
PROPOSED FIRST FLOOR SETBACK: 10'-8"
- REQUIRED SECOND FLOOR SETBACK: 10'-8"
PROPOSED SECOND FLOOR SETBACK: 10'-8"
- REQUIRED THIRD FLOOR SETBACK: 15'-8"
PROPOSED THIRD FLOOR SETBACK: 15'-8"

PROPOSED BUILDING HEIGHT: 2 STORY : 29'-6" & 3 STORY: 36'-9 1/2"
BUILDINGS SEPARATION REQUIRED AN ADDITIONAL ONE-HALF FOOT BEYOND THE FIRST STORY
FOR EACH FOOT OVER 27 FEET - REQUIRED ADDITIONAL 4'-10" BUILDINGS SEPARATION
BUILDINGS SEPARATION PROVIDED: 20'-0"

FLOOR AREA SUMMARY:
UNIT 1 & UNIT 4 - 2 STORY
3 BED ROOMS, 2-1/2 BATH,
2-CAR GARAGE - 405 SF, FRONT PORCH - 108 SF
LIVING AREA ON GROUND FLOOR- 576 SF
LIVING AREA ON SECOND FLOOR- 864 SF
TOTAL LIVING AREA-1,440 SF
TOTAL PRIVATE OPEN SPACE- (UNIT 1) 158 SF; (UNIT 4) 304 SF

UNIT 2 & UNIT 5 - 2 STORY
3 BED ROOMS, 2-1/2 BATH,
2-CAR GARAGE - 405 SF
LIVING AREA ON GROUND FLOOR- 562 SF
LIVING AREA ON SECOND FLOOR- 864 SF
TOTAL LIVING AREA-1,426 SF
TOTAL PRIVATE OPEN SPACE- (UNIT 2) 124 SF; (UNIT 5) 270 SF

UNIT 3 & UNIT 6 - 3 STORY
3 BEDROOMS + 1 DEN, 3-1/2 BATH,
2-CAR GARAGE - 405 SF
LIVING AREA ON GROUND FLOOR- 318 SF
LIVING AREA ON SECOND FLOOR- 802 SF
LIVING AREA ON THIRD FLOOR- 568 SF
TOTAL LIVING AREA-1,688 SF
TOTAL PRIVATE OPEN SPACE- (UNIT 3) 162 SF; (UNIT 6) 254 SF

LOT AREA: 16,005 SF
TOTAL LIVING FLOOR AREA: 9,108 SF -- FAR: 56.90%
TOTAL GARAGE AREA: 2,430 SF -- FAR: 15.18%

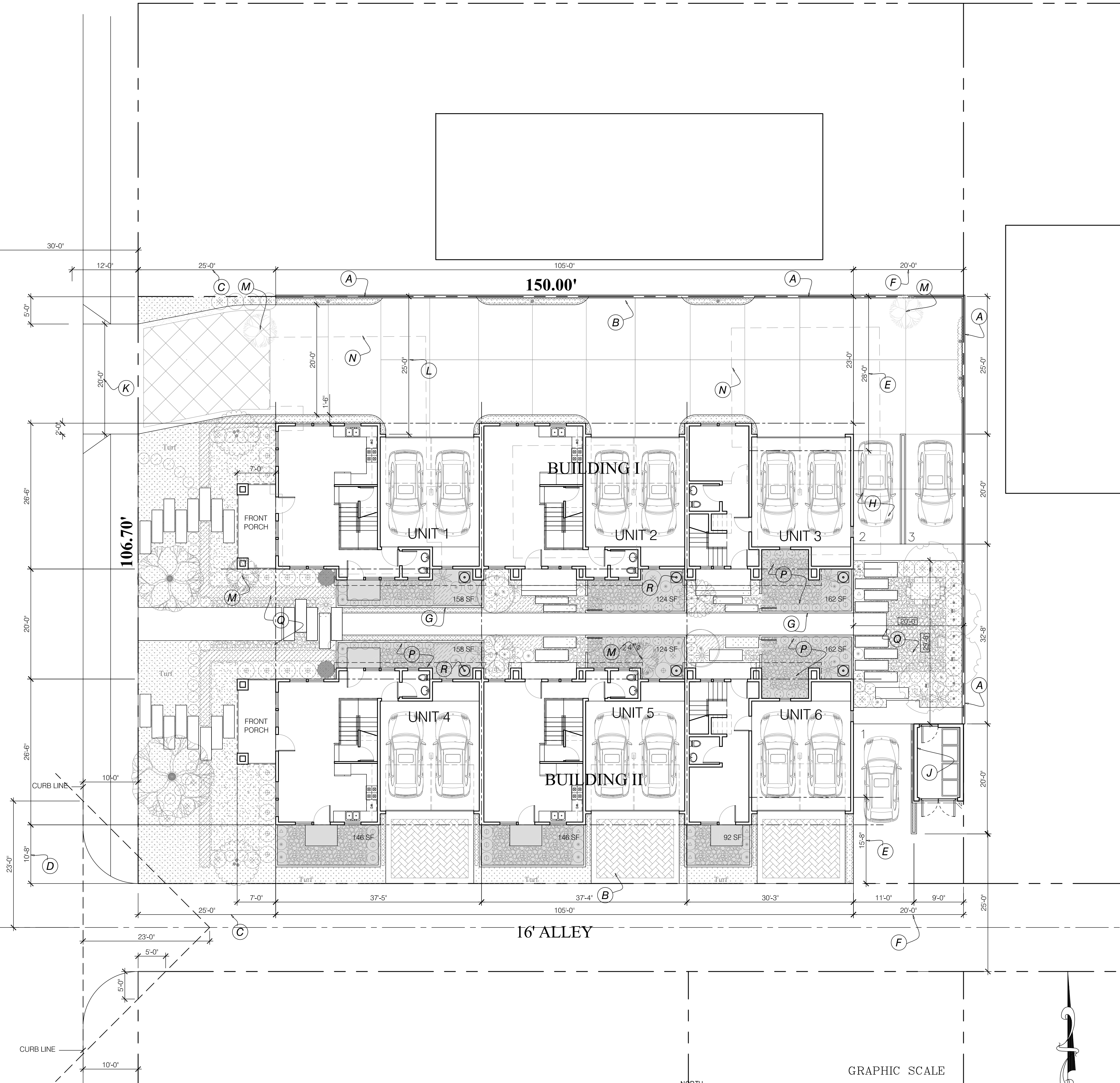
BUILDING COVERAGE ANALYSIS:
BUILDING 1 & 2 : 2,722 SF * (2) = 5,444 SF
TOTAL BUILDINGS COVERAGE = 5,444 SF / 16,005 SF = 34.01%
PROPOSED UNIT DENSITY: 16,005 SF / 6 UNITS = 2,667 SF PER UNIT

PARKING REQUIRED:
2 ENCLOSED PARKING SPACES AND 0.5 GUEST PARKING FOR EACH DWELLING UNIT
PARKING PROVIDED FOR 6 DWELLING UNITS:
12 GARAGE PAKING SPACES AND 3 OPEN GUEST PARKING SPACES
TOTAL RECREATION SPACE REQUIRED: 20% OF GROSS UNIT FLOOR AREA (9,108 SF) = 1,822 SF
(AT LEAST 50% OF THE NUMBER MUST BE PRIVATE OPEN SPACE)
TOTAL RECREATION SPACE PROPOSED: 3,418 SF
TOTAL PRIVATE OPEN SPACES PROVIDED: 1,272 SF > HALF OF 1,822 SF (911 SF)
TOTAL OPEN SPACES PROVIDED: 2,146 SF (WITH A MIN OF 20')

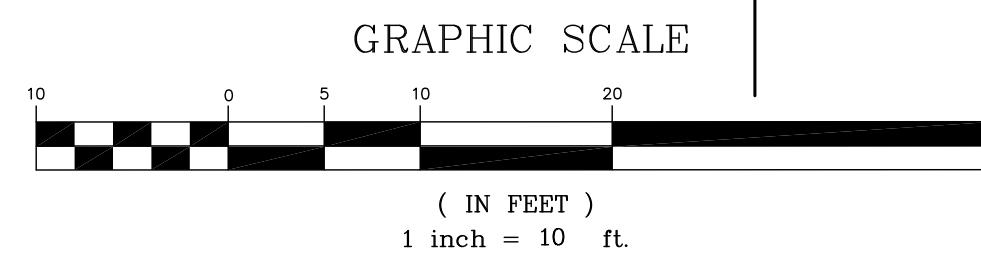
SYMBOL LEGEND :

- (A) NEW PROPOSED CONC. BLK FENCE WALL - 6' TALL
- (B) EXISTING PROPERTY 6' H C FENCE WALL TO BE REMOVED
- (C) FRONT YARD SETBACK - 25'-0"
- (D) FIRST FLOOR & SECOND FLOOR SIDE YARD SETBACK - 10% OF LOT WIDTH - 10'-8"
- (E) THIRD FLOOR SIDE YARD SETBACK REQ - 15'-8"; PROVIDED - 15'-8" & 28'-0"
- (F) REAR YARD SETBACK - 20'-0"
- (G) TYPICAL PRIVATE YARD FENCE - 2'-0" STUCCO WALL WITH 3' TALL GLASS PARTITION
- (H) TYPICAL OPEN PARKING SPACE - 9'X20'
- (J) TRASH ENCLOSURE - 12'-6" X 8'-6"
- (K) NEW 20'-0" WIDE DRIVEWAY APPROACH
- (L) MAIN DRIVEWAY AISLES - 25' GARAGE BACK UP SPAPCE
- (M) EXISTING ON SITE TREE TO BE REMOVED
- (N) EXISTING ON SITE BUILDING TO BE REMOVED
- (P) PRIVATE OPEN SPACE
- (Q) COMMON OPEN SPACE
- (R) (C) AC CONDENSER

S. IVY AVE.



1 SITE PLAN
SCALE: 1"=10'-0"



PROJECT NAME:
MULTI-FAMILY DEVELOPMENT
RM/RH Zone
910 S. Ivy Avenue
Monrovia, CA 91016

REVISIONS:

PROJECT SUMMARY
SITE PLAN

DATE: 05-08-2020

DATE: 02-29-2020

SCALE: 1"=20'-0"

DRAWN: J.L.

JOB NO. 710

SHEET

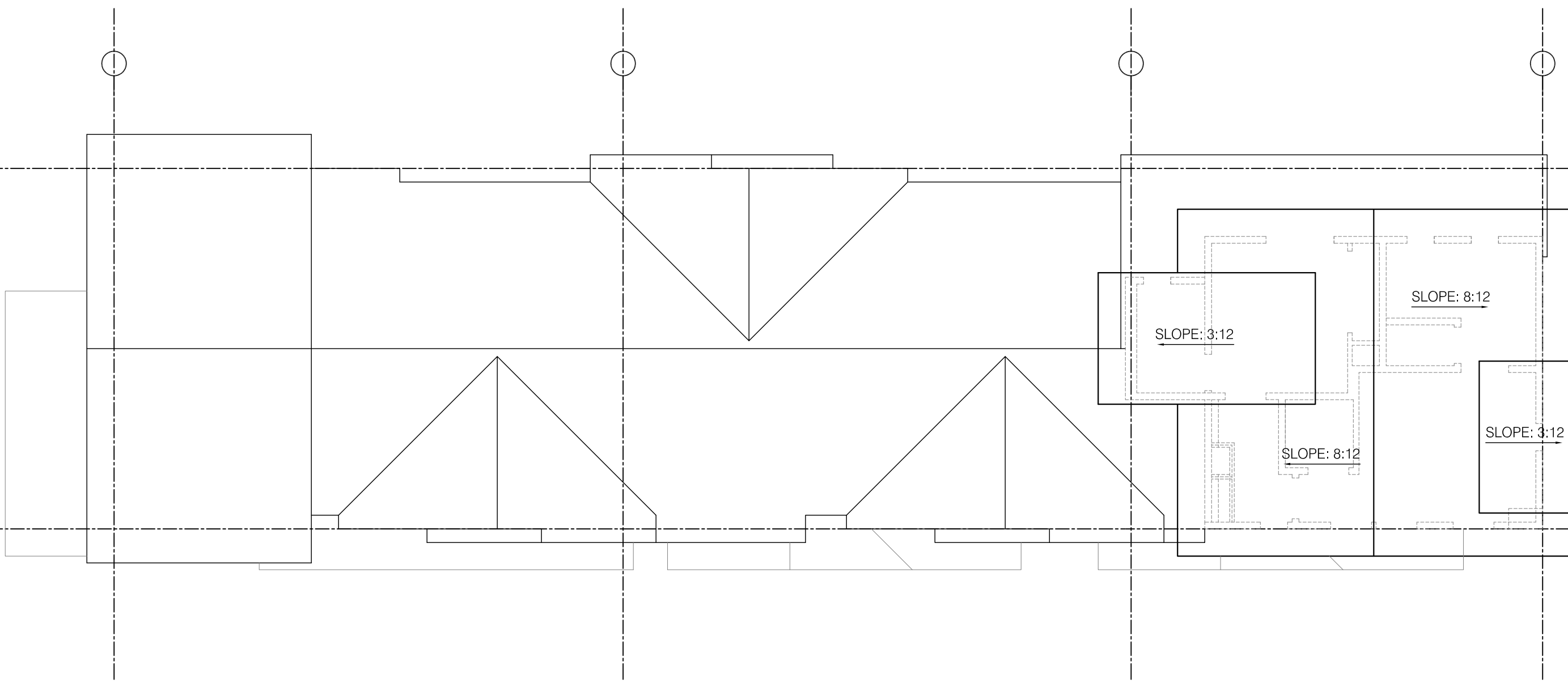
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OF SHEETS

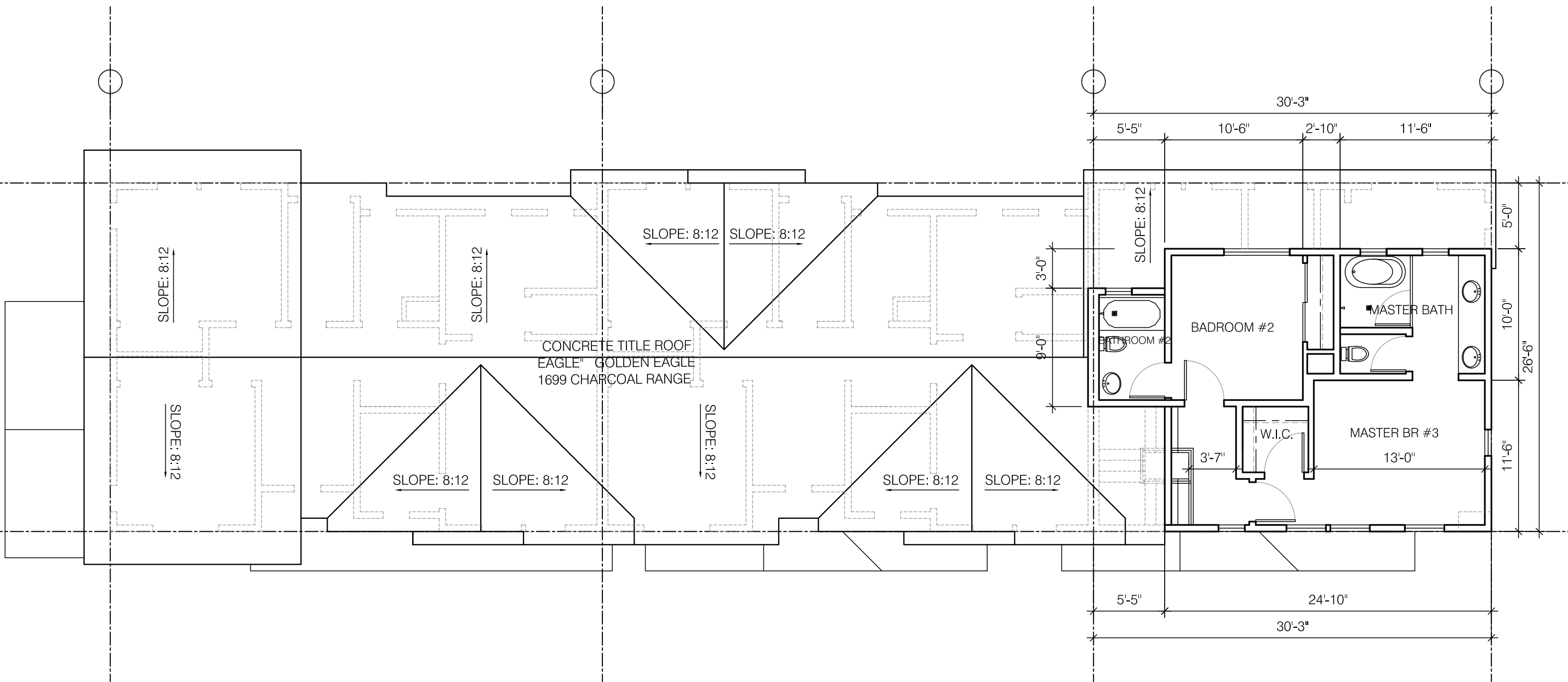
REVISIONS:

NO.	DESCRIPTION

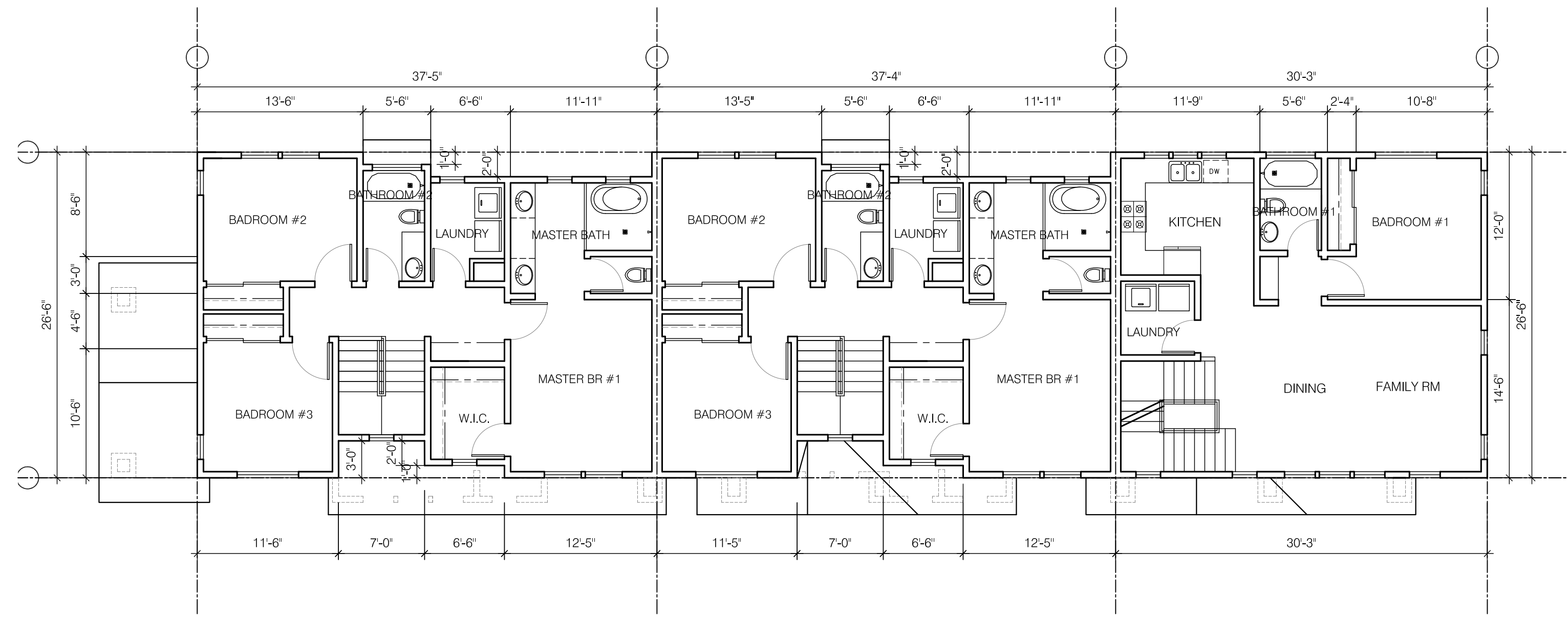
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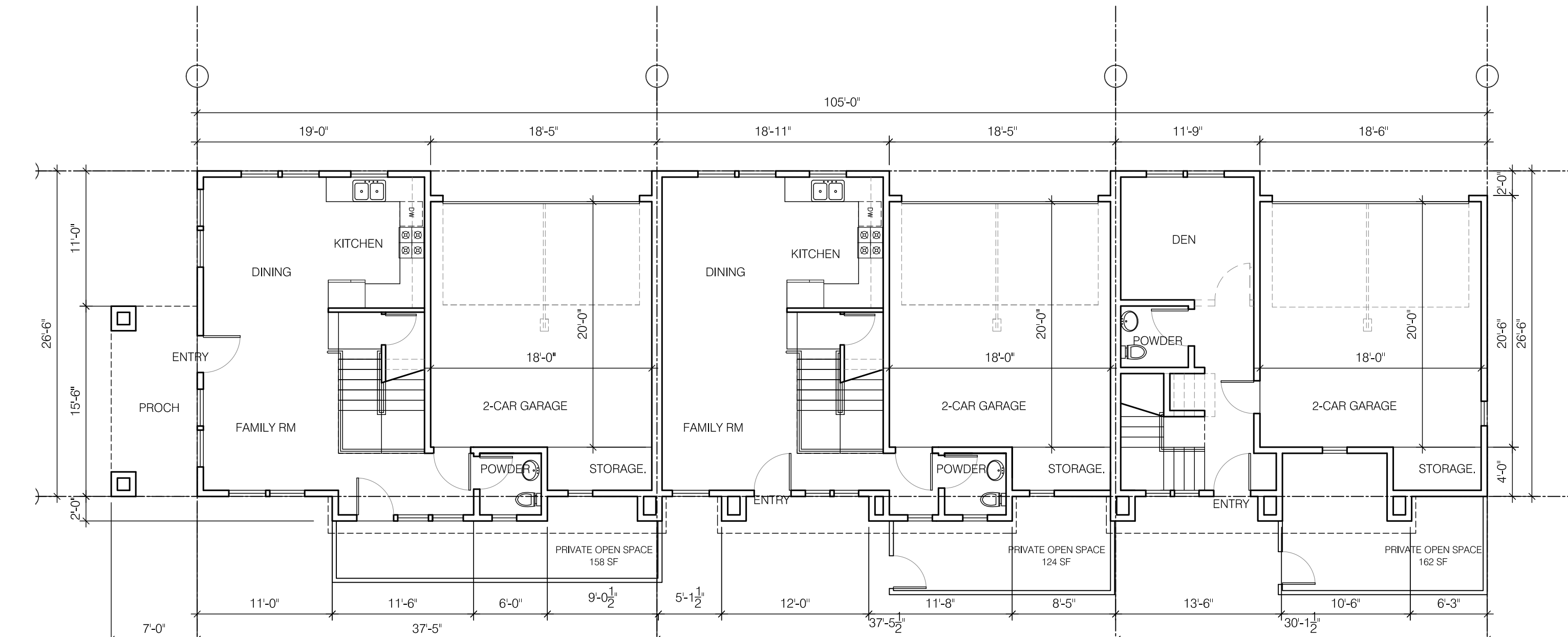
4 BUILDING OVERALL ROOF PLAN
SCALE : 1/8"=1'-0"



3 BUILDING THIRD FLOOR / ROOF PLAN
SCALE : 1/8"=1'-0"



2 BUILDING 2ND FLOOR PLAN
SCALE : 1/8"=1'-0"



DWELLING UNIT 1
3 BED ROOMS , 2-1/2 BATH,
2-CAR GARAGE - 405 SF, FRONT PROCH - 108 SF
LIVING AREA ON GROUND FLOOR- 576 SF
LIVING AREA ON SECOND FLOOR- 864 SF
TOTAL LIVING AREA-1,440 SF
TOTAL PRIVATE OPEN SPACE - 158 SF

1 BUILDING GROUND FLOOR PLAN
SCALE : 1/8"=1'-0"

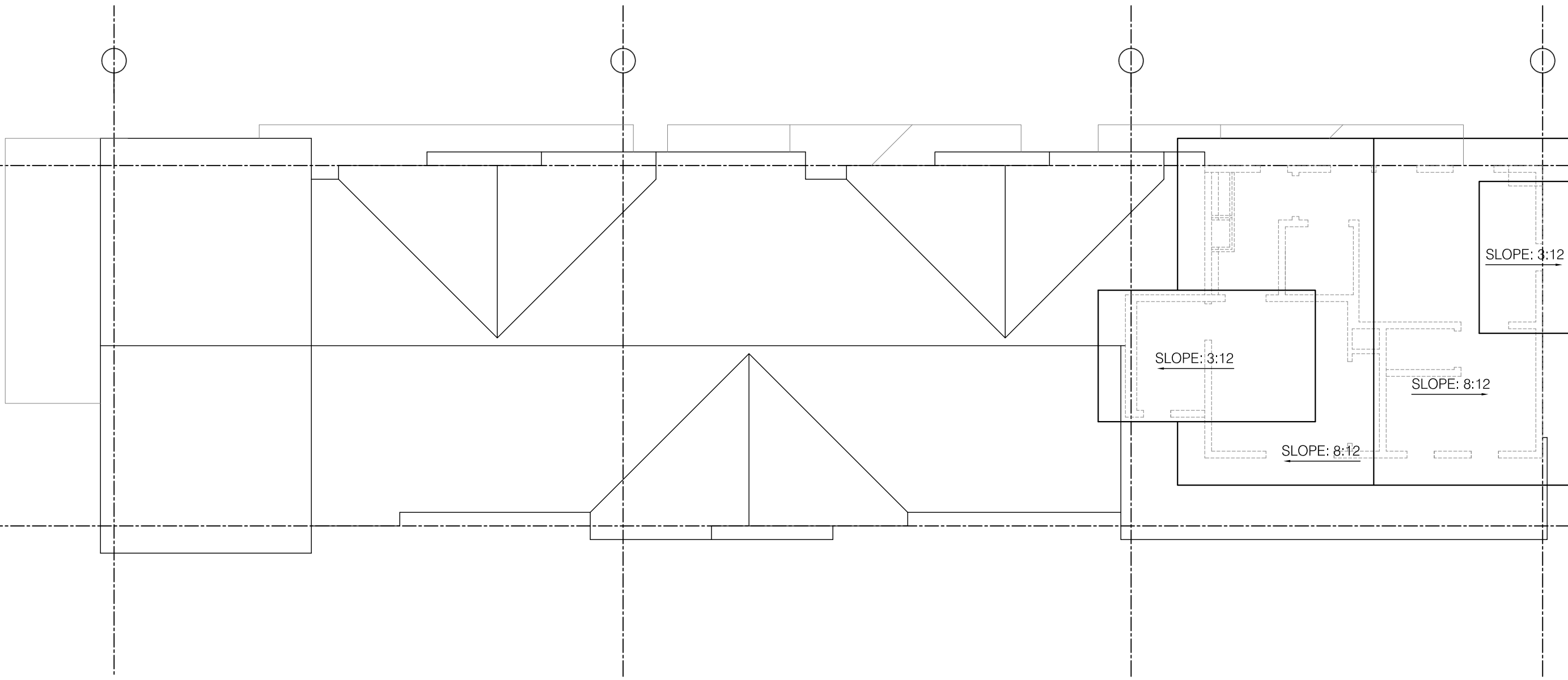
DWELLING UNIT 2
3 BED ROOMS , 2-1/2 BATH,
2-CAR GARAGE - 405 SF
LIVING AREA ON GROUND FLOOR- 562 SF
LIVING AREA ON SECOND FLOOR- 864 SF
TOTAL LIVING AREA-1,426 SF
TOTAL PRIVATE OPEN SPACE - 124 SF

DWELLING UNIT 3
3 BEDROOMS + 1 DEN , 3-1/2 BATH,
2-CAR GARAGE - 405 SF
LIVING AREA ON GROUND FLOOR- 318 SF
LIVING AREA ON SECOND FLOOR- 802 SF
LIVING AREA ON THIRD FLOOR- 568 SF
TOTAL LIVING AREA-1,688 SF
TOTAL PRIVATE OPEN SPACE - 162 SF

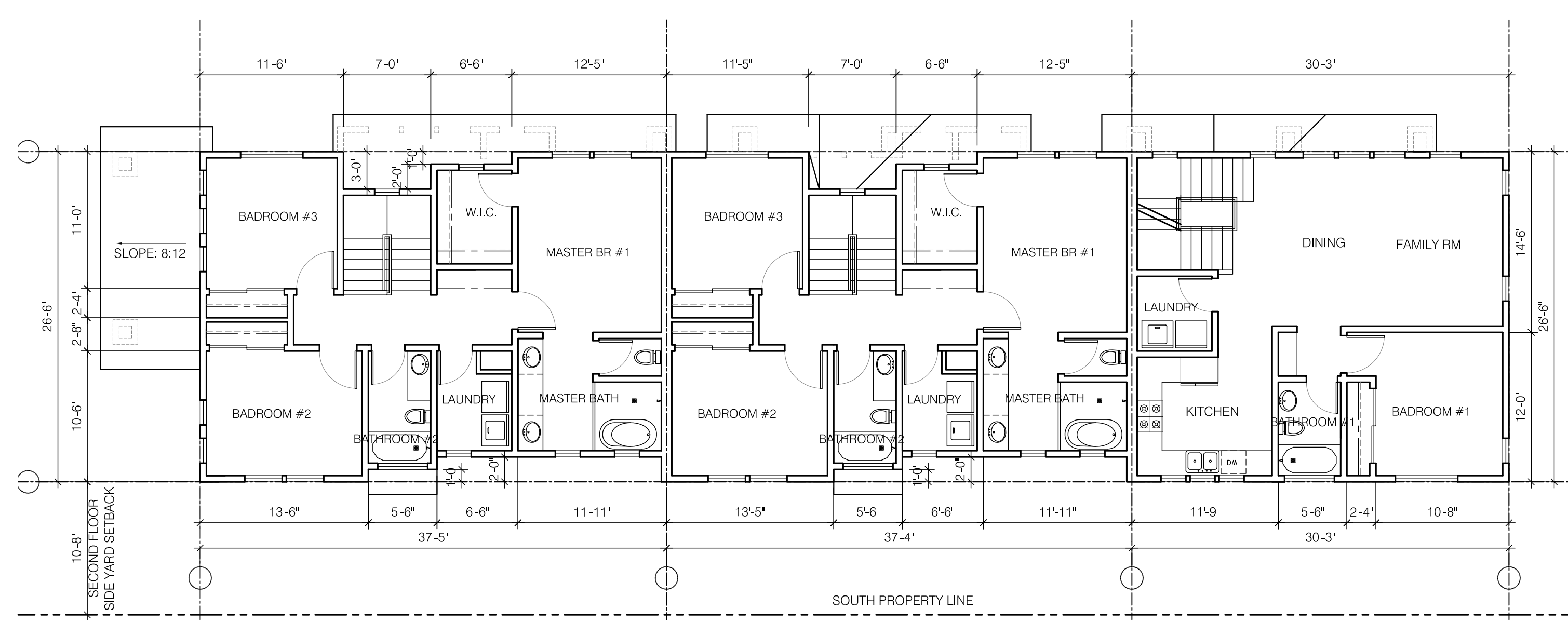
REVISIONS:

REVISIONS:

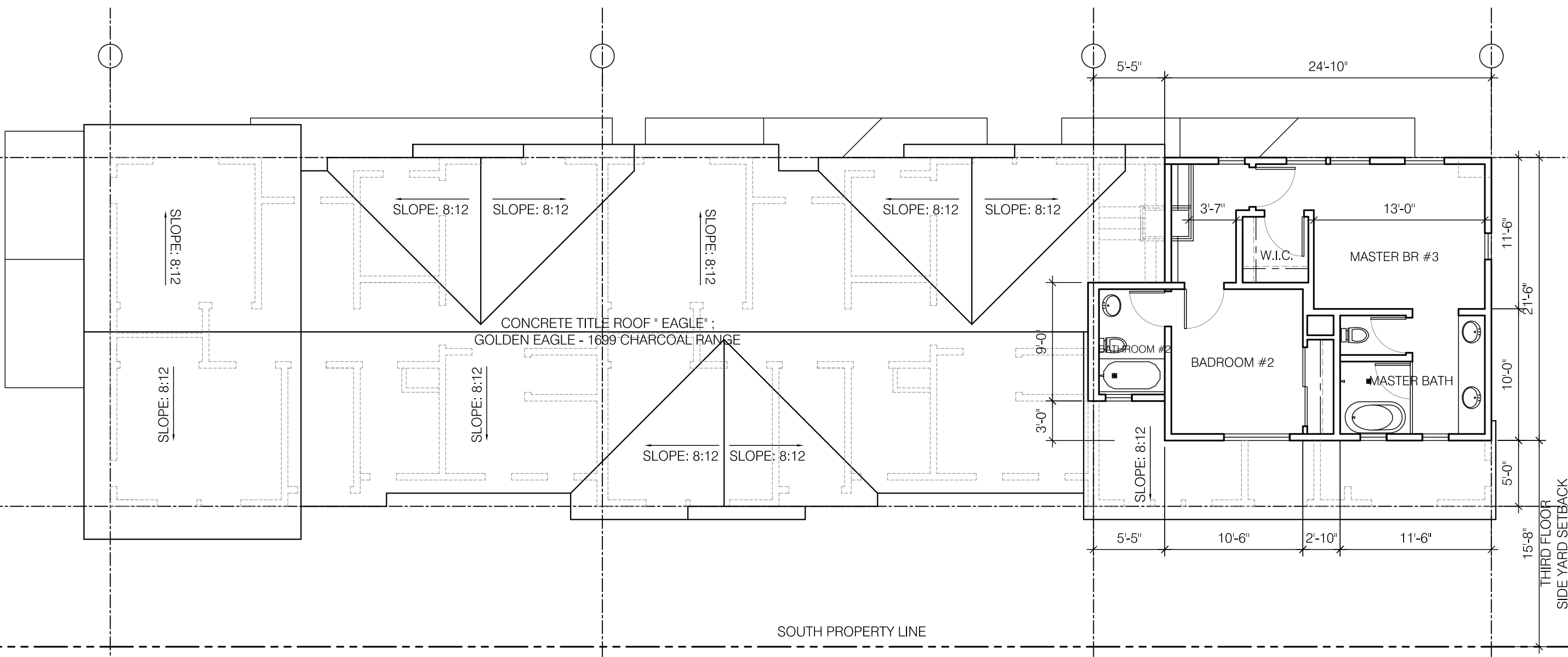
DATE PRINTED:	03-13-2020
DATE:	02-29-2020
SCALE:	1/8"=1'-0"
DRAWN:	J.L.
JOB NO.:	710
SHEET:	



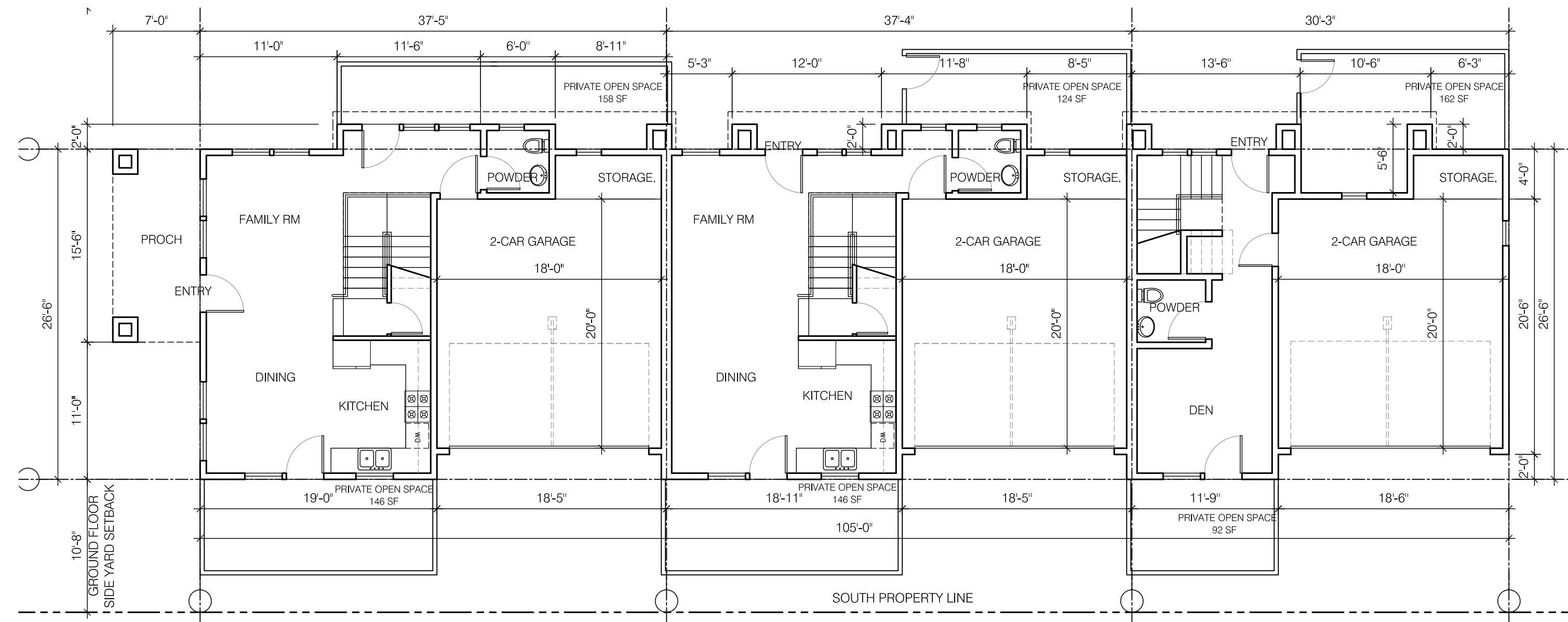
4 BUILDING OVERALL ROOF PLAN
SCALE: 1/8"=1'-0"



2 BUILDING 2ND FLOOR PLAN
SCALE: 1/8"=1'-0"



3 BUILDING THIRD FLOOR / ROOF PLAN
SCALE: 1/8"=1'-0"



DWELLING UNIT 4
3 BED ROOMS , 2-1/2 BATH,
2-CAR GARAGE - 405 SF; FRONT PROCH - 108 SF
LIVING AREA ON GROUND FLOOR- 576 SF
LIVING AREA ON SECOND FLOOR- 864 SF
TOTAL LIVING AREA-1,440 SF
TOTAL PRIVATE OPEN SPACE- 158 SF + 146 SF=304 SF

DWELLING UNIT 5
3 BED ROOMS , 2-1/2 BATH,
2-CAR GARAGE - 405 SF
LIVING AREA ON GROUND FLOOR- 562 SF
LIVING AREA ON SECOND FLOOR- 864 SF
TOTAL LIVING AREA-1,426 SF
TOTAL PRIVATE OPEN SPACE- 124 SF + 146 SF=270 SF

DWELLING UNIT 6
3 BEDROOMS + 1 DEN , 3-1/2 BATH,
2-CAR GARAGE - 405 SF
LIVING AREA ON GROUND FLOOR- 318 SF
LIVING AREA ON SECOND FLOOR- 802 SF
LIVING AREA ON THIRD FLOOR- 568 SF
TOTAL LIVING AREA-1,688 SF
TOTAL PRIVATE OPEN SPACE- 162 SF + 92 SF=254 SF

1 BUILDING GROUND FLOOR PLAN
SCALE: 1/8"=1'-0"

REVISIONS:

REVISIONS:

DATE PRINTED: 03-13-2020

DATE: 02-29-2020

SCALE:

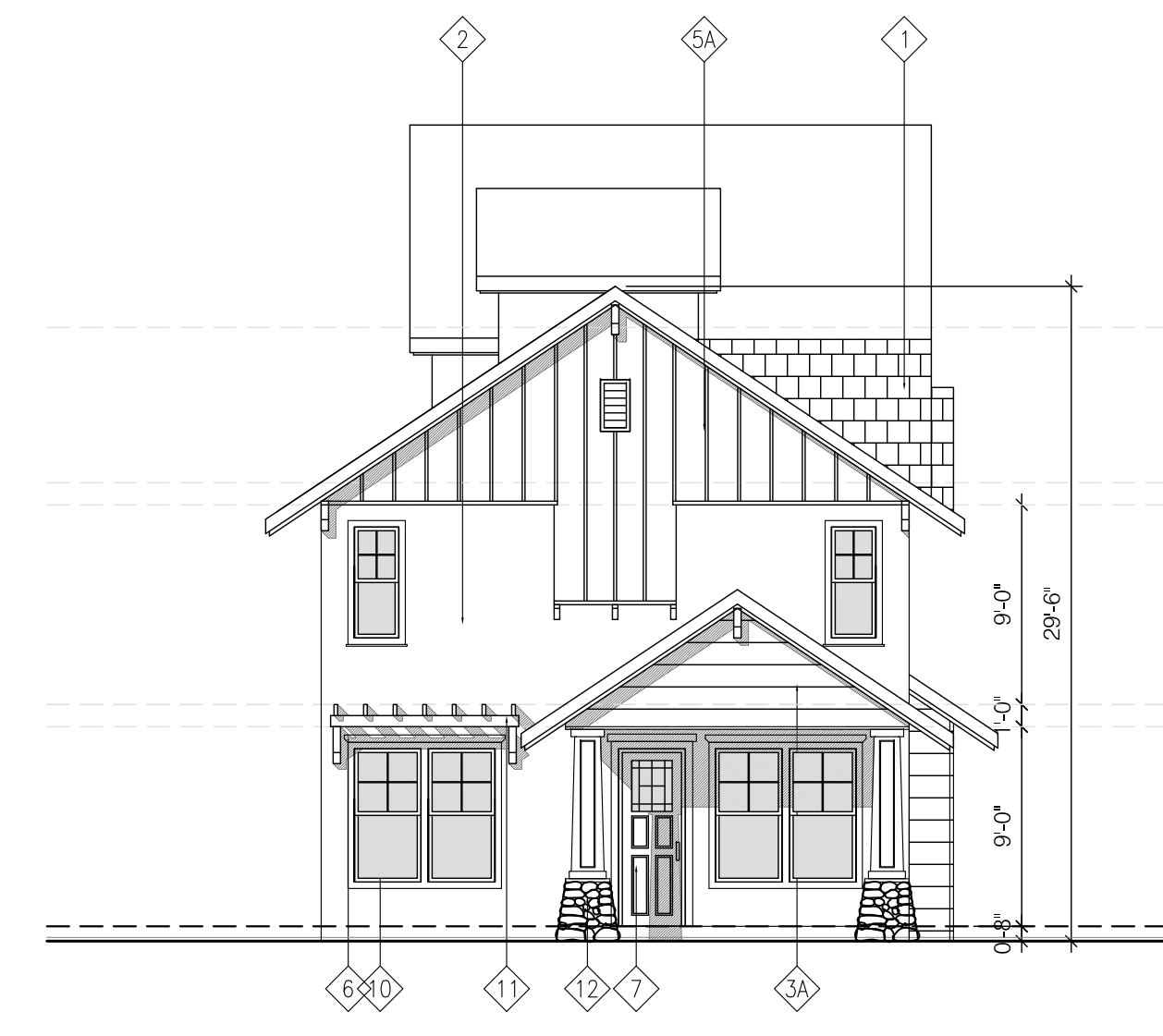
DRAWN: J.L.

JOB NO. 710

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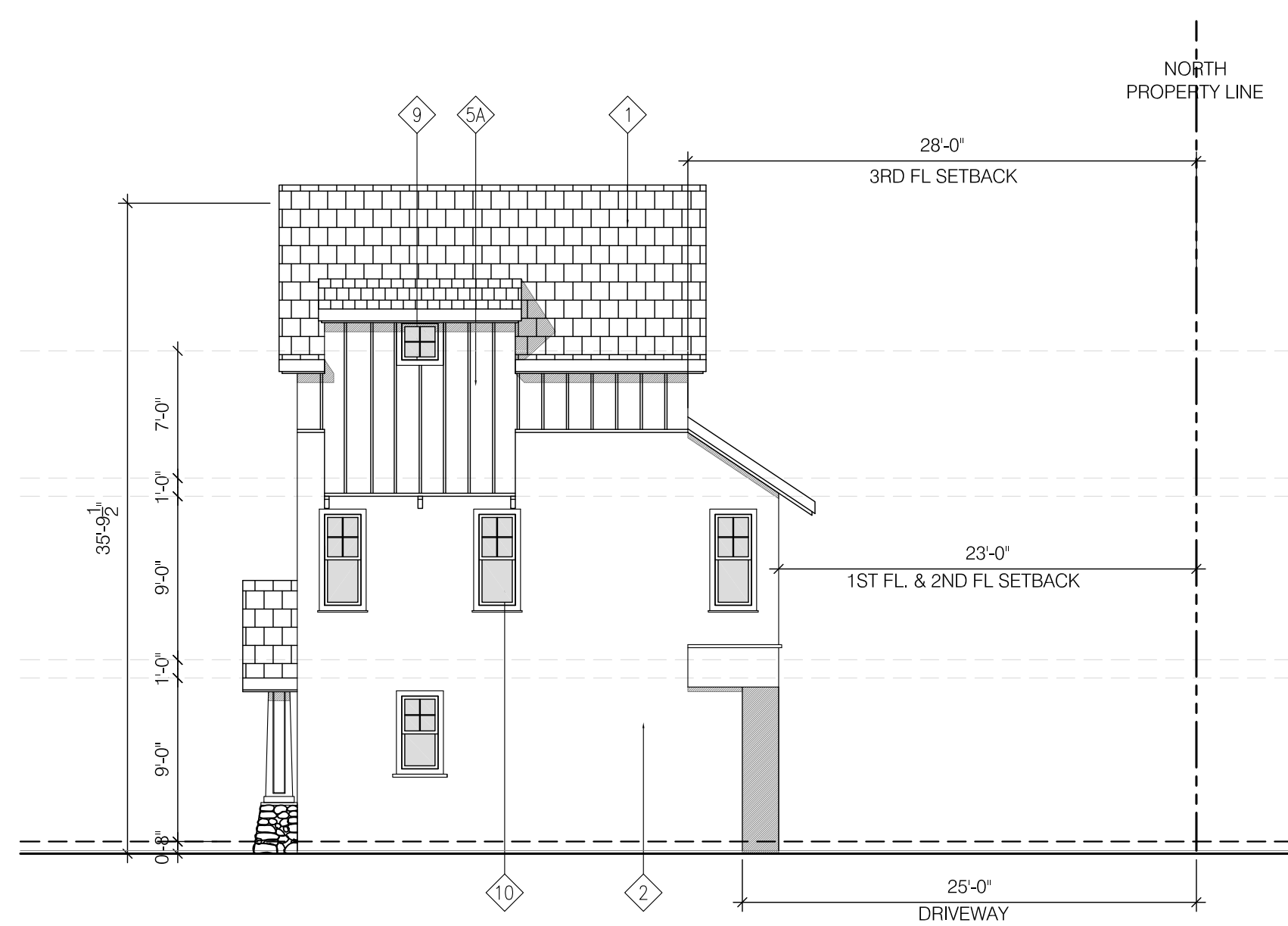
3 BUILDING I SIDE (SOUTH) COURT YARD ELEVATION.
SCALE: 1/8"=1'-0"



1 BUILDING I FRONT (WEST) ELEVATION
SCALE: 1/8"=1'-0"

EXTERNAL MATERIAL SCHEDULE

- | | |
|--|---|
| <p>1. CONCRETE TITLE ROOF " EAGLE" ; GOLDEN EAGLE - 1699 CHARCOAL RANGE</p> <p>2. 7/8" EXTERIOR CEMENT PLASTER- LA HABRA Sand Float 20 / 30 FINISHES SILVERADO X-820 (48) BASE 200</p> <p>3A. WOOD SIDING-JAMES HERDIE FIBER CEMENT SIDING- HARDIEPLANK®
LAP SIDING - COLOR MONTEREY TAUPE</p> <p>3B. WOOD SIDING-JAMES HERDIE FIBER CEMENT SIDING- HARDIEPLANK®
LAP SIDING - COLOR AGED PEWTER</p> <p>4. PRIVATE YARD 5' TALL FENCE
2'-0" STUCCO WALL WITH 3'-0" TALL GALSS PARTITION</p> | <p>5A. WOOD SIDING-JAMES HERDIE FIBER CEMENT SIDING- HARDIEPANEL®
VERTICAL SIDING PANEL - COLOR TIMBER BARK</p> <p>5B. WOOD SIDING-JAMES HERDIE FIBER CEMENT SIDING- HARDIEPANEL®
VERTICAL SIDING PANEL - COLOR MOUNTAIN SAGE</p> <p>6. DECORATIVE WINDOW TRIM-JAMES HERDIE- HARDIETRIM®
3.5" TRIM BOARD - COLOR ARCTIC WHITE</p> <p>7. UNIT ENTRANCE DOOR - SEE WINDOW SCHEDULE FOR STYLE
PAINT COLOR, OIL BASE-FREEZE 8846N BERNARD BROWN</p> <p>8. Clopay® Garage Doors -REMOTE CONTROL ROLL UP- OIL PAINT COLOR WHITE</p> <p>9. FIXED WINDOW W/ CLEAR GLASS</p> <p>10. VINYL WINDOW W/ CLEAR GLASS - WITH 2 INCHES RECESS FROM THE WALL</p> <p>11. DECORATIVE WOOD TRELLIS - OIL PAINT - DARK BROWN</p> <p>12. NATURAL ARROYO STONE</p> |
|--|---|



4 BUILDING I REAR (EAST) ELEVATION
SCALE: 1/8"=1'-0"



2 BUILDING I SIDE (NORTH) ELEVATION
SCALE: 1/8"=1'-0"

REVISIONS:

DATE PRINTED:
DATE: 02-29-2020
SCALE:
DRAWN: J.L.
JOB NO. 710
SHEET



③ BUILDING I SIDE (SOUTH) COURT YARD ELEVATION.
SCALE: 1/8"=1'-0"



① BUILDING I FRONT (WEST) ELEVATION
SCALE: 1/8"=1'-0"



④ BUILDING I REAR (EAST) ELEVATION
SCALE: 1/8"=1'-0"



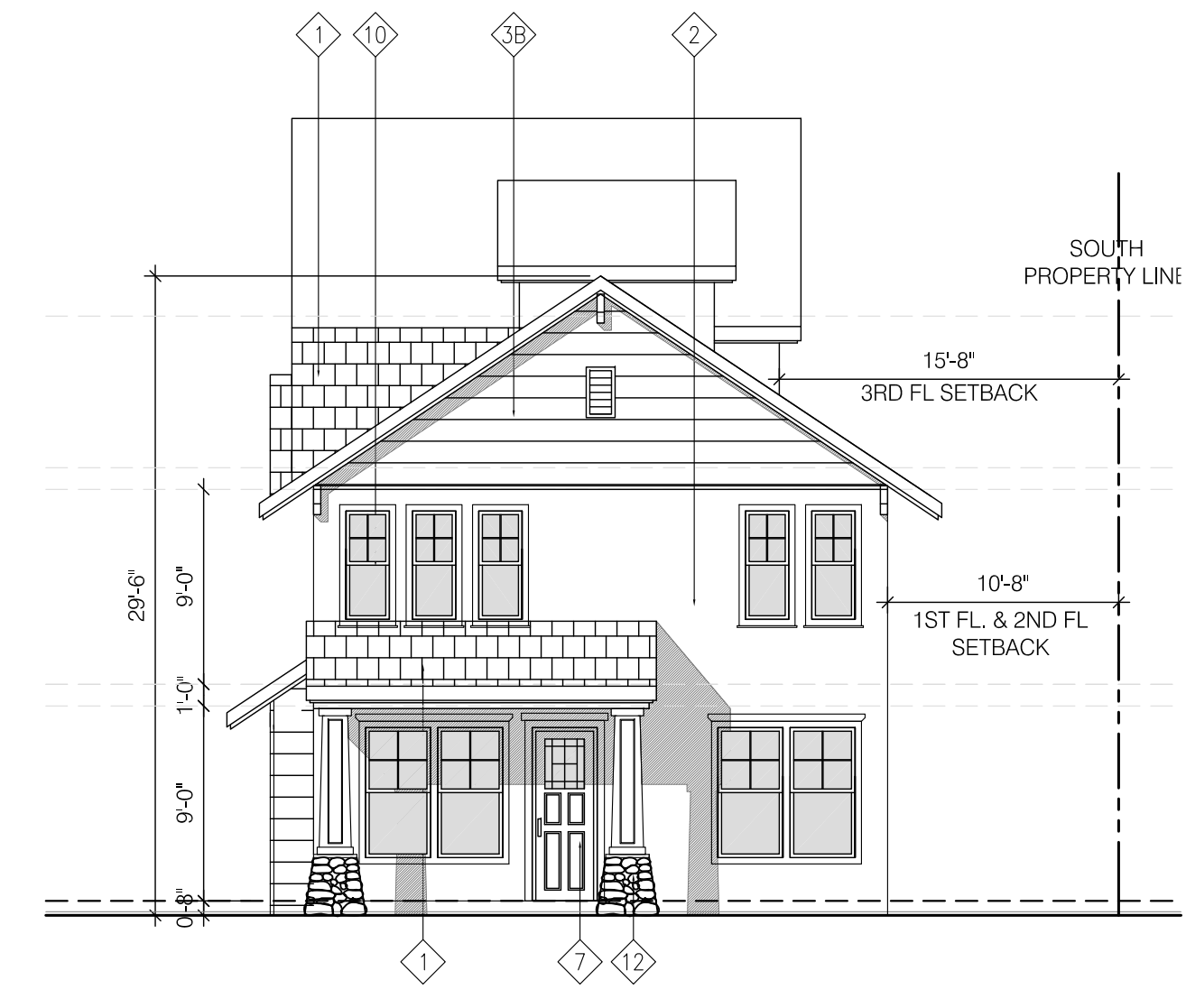
② BUILDING I SIDE (NORTH) ELEVATION
SCALE: 1/8"=1'-0"

REVISIONS:

NO.	DESCRIPTION

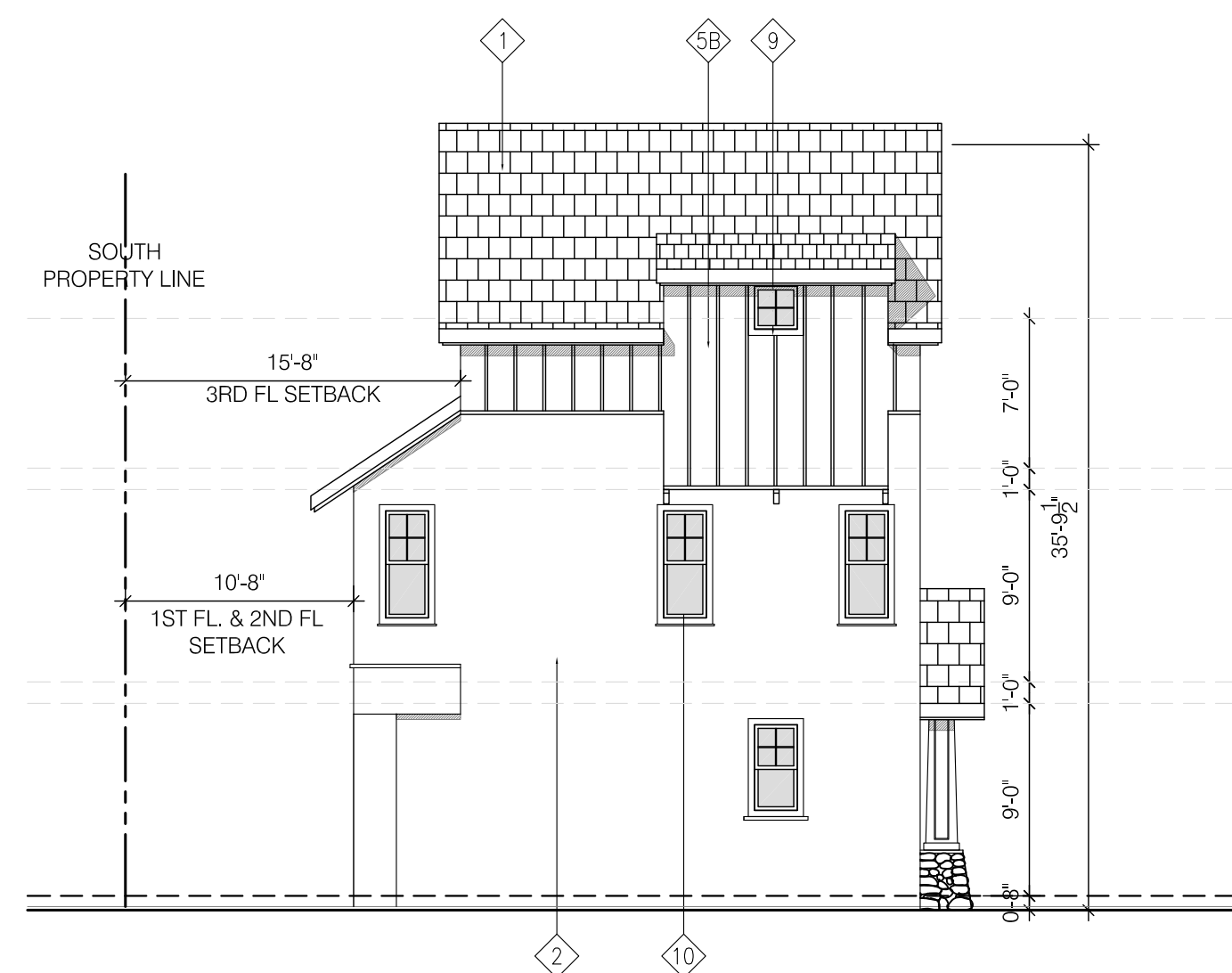


3 BUILDING I SIDE (SOUTH) ELEVATION.
SCALE : 1/8"=1'-0"



1 BUILDING II FRONT (WEST) ELEVATION
SCALE : 1/8"=1'-0"

EXTERNAL MATERIAL SCHEDULE	
1. CONCRETE TITLE ROOF " EAGLE" ; GOLDEN EAGLE - 1699 CHARCOAL RANGE	5A. WOOD SIDING-JAMES HERDIE FIBER CEMENT SIDING- HARDIEPANEL® VERTICAL SIDING PANEL - COLOR TIMBER BARK
2. 7/8" EXTERIOR CEMENT PLASTER- LA HABRA Sand Float 20 / 30 FINISHES SILVERADO X-820 (48) BASE 200	5B. WOOD SIDING-JAMES HERDIE FIBER CEMENT SIDING- HARDIEPANEL® VERTICAL SIDING PANEL - COLOR MOUNTAIN SAGE
3A. WOOD SIDING-JAMES HERDIE FIBER CEMENT SIDING- HARDIEPLANK® LAP SIDING - COLOR MONTEREY TAUPE	6. DECORATIVE WINDOW TRIM-JAMES HERDIE- HARDIETRIM® 3.5" TRIM BOARD - COLOR ARCTIC WHITE
3B. WOOD SIDING-JAMES HERDIE FIBER CEMENT SIDING- HARDIEPLANK® LAP SIDING - COLOR AGED PEWTER	7. UNIT ENTRANCE DOOR - SEE WINDOW SCHEDULE FOR STYLE PAINT COLOR, OIL BASE-FREEZE 8846N BERNARD BROWN
4. PRIVATE YARD 5' TALL FENCE 2'-0" STUCCO WALL WITH 3'-0" TALL GALSS PARTITION	8. Clopay® Garage Doors -REMOTE CONTROL ROLL UP- OIL PAINT COLOR WHITE
	9. FIXED WINDOW W/ CLEAR GLASS
	10. VINYL WINDOW W/ CLEAR GLASS - WITH 2 INCHES RECESS FROM THE WALL
	11. DECORATIVE WOOD TRELLIS - OIL PAINT - DARK BROWN
	12. NATURAL ARROYO STONE



4 BUILDING II REAR (EAST) ELEVATION
SCALE : 1/8"=1'-0"



2 BUILDING II SIDE (NORTH) COURT YARD ELEVATION
SCALE : 1/8"=1'-0"

REVISIONS:

DATE: 02-29-2020

SCALE: 1/8"=1'-0"

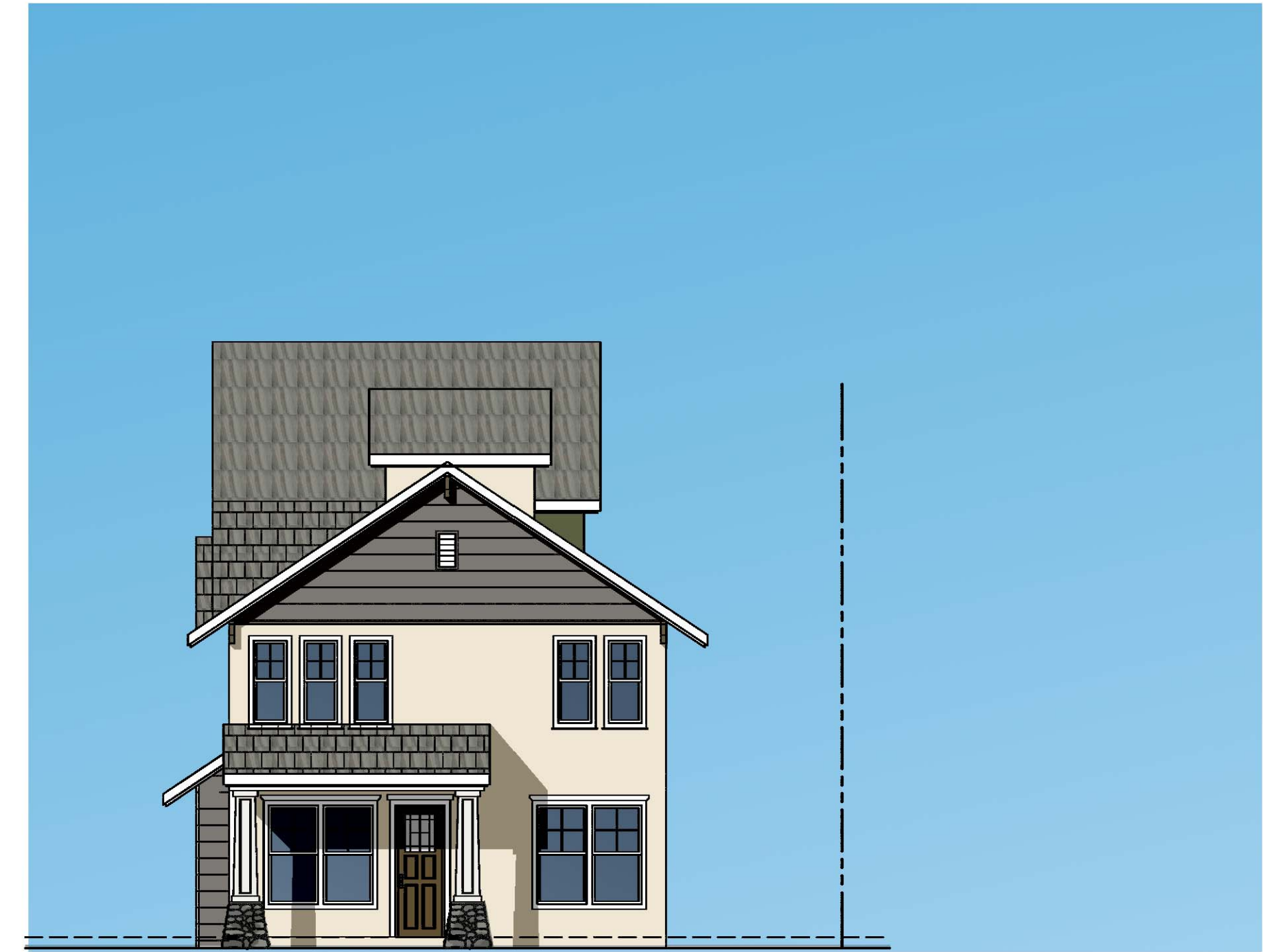
DRAWN: J.L.

JOB NO. 710

SHEET



③ BUILDING I SIDE (SOUTH) ELEVATION.
SCALE: 1/8"=1'-0"



① BUILDING II FRONT (WEST) ELEVATION
SCALE: 1/8"=1'-0"



④ BUILDING II REAR (EAST) ELEVATION
SCALE: 1/8"=1'-0"



② BUILDING II SIDE (NORTH) COURTYARD ELEVATION
SCALE: 1/8"=1'-0"

REVISIONS:

BUILDING SETBACK EXHIBIT
FLOOR PLAN VIEW

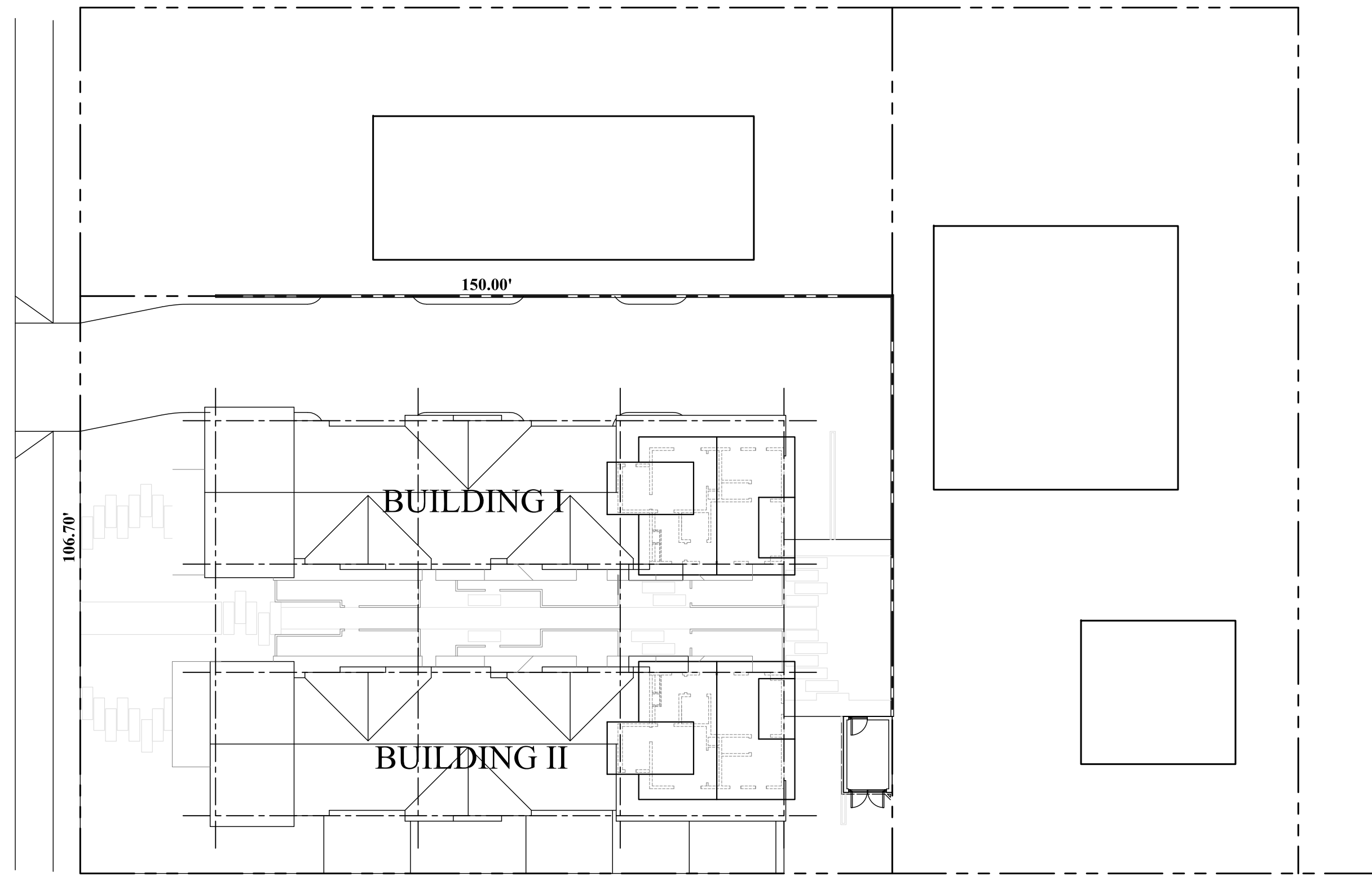
DATE PRINTED: 03-13-2020
DATE: 02-29-2020
SCALE: 1"=20'-0"
DRAWN: J.L.
JOB NO. 710

SHEET

EX-1

OF SHEETS

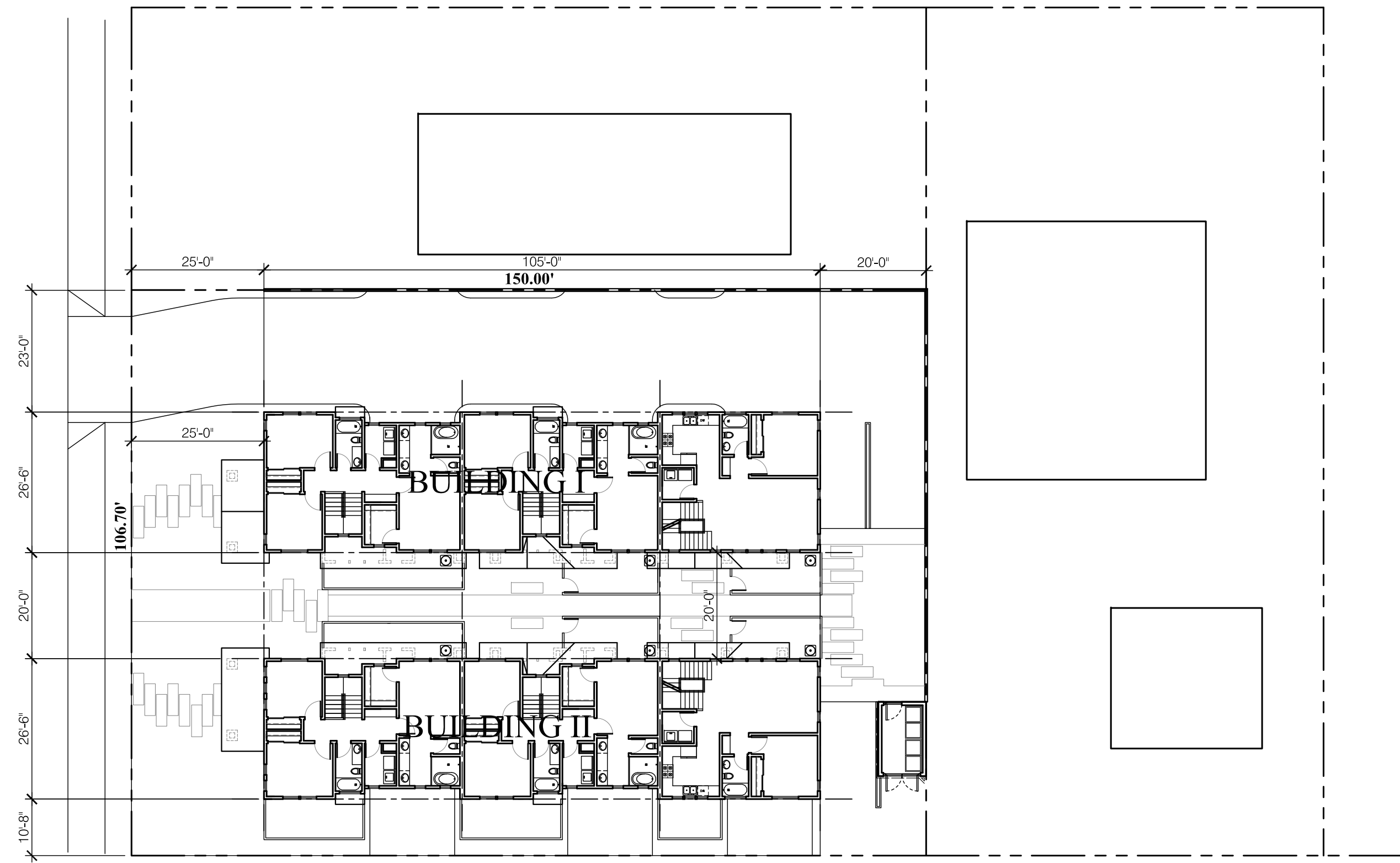
S. IVY AVE.



④ OVERALL ROOF PLAN
SCALE : 1"=20'-0"



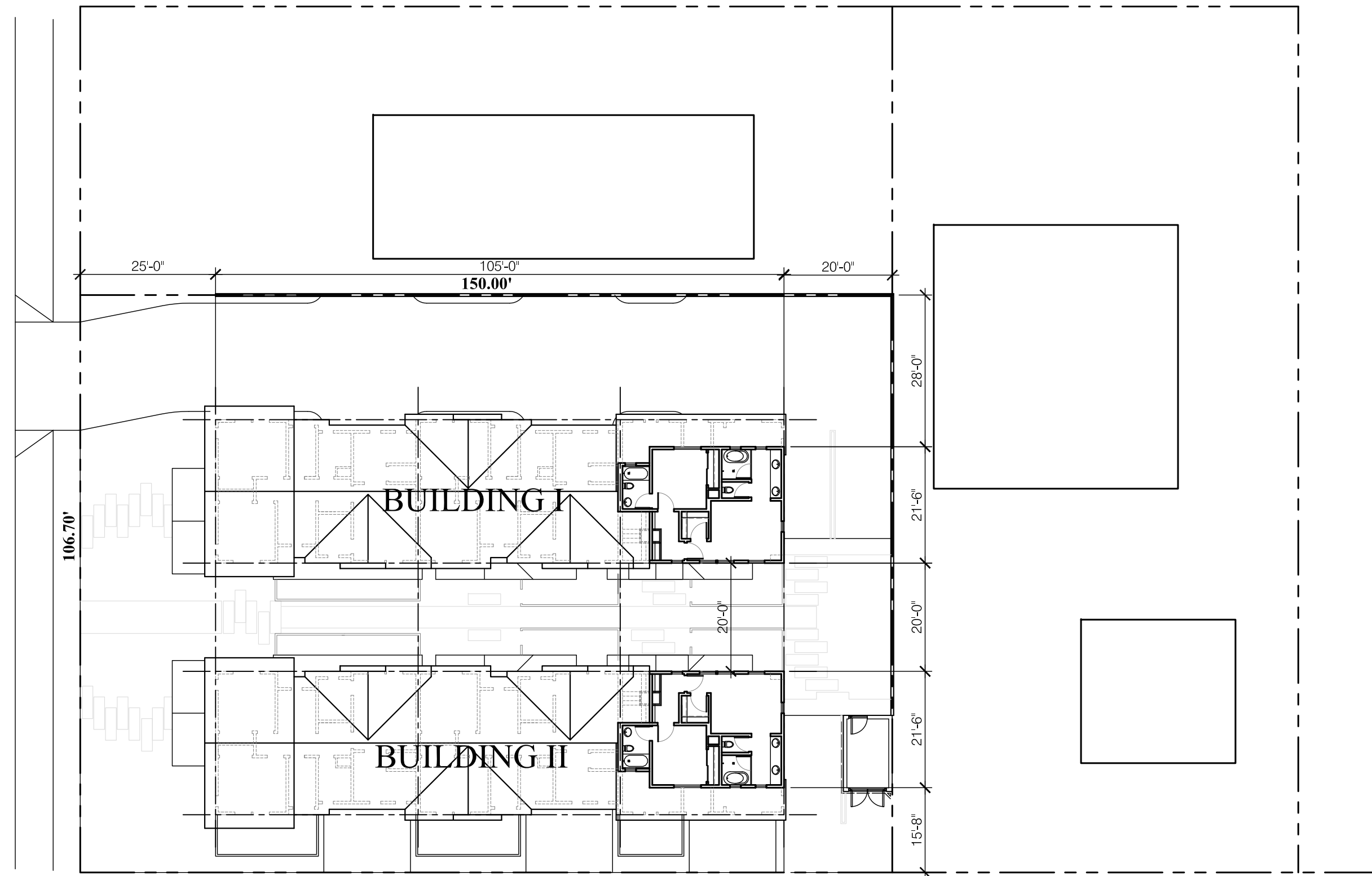
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② OVERALL SECOND FLOOR PLAN
SCALE : 1"=20'-0"



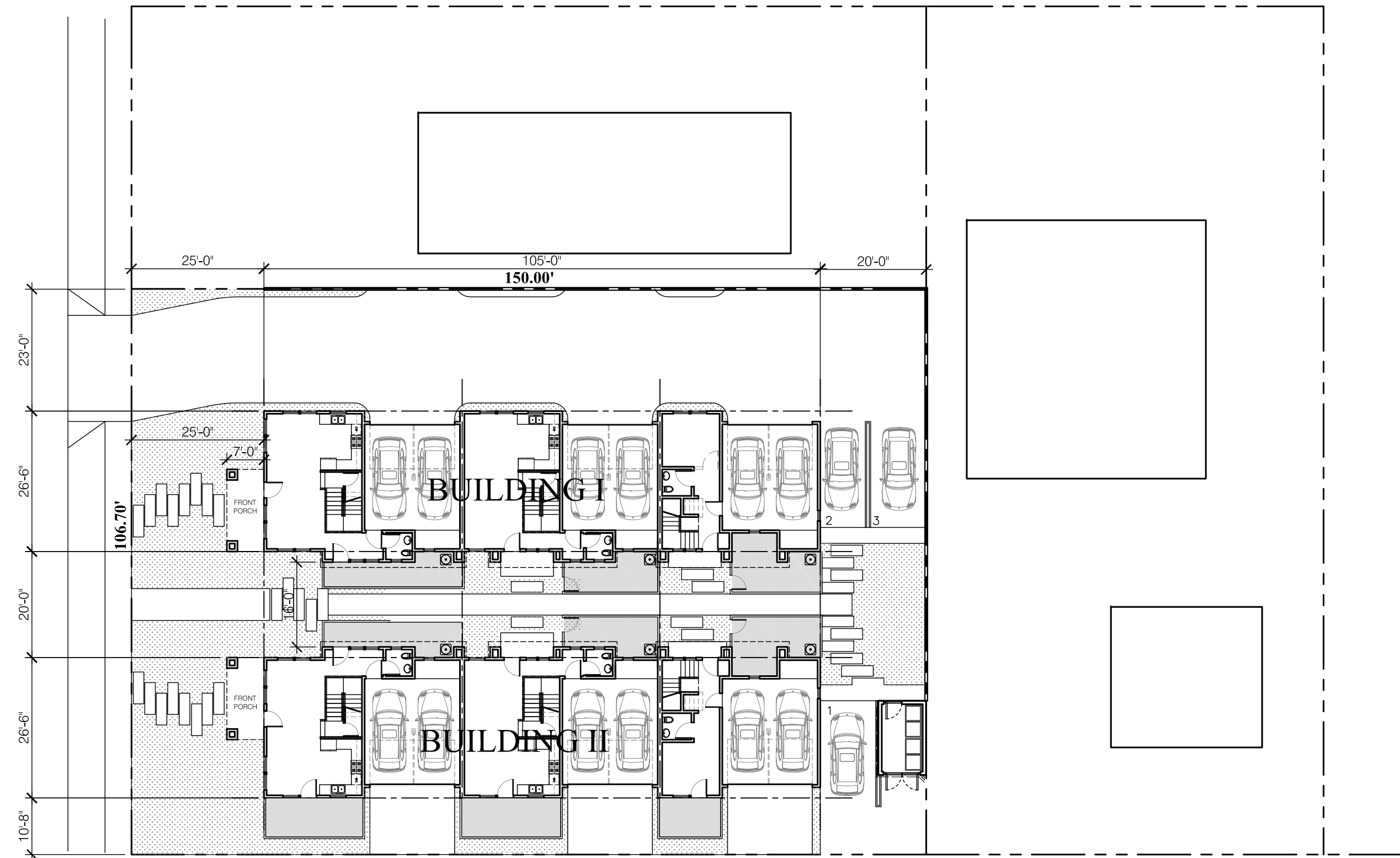
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③ OVERALL THIRD FLOOR PLAN
SCALE : 1"=20'-0"

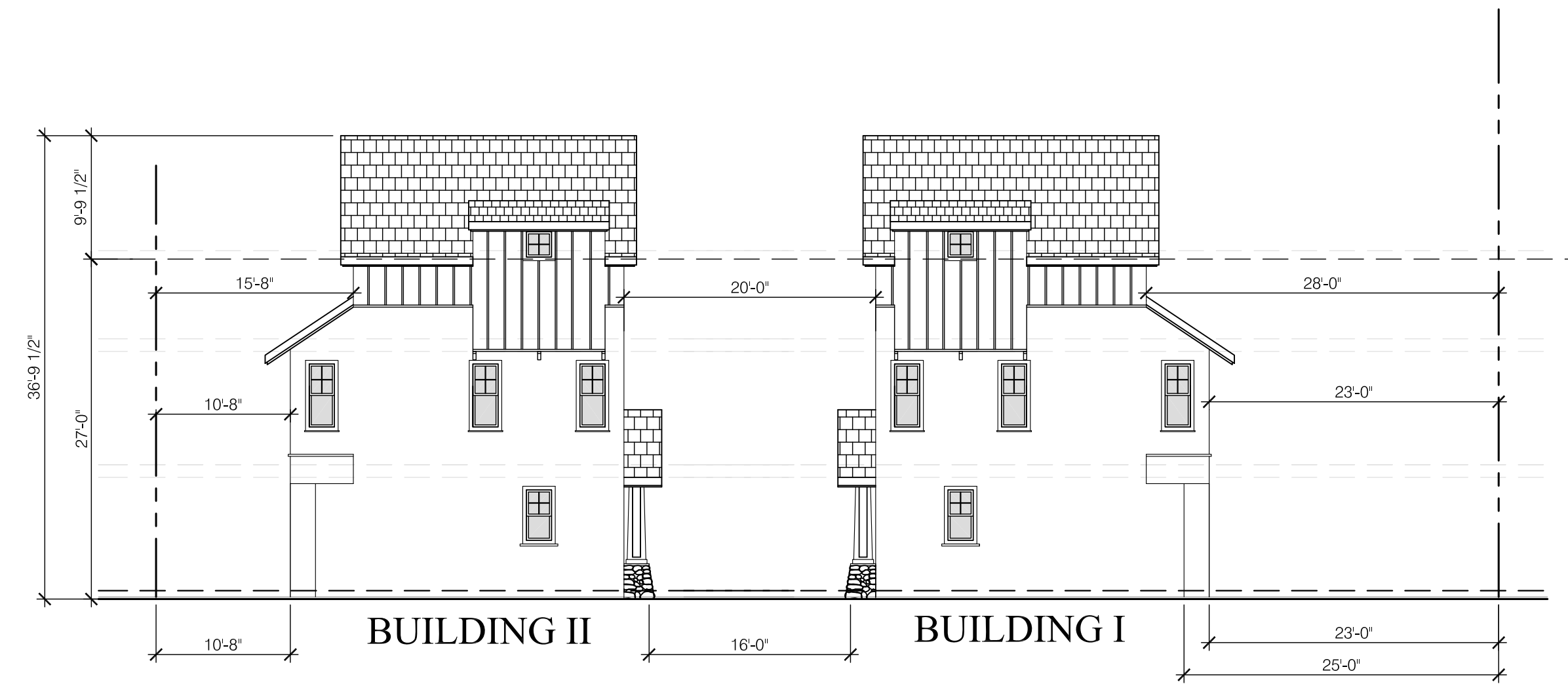


S. IVY AVE.



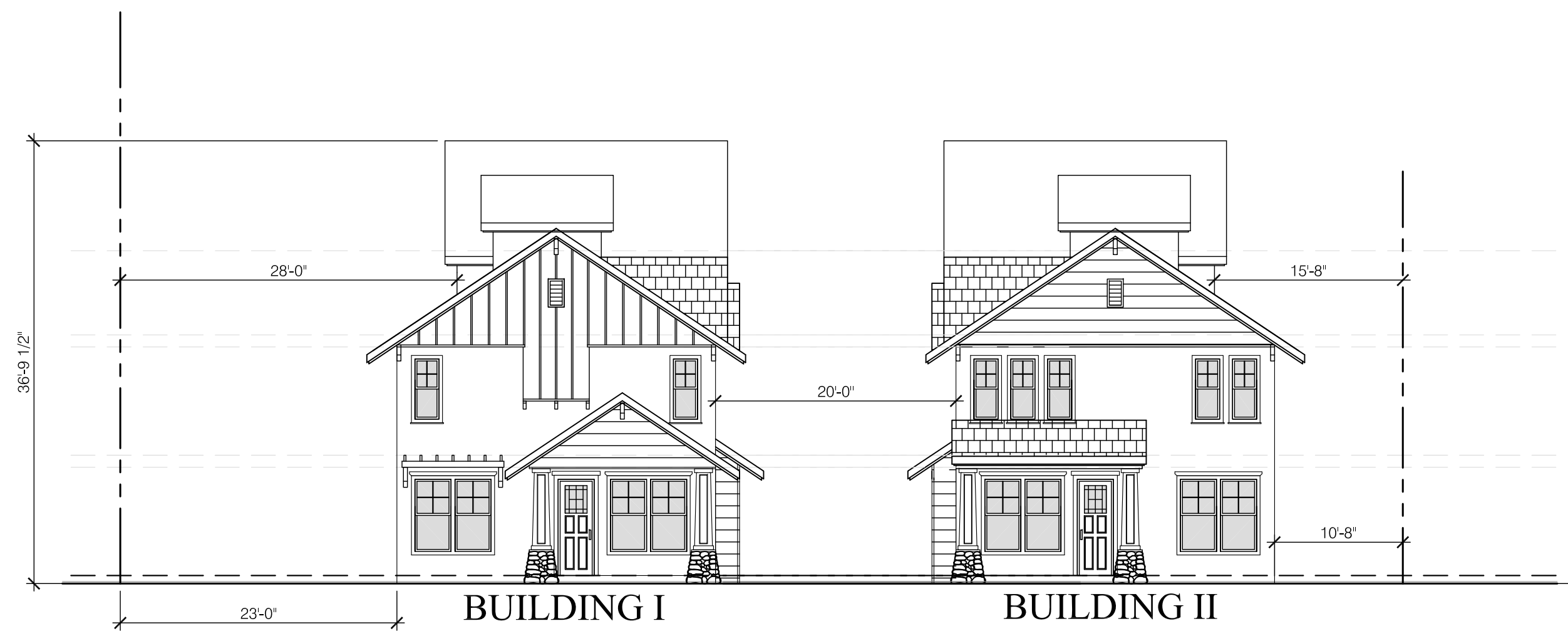
① OVERALL GROUND FLOOR PLAN
SCALE : 1"=20'-0"





③ PROPOSED REAR YARD (EAST) ELEVATION
SCALE : 1"=10'-0"

NOTE:
BUILDINGS WITH A RIDGE HEIGHT EXCEEDING 27 FEET MUST PROVIDE AN ADDITIONAL ONE-HALF FOOT OF SEPARATION BETWEEN FACING WALLS BEYOND THE FIRST STORY FOR EACH FOOT OVER 27 FEET.
BUILDING HEIGHT- 36'-9 1/2"
REQUIRED ADDITIONAL 4'-10" SEPARATION BEYOND THE FIRST STORY.
BUILDINGS SEPARATION PROVIDED: 20'-0" BEYOND THE FIRST STORY

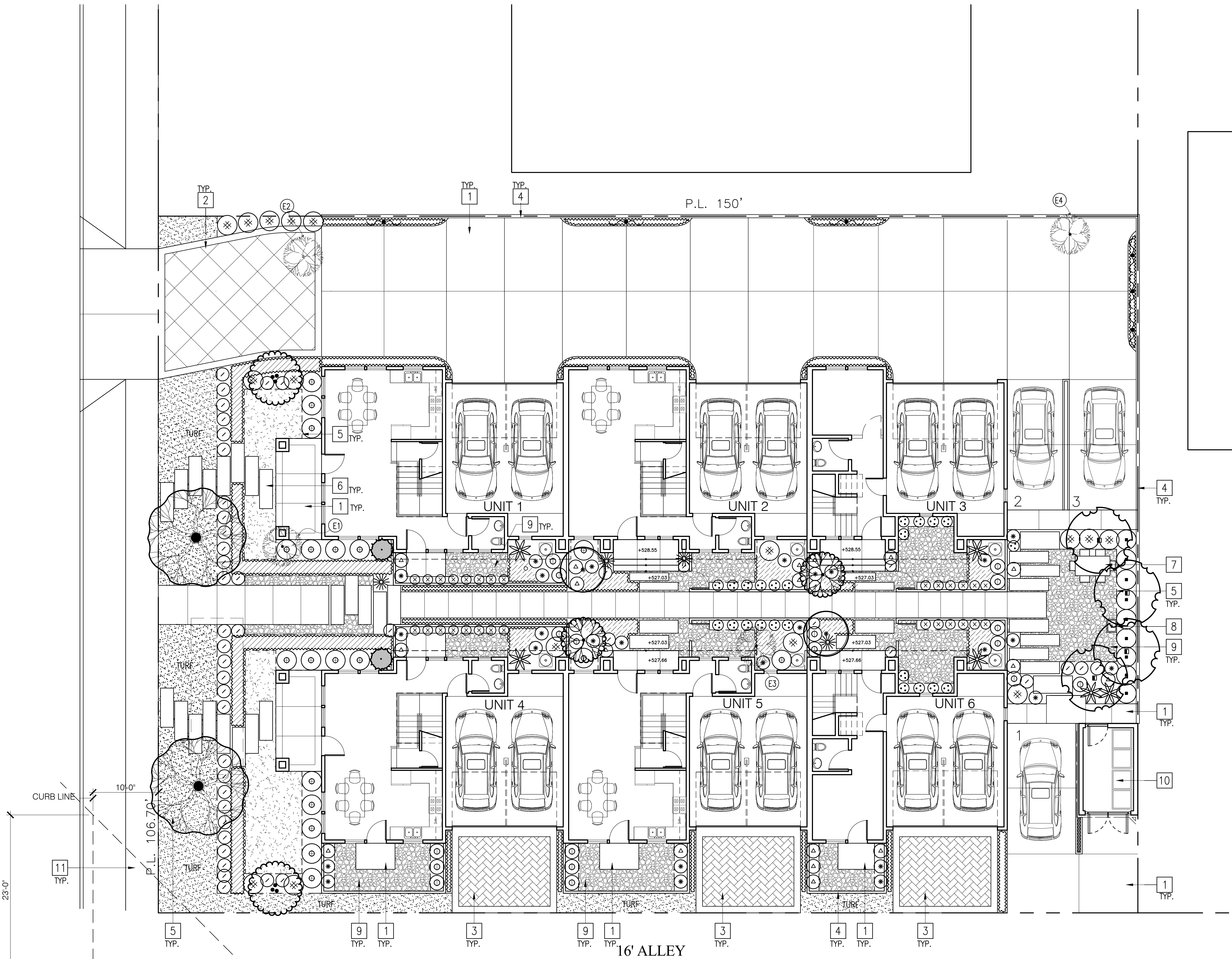


② PROPOSED FRONT YARD (WEST) ELEVATION
SCALE : 1"=10'-0"



① PROPOSED OVERALL STREETSCAPE
SCALE : 1"=10'-0"

S. IVY AVE.



1 LANDSCAPE PLAN
1/8"=1'-0"

EXISTING TREE LEGEND

TREE SYMBOL	QNTY	DESCRIPTION
E1	1	12" DIA. CYPRESS TO BE REMOVED
E2	1	10" DIA. ASH TREE TO BE REMOVED
E3	1	24" DIA. ASH TREE TO BE REMOVED
E4	1	20" DIA. AVACARDO TREE TO BE REMOVED

HARDSCAPE LEGEND

KEY NOTE	DESCRIPTION
1	NATURAL CONCRETE PAVING WITH CONTROL JOINT
2	ACCENT COLOR CONCRETE PAVING WITH CONTROL JOINT
3	ACCENT COLOR CONCRETE PAVER
4	BOUNDARY WALL, FENCE & GATE PER ARCHITECTURAL PLAN
5	PLASTIC-BAND-BOARD HEADER
6	STEPPING CONC.
7	PICNIC TABLE SET, 60"L x 63"W x 30"H
8	B.B.Q. GRILL, 24"L x 18"W x 16.5"H
9	ROCK MULCH OR SYNTHETIC TURF
10	TRASH ENCLOSURE PER ARCH.
11	CITY SIDEWALK, PER CITY REQUIREMENT

PLANTING LEGEND

TREE SYMBOL	QNTY	SIZE	BOTANICAL NAME/ COMMON NAME	WATER USE PLANT FACTOR
T1	2	24" BOX	LAGERSTROEMIA INDICA 'MUSKOGEE'	MODERATE .5
T2	2	15 GAL.	CITRUS JAPONICA/ KUMQUAT	MODERATE .5
T3	2	36" BOX	OLEA EUROPAEA 'WILSON'	LOW .15
T4	2	15 GAL.	ACER PALMATUM 'EDDISBURY'/ CORAL BARK MAPLE	MODERATE .5
T5	4	24" BOX	MAGNOLIA G. 'LITTLE GEM'	MODERATE .5

SHRUB SYMBOL

SHRUB SYMBOL	QNTY	SIZE	BOTANICAL NAME/ COMMON NAME	WATER USE PLANT FACTOR
S1	2	5 GAL.	CUPRESSUS S. 'STRICTA'	LOW .15
S2	19	5 GAL.	ITALIAN CYPRESS	LOW .15
S3	2'	5 GAL.	SALVIA GREGII 'HOT LIP'	LOW .15
S4	21	5 GAL.	HOT LIP SAGE	LOW .15
S5	2	O.C.	CALLISTEMON CITRINUS 'LITTLE JOHN'	LOW .15
S6	21	5 GAL.	LITTLE JOHN DWARF BOTTLEBRUSH	LOW .15
S7	21	5 GAL.	LIMONIUM PEREZII	LOW .15
S8	18	5 GAL.	SEA LAVENDER	LOW .15
S9	18	5 GAL.	LAVANDULA ANGUSTIFOLIA	LOW .15
S10	18	5 GAL.	ENGLISH LAVENDER	LOW .15
S11	28	5 GAL.	ANIGOZANTHOS FLAVIDUS GIANT RED	LOW .15
S12	9	5 GAL.	KANGAROO PAW	LOW .15
S13	9	5 GAL.	ROSEMARINUS O. 'TUSCAN BLUE'	LOW .15
S14	9	5 GAL.	TUSCAN BLUE ROSEMARY	LOW .15
S15	46	1 GAL.	PELARGONIUM P. 'SOFIE CASCADE'	LOW .15
S16	46	1 GAL.	IVY GERANIUM	LOW .15
S17	6	5 GAL.	SALVIA LUECANTHA 'SANTA BARBARA'	LOW .15
S18	6	5 GAL.	SANTA BARBARA SAGE	LOW .15
S19	6	5 GAL.	SALVIA GREGII 'FORMAN'S RED'	LOW .15
S20	16	5 GAL.	AUTUMN SAGE	LOW .15
S21	18	5 GAL.	NANDINA D. 'GULF STREAM'	LOW .15
S22	18	5 GAL.	GULF STREAM HEAVENLY BAMBOO	LOW .15
S23	1	GAL.	SANSEVERIA BACULARIS 'MIKADO'	LOW .15
S24	1	GAL.	SNAKE PLANT	LOW .15
S25	4	5 GAL.	DIANELLA TASMANICA 'VARIEGATA'	LOW .15
S26	4	5 GAL.	VARIEGATED FLAX LILY	LOW .15

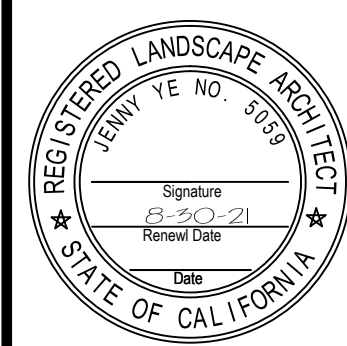
GROUNDCOVER/ VINE/ TURF

GROUNDCOVER/ VINE/ TURF	QNTY	SIZE	BOTANICAL NAME/ COMMON NAME	WATER USE PLANT FACTOR
GC1	1	GAL.	ROSEMARINUS OFFICINALIS	LOW .15
GC2	1	O.C.	'HUNTINGTON CARPET'	LOW .15
V1	6	5 GAL.	BOUGAINVILLEA 'BARBARA KARST'	LOW .15
V2	6	5 GAL.	BOUGAINVILLEA	LOW .15
TURF			WARM SEASON TURF (ST. AUGUSTINE SOD LAWN)	WST .6
TURF			SYNTHETIC TURF OR DECOMPOSED GRANITE	NONE 0

BID NOTE:
1. CONTRACTOR BID THE QUANTITY AND SIZE OF TREES OR SHRUBS. OWNER AND DESIGNER MAY CHANGE THE TYPE OF SHRUBS AND ARRANGEMENT OF SHRUBS PER ACTUAL SITE CONDITION TO ACHIEVE THE BEST DESIGN APPEARING, ANY SUBSTITUTION TO MATCH WATER USE OF HYDROZONE.
2. PROVIDE 3" THICK BARK MULCH UNDER ALL GROUNDCOVER / SHRUB TYP., SHREDDED WOOD CHIPS 1"-3" LENGTH, 3/8"-5/8" DIAMETER.

REVISIONS	BY
CONCEPT 12-02-14	
12-12-14 02-28-20	
03-18-20 05-01-20	

JYC
LANDSCAPE
ARCHITECTURE
PHONE: (951)317-6825
Email: jenniyyc@yahoo.com



SHEET TITLE:
CONCEPTUAL LANDSCAPE PLAN

PROJECT NAME:
**6 DWELLING UNITS MULTI-FAMILY
CONDOMINIUM DEVELOPMENT
910 S. IVY AVENUE,
MONROVIA, CA 91016**

DATE	05-01-20
SCALE	PER PLAN
DRAWN	
JOB	191119
SHEET	

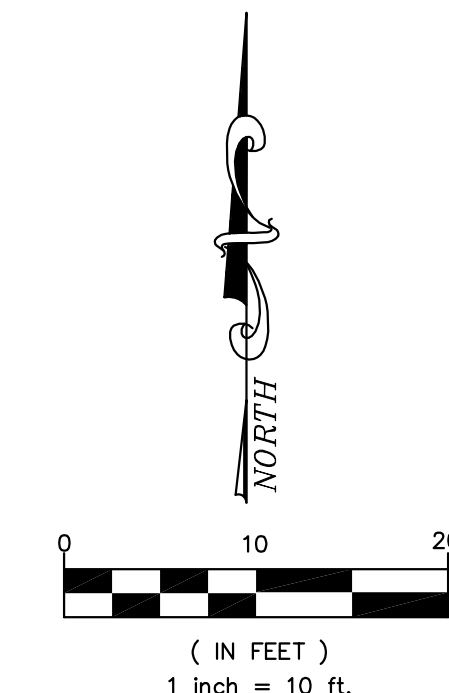
TENTATIVE TRACT MAP NUMBER 082998

LOCATED IN THE CITY OF MONROVIA
COUNTY OF LOS ANGELES, STATE OF CALIFORNIA

A PORTION OF LOTS 10, 11 AND 12 OF ADDITION NO.1 TO TOWN OF MONROVIA, IN THE CITY OF MONROVIA, COUNTY OF LOS ANGELES, STATE OF CALIFORNIA, AS PER MAP RECORDED IN BOOK 14, PAGE 38, OF MAPS, IN THE COUNTY RECORDER OFFICE OF SAID COUNTY.

APN: 8515-018-041

FOR CONDOMINIUM PURPOSES



PREPARED BY:
JACK LEE
CAL LAND ENGINEERING, INC.
576 E. LAMBERT ROAD,
BREA, CA 92821
TEL: (714) 671-1050
FAX: (714) 671-1090

OWNER:
MXM, INC.
2666 E. HUNTINGTON BLVD.,
DUARTE, CA 91010
TEL: (626) 215-6128

BENCHMARK:
BENCHMARK NO. G 4586

DPW BM TAG IN E CB 1FT S/O BCR @ SE COR
MYRTLE AVENUE AND CHESTNUT AVENUE

ELEVATION: 518.748'

BASIS OF BEARINGS:
CENTER LINE OF IVY AVENUE
BEARING AT N00°01'22"E

EARTHWORK QUANTITIES:
CUT: 130 C.Y.
FILL: 200 C.Y.
IMPORT: 70 C.Y.

UTILITY SERVICES:
WATER - CITY OF MONROVIA
SEWER - CITY OF MONROVIA
GAS - THE GAS COMPANY
ELECTRICAL - SOUTHERN CALIFORNIA EDISON
TELEPHONE - FRONTIER
TRASH - ATHENS DISPOSAL COMPANY

NOTES:
LOT AREA: 16,005 S.F. (0.367 ACRE)
ZONE: RH

NO. OF EXISTING LOTS: 1
NO. OF PROPOSED LOTS: 1
NO. OF PROPOSED UNIT: 6

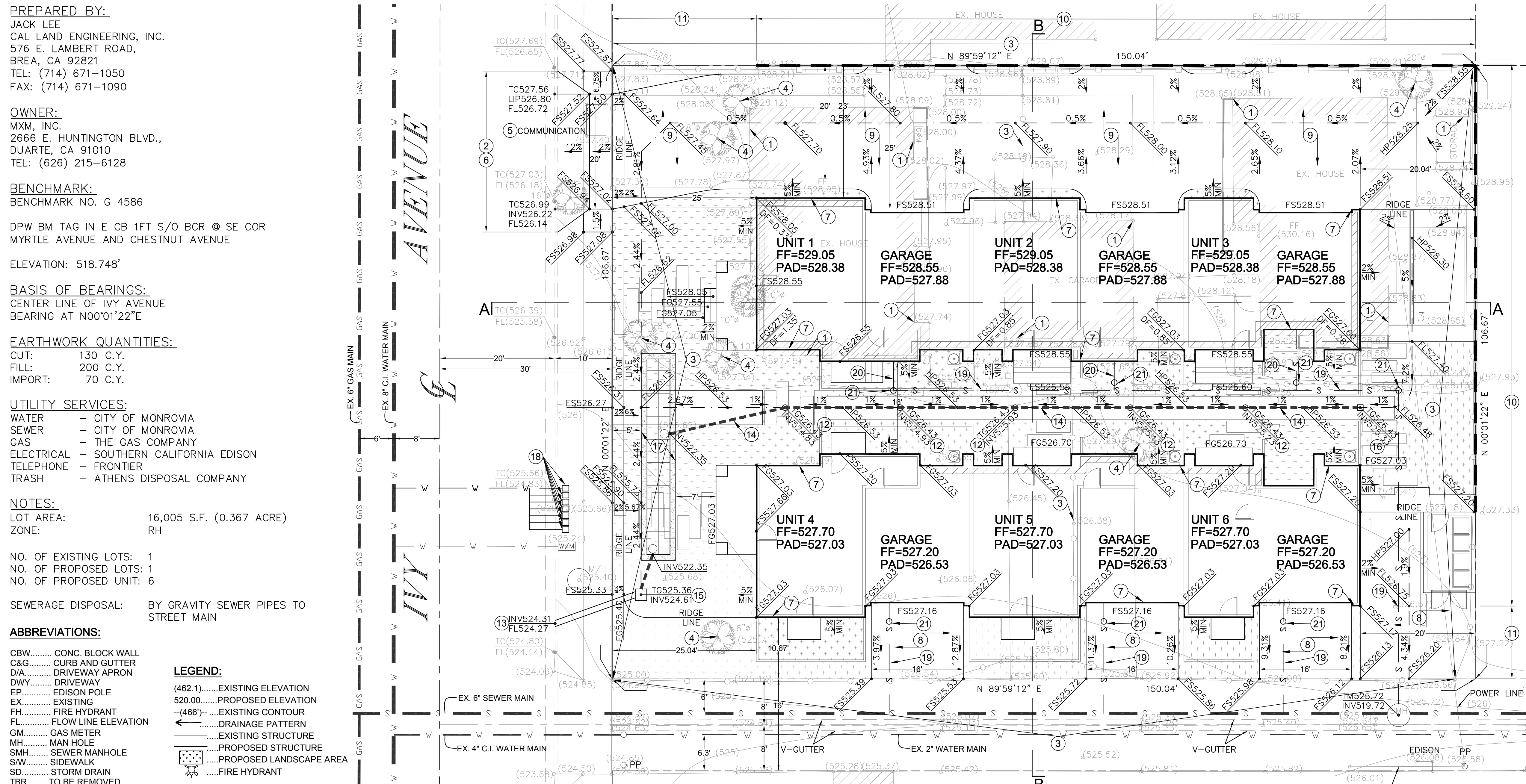
SEWERAGE DISPOSAL: BY GRAVITY SEWER PIPES TO STREET MAIN

ABBREVIATIONS:

CBW..... CONC. BLOCK WALL
C&G..... CURB AND GUTTER
DIA..... DRIVEWAY APRON
DWY..... DRIVEWAY
EP..... EDISON POLE
EX..... EXISTING
FH..... FIRE HYDRANT
FL..... FLOW LINE ELEVATION
GM..... GAS METER
MH..... MAN HOLE
SMH..... SEWER MANHOLE
S/W..... SIDEWALK
SD..... STORM DRAIN
TBR..... TO BE REMOVED
TC..... TOP OF CURB ELEVATION
WF..... WOODEN FENCE
WV..... WATER VALVE
DF..... DEEPEND FOOTING

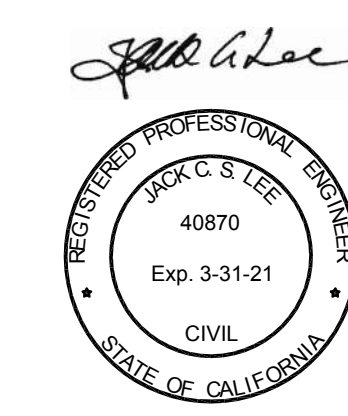
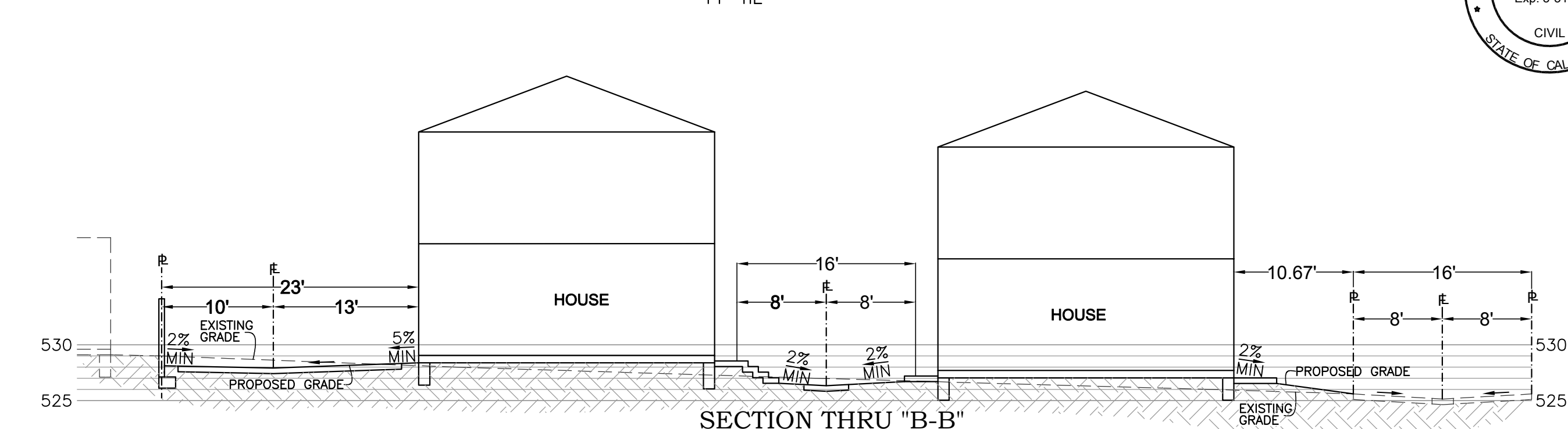
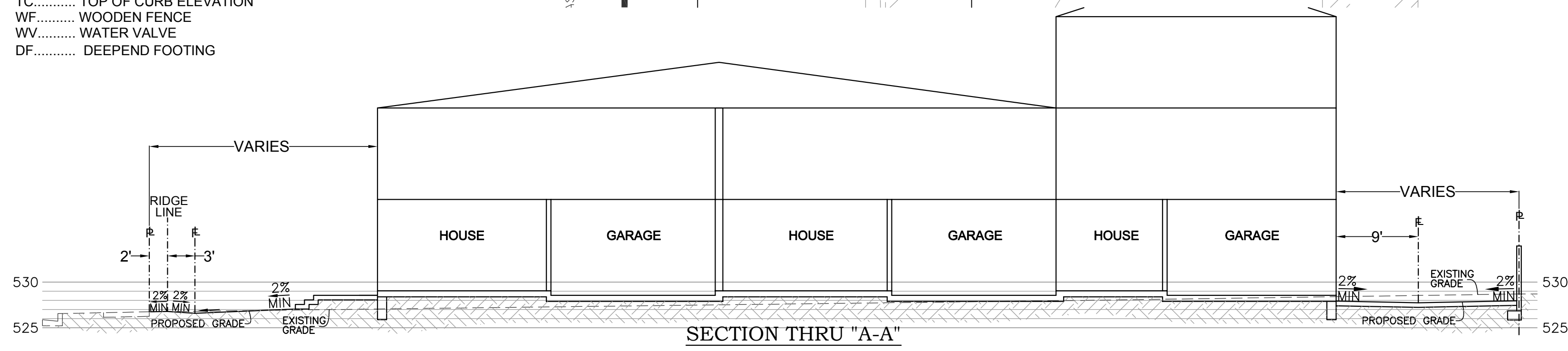
LEGEND:

(462.1).....EXISTING ELEVATION
520.00.....PROPOSED ELEVATION
-(466)-.....EXISTING CONTOUR
.....DRAINAGE PATTERN
.....EXISTING STRUCTURE
.....PROPOSED STRUCTURE
.....PROPOSED LANDSCAPE AREA
.....FIRE HYDRANT



CONSTRUCTION NOTES:

- ① EXISTING BUILDING TO BE REMOVE
- ② EXISTING CURB AND GUTTER TO BE REMOVE
- ③ EXISTING FENCE TO BE REMOVE
- ④ EXISTING TREE TO BE REMOVE
- ⑤ EXISTING UTILITY TO BE RELOCATED
- ⑥ CONSTRUCT NEW DRIVEWAY APPROACH PER CITY STD. 305 (SEPARATE PERMIT REQUIRED)
- ⑦ CONSTRUCT NEW BUILDING PER ARCHITECTURAL PLAN
- ⑧ CONSTRUCT PERVIOUS DRIVEWAY
- ⑨ CONSTRUCT CONCRETE DRIVEWAY
- ⑩ CONSTRUCT 5' MAX HIGH BLOCK WALL ABOVE 1' MAX HIGH RETAINING WALL (SEPARATE PERMIT REQUIRED)
- ⑪ CONSTRUCT 2' MAX HIGH BLOCK WALL ABOVE 1' MAX HIGH RETAINING WALL (SEPARATE PERMIT REQUIRED)
- ⑫ INSTALL 4" AREA DRAIN
- ⑬ CONSTRUCT 4"x12" PARKWAY DRAIN PER SPPWC STD 151-2 (SEPARATE PERMIT REQUIRED)
- ⑭ INSTALL 6" PVC PIPE WITH 0.5% MIN. SLOPE
- ⑮ CONSTRUCT 24" x 24" CATCH BASIN
- ⑯ CONSTRUCT 12" x 12" CATCH BASIN
- ⑰ CONSTRUCT CUDO SYSTEM
- ⑱ INSTALL 6-1" WATER METER FOR DOMESTIC USE AND 1-1" WATER METER FOR IRRIGATION PER CITY STD. 100 (SEPARATE PERMIT REQUIRED)
- ⑲ INSTALL 6" SEWER LATERAL WITH 2% MIN. SLOPE PER CITY STD. 215 (SEPARATE PERMIT REQUIRED)
- ⑳ INSTALL 4" SEWER CONNECTION WITH 2% MIN. SLOPE (SEPARATE PERMIT REQUIRED)
- ㉑ INSTALL 4" SEWER CLEANOUT PER CITY STD. 220 (SEPARATE PERMIT REQUIRED)



CALLAND ENGINEERING, INC.
dba QUARTECH CONSULTANTS
576 E. LAMBERT ROAD, BREA, CA 92821
TEL: (714) 671-1050 FAX: (714) 671-1090

PROJECT LOCATION:
910 S. IVY AVENUE,
MONROVIA, CA 91016

DRAWN: PS
CHECKED: PS
DATE: 12/24/2019
JOB NO.: 18-188-006
SCALE: 1" = 10'
FILE NAME: Tentative Map 3.dwg

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SHEET 1 OF 1