



# PLANNING COMMISSION STAFF REPORT

**APPLICATION:** CUP2020-0002

**AGENDA ITEM:** PH-1

**PREPARED BY:** John Mayer  
Senior Planner

**MEETING DATE:** August 12, 2020

**SUBJECT:** Conditional Use Permit CUP2020-0002  
1701 Alamitas Avenue

**REQUEST:** A Conditional Use Permit to construct two new two-story housing units in the Planned Development Area 11 (PD-11) zone.

**APPLICANT:** Lawrence Chao, Project Architect  
2144 Arcdale Avenue  
Rowland Heights, CA 91748

**ENVIRONMENTAL DETERMINATION:** Categorical Exemption (Class 3 - New Construction)

**BACKGROUND:** The applicant is requesting approval to build two new two-story single family homes on a 19,462 square foot lot. The property is located in the Planned Development – Area 11 (PD-11) zone. This PD area has the feel of a single-family neighborhood while still allowing multiple units on the larger lots. Residential Medium (RM) development standards apply with a density of one unit per 7,500 square feet of land area. Monrovia Municipal Code (MMC) Section 17.12.030(B) requires a Conditional Use Permit (CUP) for the new construction.

**SUBJECT PROPERTY:** The subject site is located on the west side of Alamitas Avenue where it intersects with Fano Street, just north of West Duarte Road. The property is mostly rectangular in shape measuring 77 feet in width and 302 feet in length. The total size of the lot is 19,462 square feet (0.45 acre). It is developed with a single story (2,086 sq. ft.) house that was originally built in 1953; however, the house was completely altered and re-built in 2014 with the appropriate City approvals and building permits. Since the home's reconstruction occurred after the adoption of the demolition review ordinance, it is not considered potentially historic and does not require an evaluation for historic significance prior to its demolition. The remainder of the 19,462 square foot lot is undeveloped and largely not vegetated, except for two mature trees along the rear property line. There is also a vast amount of hardscape on the property including a circular driveway in the front and side yard, and a second driveway that ends at the rear yard.

### ***Site and Surrounding Land Uses***

The surrounding neighborhood is predominately lower density, multi-family with some newer single family homes. There is a Planned Unit Development (PUD), served by a private driveway, immediately to the north of the subject site. This development was completed in 2001 and features two-story Craftsman style homes with attached garages. A majority of the

development to the south and east of the subject site include one-story multi-family buildings and a few two-story apartment complexes.



**Figure 1. Aerial Photo of the Subject Neighborhood.**

The project site is designated Planned Development Area - 11 (PD-11) in the General Plan, which uses the Residential Medium Density (RM) development standards for new housing. This land use designation allows a total maximum Floor Area Ratio (FAR) of 0.35.

The site is surrounded by the following land uses:

**North:**

General Plan: Planned Development - Area 11  
 Zoning: Planned Development - Area 11  
 Land Use: Planned Unit Development (PUD)

**South:**

General Plan: Residential Medium Density  
 Zoning: RM4000 (Residential Medium 4000)  
 Land Use: Single Family and Multi-Family Homes

**East:**

General Plan: Planned Development - Area 11 & Residential Medium/High Density  
 Zoning: Planned Development - Area 11 & RM/RH (Residential Medium/High)  
 Land Use: Single Family and Multi-Family Homes

**West:**

General Plan: Residential Low Density  
 Zoning: RL (Residential Low)  
 Land Use: Single Family Homes

## DISCUSSION/ANALYSIS:

### Site Plan

The applicant is proposing to build two single-family homes on a 19,462 square foot lot. The front house (Unit "A") would be 3,378 square feet in area with a three-car garage. A circular driveway provides vehicular access to Unit A's street-facing garage doors. The rear side of Unit "A" provides 2,100 square feet of recreation space. A driveway along the northern side of the lot directs vehicular access to the rear house (Unit "B"). This driveway leads to a two-car garage and a guest space next to it. The floor area of Unit "B" is 2,989 square feet and provides 4,200 square feet of recreation space in the back yard. Each house would have hidden trash enclosures and air conditioning units within the side yards, but not within the required setback areas. The homes would have approximately 55 feet of distance between them. The architect has included a conceptual landscape plan which may be found on the Site

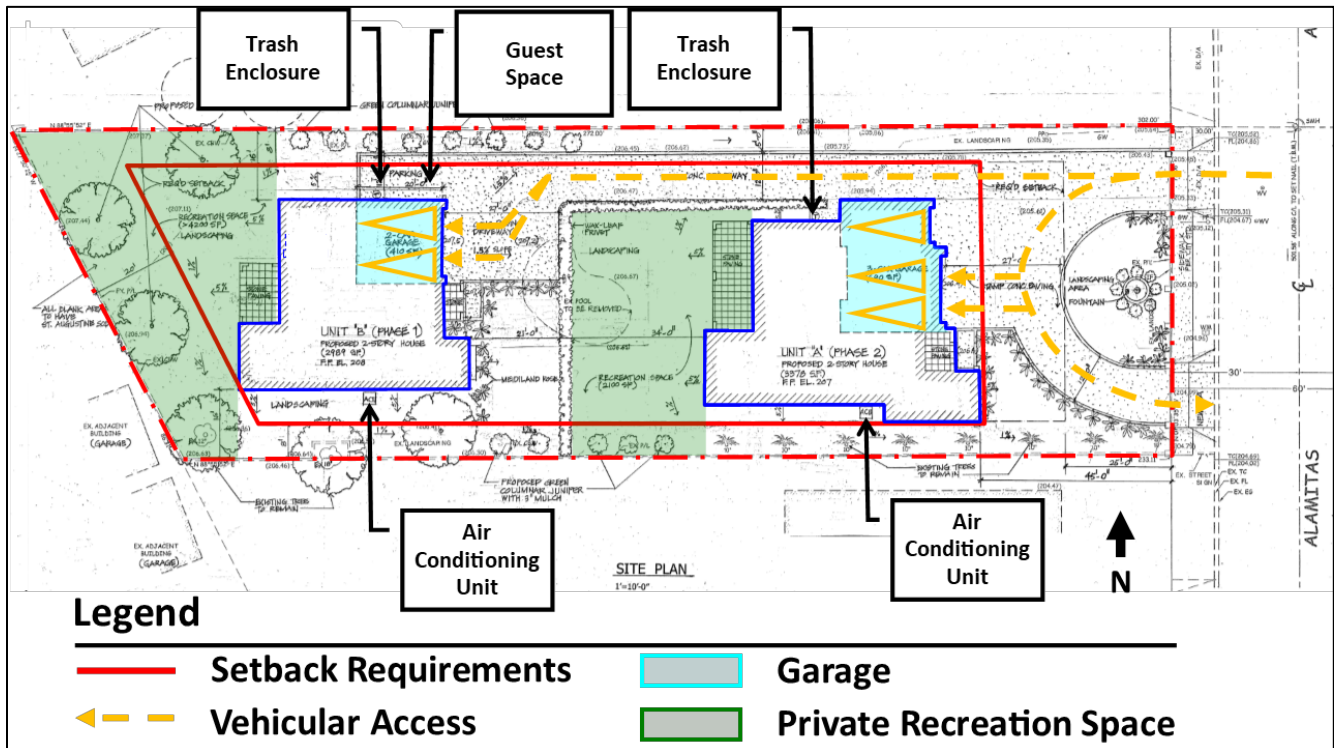


Figure 2. Proposed Site Plan

Plan, Sheet A1. The front yard setback is 45 feet deep as required by the Zoning Code for properties with a circular driveway. The space within the bend of the horseshoe shaped driveway would be turf, shrubs, and a water fountain in the center. The driveway would be paved with stamped concrete. The side yards would remain landscaped with turf and palm trees; however, additional shrubs and trees will be added to the side yards towards the back and along the rear property line. A row of hedges will demarcate the rear yard recreation area of Unit A.

Pursuant to Monrovia Municipal Code Section 17.12.030, the following development standards apply to the proposed project:

**Table 1. Multi-Family Residential Development Standards**

<b>Standard</b>	<b>Requirement</b>	<b>Provided</b>
<i>Density</i>	7,500 s.f. of land per unit	9,731 s.f. of land per unit
<i>Floor Area Ratio</i>	0.35 (Max.)	0.33
<i>Accessory Floor Area Ratio</i>	0.20 (Maximum), or 3,632 s.f.	0.06, or 1,100 s.f.
<i>Maximum Height</i>	27 feet	27 feet (Units "A" and "B")
<i>Front Yard Setback</i>	25 feet, or 45 feet for Circular Driveway	45 feet (Circular Driveway)
<i>Side Yard Setback</i>	10% of Lot Width; 7'-8"	16 feet (North) – Unit B 8 feet (South) – Unit A
<i>Second Story Setback</i>	8 feet	16 feet (North) – Unit B 8 feet (South) – Unit A
<i>Rear Yard Setback</i>	20 feet	20 feet
<i>Building Separation</i>	10 feet (First Story) 15 feet (Second Story)	55 feet
<i>Recreational Space</i>	40% of Gross Dwelling Unit; 2,547 s.f.	Rear Unit: 4,200 s.f. <u>Front Unit: 2,100 s.f.</u> Total: 6,300 s.f.
<i>Parking</i>	2-car garage, plus extra space for units over 2,000 s.f.	Unit A: 3 car garage Unit B: 2 car garage w/ open space

**Floor Plans/Building Elevations**

Each unit is a two-story home with four bedrooms. The front entrance of Unit "A" leads to the kitchen, dining room, great room, a half bathroom, and a library with an attached bathroom and closet. A staircase leads to the second floor where there are four bedrooms, laundry room, and "loft" area. Amenities within the master bedroom include a bathroom, walk-in closet, and a balcony that overlooks the recreation area in the back. Two of the bedrooms share a bathroom while a third bedroom has its own bathroom and a Juliet-style balcony. Unit "B" is smaller, but has a similar configuration as the front unit.

The architectural style of the homes consists of Spanish revival style elements, including: hipped rooflines, asymmetrical facades, each with a squared entrance tower and large focal window, stucco wall surfaces (sand coat finish) with some wood and iron details. The windows would be a bronze color vinyl material; the window sills and top trim detail is made of foam coated with a stucco finish. The garage doors are made of stamped aluminum.

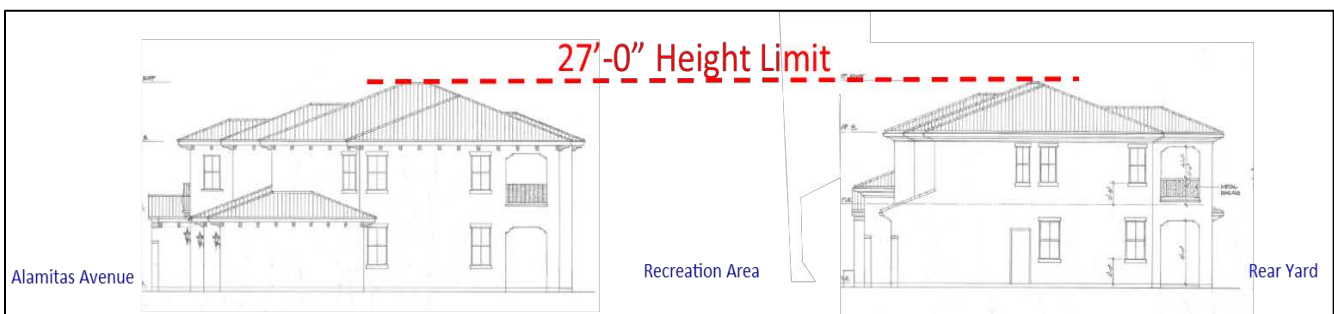
Unit A's street-facing façade would feature wooden corbels under the roof eaves, a wood planked front door, a decorative iron railing around the Juliet-style balcony, and a parabolic-shaped focal window set within a one-story projecting component designed with



distinctive wing walls. Unit B would have a tiered cornice under the roof eaves, a modest arched entry with one angled wing wall, and a focal window with wooden shutters. The buildings' massing (bulk) is broken up with slight projections and recessions of the front wall planes.



**Figure 3. Front Facades of Units A and B**



**Figure 4. North (Driveway) View of Units A and B**

***Development Review Committee Advisory Review***

The DRC meeting format changed temporarily due to the COVID-19 pandemic. Although DRC project reviews and determinations are normally conducted during open public meetings, due to the COVID-19 pandemic the arrangement has been temporarily modified to protect residents, property owners, applicants, staff, and elected officials. This change is in accordance with the “Safer at Home” orders, Executive Order N-29-20, and guidance from the California Department of Public Health on gatherings. To further reduce the spread of COVID-19, all DRC review and determination authority was temporarily delegated to the Community Development Director pursuant to City Council Urgency Ordinance (Ordinance No. 2020-06U).

The City’s Community Development Director, on behalf of the City’s DRC, conducted an “Advisory Review” of the project and made a formal recommendation to the Planning Commission on July 29, 2020. As part of this Advisory Review, Staff sent out a courtesy notice to property owners within 300 feet of the subject property. The courtesy notice was provided to further encourage and allow for public input regarding the project prior to any public hearings. Staff received one e-mail from someone who is not in favor of this new construction, but did not give any specific reasons. No other public concerns were submitted for the July 29, 2020 DRC meeting. The Community Development Director recommended approval of the project on behalf of the DRC. It should be noted here that other departments were given the opportunity to provide feedback on this project during the pre-application review phase.

***Conclusion***

The project is compatible with the character of the surrounding neighborhood, specifically the enclave of newer single family Craftsman-style homes to the north of the project site. The proposed project includes two new homes that are similar in height and present a cohesive architectural style with Spanish revival elements. The building's massing (or bulk) is broken up with some slight projections and recessions of the wall planes. The project also provides adequate floor area and outdoor open spaces for each unit. The entire project fits well within the required front, side, and rear yard setbacks and below the maximum floor area ratio. The project provides three parking spaces for each unit, which will reduce the need for street parking.

The proposed development is subject to the approval requirements of the State's Housing Accountability Act because the development meets or exceeds all of the applicable objective development standards contained within the Monrovia General Plan and the Monrovia Zoning Ordinance, including the density requirements, lot coverage requirements, setback requirements, and the Floor Area Ratio (FAR) requirements.

**RECOMMENDATION:** Staff recommends approval of Conditional Use Permit CUP2020-0002, for two new two-story homes at 1701 Alamitas Avenue. If the Planning Commission concurs with this recommendation then, following the public hearing, the appropriate actions would be:

1. Pursuant to the California Environmental Quality Act ("CEQA") and the City's local CEQA Guidelines, the Planning Commission in the exercise of its independent judgment finds that CUP2020-0002 is categorically exempt from CEQA under Class 3. Class 3 consists of constructing limited numbers of new, small facilities or structures. In urbanized areas, up to three single family residences may be constructed or converted under this exemption.
2. The Planning Commission finds that the custodian of records for all other materials that constitute the record of proceeding upon which this decision is based is the Planning Division Manager. Those documents are available for public review in the Planning Division located at 415 South Ivy Avenue, Monrovia, California, 91016.
3. The Planning Commission, in the exercise of its independent judgment, hereby makes the findings listed on attached Data Sheet No. 3 for CUP2020-0002, which are incorporated herein by this reference.
4. The Planning Commission hereby approves CUP2020-0002, subject to the attached Planning Conditions on Data Sheet No. 1, the Public Works Conditions on Data Sheet No. 2, and recommendations in the Staff Report, all of which are incorporated herein by this reference.

**MOTION:** Approve Conditional Use Permit CUP2020-0002 as presented in the Staff Report.



## **STANDARD CONDITIONS FOR MULTIPLE RESIDENTIAL DEVELOPMENT**

Development of the subject property and operations on the site must remain in substantial conformance at all times with the request, the application forms, and plans associated with CUP2020-0002 for the construction of two new two-story single family homes on a 19,462 square foot lot located at 1701 Alamitas Avenue, submitted by the applicant, as approved by the Planning Commission and placed on file in the office of the Planning Division, except as modified by the conditions imposed by the Planning Commission and by subsequent modifications determined by the Planning Division Manager to be in substantial compliance with the conditions of approval. The term "Applicant" as used herein shall include the applicant, the property developer, and all successors in interest to this conditional use permit.

### **DEVELOPMENT STANDARDS**

1. A final materials board shall be submitted to the Planning Division Manager for review and approval prior to building permit issuance. The final materials board shall include a breakdown by unit of materials to be used and samples/examples of siding, stucco, stone veneers, windows, exterior doors, garage doors, roofing, color schemes and exterior light fixtures.
2. A decorative block perimeter wall shall be constructed and maintained by the Applicant adjacent to the north and side property lines but outside of the front setback area. A decorative block perimeter wall shall be constructed and maintained adjacent to the western rear property line of the development. The perimeter walls must be a minimum of five feet above the subject property's finished grade and a maximum of six feet above the adjacent property's grade, measured in accordance with the Monrovia Municipal Code. The walls shall be installed before building construction begins.
3. All private recreation areas must be enclosed by a five to six foot high decorative block wall or an approved alternative to that material. All proposed fences and walls shall be shown and indicated on the site plan that is submitted to the Building Division for plan check.
4. The Applicant shall make a good faith effort to work with adjacent property owners (that have existing walls/fences) to avoid a double wall condition, and provide a single wall along the project's perimeter. The applicant shall notify by mail all contiguous property owners at least 30 days prior to the removal of any existing walls/fences along the project's perimeter.
5. Two decorative trash enclosures shall be constructed per City specifications and shall be shown and indicated on the submitted site plan.
6. A level concrete patio shall be provided for each unit in the private recreation area and shall be indicated on the grading plan and approved by the Development Review Committee prior to the start of grading.

7. Placement and design of mailboxes shall be reviewed and approved by both the U.S. Postal Service and the Planning Division prior to installation.
8. No roof mounted mechanical equipment shall be permitted.
9. Ground level mechanical equipment shall be placed a minimum of 5' from the interior property lines and shall be completely screened with landscaping. Ground level mechanical equipment shall not be located within the front setback.
10. Electrical power lines, telephone lines, and any other transmission lines (including, without limitation, cable television lines, data transmission lines, communication lines, other utility lines, etc.) to and from the development, and within the development, shall be placed underground and provided to each unit.
11. Placement of any electrical transformer and/or fire standpipe shall be shown on the submitted site plan and shall be reviewed and approved by the Development Review Committee before building permits are obtained.
12. All utilities and structures such as gas meters, electrical meters, and telephone pedestal-mounted terminal boxes, surface mounted electrical transformers, or other potential obstructions shall be noted on the plans with provisions for appropriate screening.
13. Plans showing all exterior lighting shall be submitted to the Planning Division for review prior to building permit issuance and no exterior lighting shall be installed without the approval of the Planning Division Manager. All exterior lighting shall be designed, arranged, and installed so as to confine direct rays onto the premises and to direct light away from adjacent structures.

## **LANDSCAPING**

14. A Landscape and Irrigation Plan prepared by a Landscape Architect shall be submitted to the Planning Division for plan check showing the size, type, and location of all planting areas and shall incorporate the following conditions of approval:
  - a. The side yards shall remain landscaped with the existing turf and trees, including the two mature trees in the rear yard
  - b. Additional Landscaping shall be a combination of 24" and 36" box trees, shrubs, groundcover, and turf.
  - c. All landscaping shall be maintained by a permanent automatic irrigation sprinkler system.
  - d. Any unimproved City right-of-way contiguous with the property shall be landscaped by the Applicant and incorporated into the required landscape plan.
  - e. Landscaping provided along the property lines shall be designed to provide privacy to the adjacent properties, subject to review and approval by the Planning Division Manager.
15. A landscape documentation package pursuant to the requirements of the State Model Water Efficient Landscape Ordinance shall be submitted to the Planning Division for approval prior to landscape construction. A Landscape Certificate of



Completion shall be submitted to the Planning Division at the completion of the installation, prior to a request for a final inspection and Certificate of Occupancy.

## **PARKING**

16. All paved parking and driveway areas shall be surfaced with Portland cement concrete (3-1/2" minimum thickness) or an approved alternative.
17. All driveway surface areas shall incorporate accent treatment throughout the design. Accent treatment shall include stamped concrete or other approved treatment.

## **FIRE DEPARTMENT CONDITIONS**

18. All structures shall be fire sprinklered per NFPA 13D and Monrovia Municipal Code amendments.
19. Smoke alarms shall be provided in each room for sleeping purposes and at a point centrally located in the corridor or area giving access to each separate sleeping area. Smoke alarms shall be installed in accordance with the manufacturers' instructions.
20. Carbon monoxide alarms shall be provided within all sleeping areas.

## **CONSTRUCTION SITE REQUIREMENTS**

21. Provide temporary perimeter fencing with view obscuring material during construction. If graffiti is painted or marked in any way upon the premises or on an adjacent area under the control of the Applicant (including without limitation, any temporary perimeter construction fencing or the permanent wall), the graffiti shall be removed or painted over by Applicant within twenty-four hours, unless any law in effect imposes a shorter time period. Fencing may be removed prior to landscape installation with Planning Division approval.
22. One waterproof sign (36" x 48") in both English and Spanish noting construction hours and a phone number for contact shall be posted at the front of the site prior to grading or construction.

## **GENERAL REQUIREMENTS**

23. In addition to Planning (Data Sheet No. 1) and Public Works (Data Sheet No. 2) conditions of approval, the Applicant shall also comply with all requirements of the Monrovia Municipal Code, Building Division and Fire Department that are directly applicable to the project.
24. This project is subject to the provisions of the City's Public Art Ordinance (MMC §15.44.050), if project development costs exceed one million dollars. The developer shall submit documentation of project costs that is satisfactory to the Community Developer Director prior to the issuance of a certificate of occupancy.
25. Any violation of these conditions of approval or the Monrovia Municipal Code may be subject to the Administrative Fine Ordinance, other available remedies and/or

revocation or modification of this permit at the discretion of the City Attorney and City Prosecutor.

26. The Applicant shall, within 30 days after approval by the Planning Commission, submit to the Community Development Department his/her written consent to all of the conditions of approval contained in Data Sheet Numbers 1 and 2. The Conditional Use Permit (CUP2020-0002) shall be void and of no force or effect unless such written consent is submitted to the City within the 30 day period.
27. The decision of the Commission shall be final, following a ten-day appeal period, unless appealed to the City Council within ten days of the Commission's decision. The use or development to which this major conditional use permit applies must begin within one year after its approval or CUP2020-0002 will expire without further action by the City.
28. All of the above conditions shall be complied with prior to issuance of the Certificate of Occupancy, unless an earlier compliance period is specified as part of a condition.
29. Indemnification. As a condition of approval, Applicant agrees to defend, indemnify, protect and hold harmless the City, its officers, officials, employees, agents and volunteers from and against any and all claims, actions, or proceeding against the City, its officers, officials, employees, agents and/or volunteers to attack, set aside, void or annul, an approval of the City, Planning Commission or City Council concerning these permits and the project. Such indemnification shall include damages, judgments, settlements, penalties, fines, defensive costs or expenses (including, but not limited to, interest, attorneys' fees and expert witness fees), or liability of any kind related to or arising from such claim, action, or proceeding. The City shall promptly notify the Applicant of any claim, action, or proceeding. Nothing contained herein shall prohibit City from participating in a defense of any claim, action or proceeding.



1701 Alamitas Ave.

Two new two-story dwellings with attached garages on single lot

Development shall be subject to the conditions of approval listed below. The term "Applicant" shall include, without limitation, the applicant, the property developer, the property owner, and all subsequent owners of each parcel.

### **Engineering Conditions**

- a) Site Plan showing: survey monuments, boundaries, easements and right-of-ways
  - i) Submit existing site plan, topographic map of the project site, grading, drainage and utility plan to Public Works Department for review and approval. The plans shall indicate existing and proposed structures, miscellaneous facilities if applicable and all utilities applicable within the project site. The plans shall be prepared on a 24" x 36" sheets with City standard title block stamped and signed by a Registered Professional Civil Engineer in the State of California.
  - ii) All site plans, grading plans, drainage plans and street improvement plans shall be coordinated for consistency prior to the issuance of any permits.
- b) Water Improvements
  - i) The Applicant shall install additional water service to Monrovia's water system to serve the new units for domestic and fire usage within the City of Monrovia to the specifications of the City Engineer **or provide calculations for the added capacity of the existing water service.**
  - ii) All water lines within the project site shall be a private systems maintained by the project and not the City of Monrovia's responsibility. The project shall provide adequate backflow at the transition from right of way to the private/public utility easement. The City of Monrovia shall not be responsible for the any utility after the backflow and meters.
  - iii) All backflow devices will be reduced pressure double check valves from the state approved list. Developer/owner will provide testing of all state approved devices prior to operation and on an annual basis. If testing is not provided, city has the right to test at the owner's expense for said testing. If test fails owner shall replace approved device at their cost with approval from city water personnel.
  - iv) The applicant will be responsible for all costs to connect to the City water system and installation of all new fire hydrants off the City system, if required by the Fire Department. The developer shall prepare engineered plans, approved by the City Engineer, and pay for all construction, equipment, testing and inspection for the connections, hydrants and services. These plans to be on separate improvement plans and submitted to Public Works for approval and construction/encroachment permits
  - v) The project water usage and standby charges will be per the newly adopted rate schedule: Monrovia ordinance 2018-01.

c) Waste Water Improvements

- i) If the applicant installs an additional sanitary sewers to serve the development it shall be at the applicant's expense and to the specifications of the City Engineer. If the applicant is to use the existing lateral to the sewer system, the applicant shall CCTV the existing lateral (from the property line to the sewer main connection) for the condition of the lateral and the connection to the main system. If the CCTV indicates that the lateral or the connection need improvements, the applicant shall make the needed improvements at the applicant's cost to the specification of the city engineers.

**ii) The applicant shall provide evidence of payment and approval for connection of sewer units to LA County Waste Water System.**

d) Geotechnical Investigation and Report

- i) Prior to issuance of a grading permit or encroachment permit, Applicant shall provide geotechnical report that addresses earthwork and foundation recommendations, including but not limited to, earthwork, retaining walls and foundation construction adjacent to the existing structures located on the property, pavement structural sections and recommendations. The geotechnical report shall include data regarding the nature, distribution and strengths of existing soils, conclusions and recommendations for grading procedures, design criteria for and identified corrective measures, and opinions and recommendations regarding existing conditions and proposed grading. The report shall also include subsurface geology of the site, degree of seismic hazard if any, conclusions and recommendations regarding the effect of geologic conditions on the proposed development, opinions and recommended design criteria to mitigate any identified geologic hazards including locations of surface and subsurface fault lines in the area as applicable.

e) Hydrology Report and Hydraulic Calculations

None required, based on lot size.

f) Grading Plan

- i) Grading plan shall conform to MMC Chapter 15.28 and be prepared on a 24" x 36" sheets with City title block. Required improvements may be shown on the grading plan along with site drainage.
- ii) Applicant shall provide an analysis and construct required infiltration and/or treatment of storm water from impervious surfaces prior to reaching direct connections leading to the main storm drainage system or street.
- iii) All required mitigation measures identified in the soils engineer's and geologist's reports shall be incorporated into the grading/drainage plans and a made a part thereof.
- iv) Grading plan to provide a scaled detail section at each property line where the project is in cut or fill greater than 0.5 feet. Provide in relation to the adjacent property existing conditions: set back dimensions, retaining wall dimensions and encroachments, ground and finish surface elevations, cut and fill slopes including code setbacks, and direction of flow indicators.

g) Water and Sewer Utility Plan

- i) Applicant shall submit a Water and Sewer Utility Plan showing all proposed utility cuts for services for Water and Sewer. The Composite Utility Plan shall be submitted for approval using the City's template and approved notes prior to issuance of encroachment permits.

- ii) Utility plans including sewer, water, (and gas if applicable), including all abandoned, or to be removed facilities, etc. for the proposed development shall be submitted for review and approval by the City Engineer. Pay all applicable fees for Engineering Division services for issuance of Public Works permits.
  - iii) Applicant shall connect all buildings to the public sewer. All new sewer connections are to be constructed through new or existing lateral(s) (sized per the current plumbing code and engineered calculations, minimum 6 inches) with clean-out(s) at property line per City standard drawing S-215 and S-225. Cap off all abandoned laterals at the connection point from the main line to the satisfaction of the City Engineer. Indicate on the Site/Utility Plan the work to be done by the Applicant.
  - iv) A CCTV video of the existing/proposed sewer lateral connecting to the City mainline is required for the project; a copy of the video shall be submitted to Public Works. Prior to CCTV please notify the Department of Public Works requesting to have the Public Works Inspector on-site to witness the inspection.
  - v) Applicant shall underground all electrical and communication service lines to the new buildings.
- h) Off-site Street Improvement Plans
- i) Applicant shall install Sidewalk along the frontage of this property. The applicant shall replace: curb and gutter, sidewalk, driveway approach or street pavement found by the City Engineer to be broken, uplifted, damaged or not meeting current ADA standards. Construct improvements as required, per City standard drawings to match existing improvements on adjacent properties. All ADA requirements shall be satisfied by the Applicant. These conditions apply on public right-of-way along property frontage.
  - ii) All work such as but not limited to demolition, construction and improvements within the public right-of-way shall be subject to review and approval of the Public Works Department, and will require construction and encroachment permit from the City's Public Works Department, prior to start of any construction. All work within the public right-of-way shall be in accordance with applicable standards of the City of Monrovia, Standard Specifications for Public Works Construction ("Green Book", latest edition) and the Manual on Uniform Traffic Control Devices (MUTCD, latest edition), and further that construction equipment ingress and egress be controlled by a plan approved by the City Engineer.
  - iii) The City requires the restoration of the existing pavement after utility installation. Restoration is required from the outer limits of the area covering and encompassing all the utility cuts as shown on the plans, but actual limits shall be determined out in the field by City Engineer. Restoration of asphalt pavement may be up to 2-inch pavement grind and 2-inch asphalt overlay.
- i) Traffic Engineering Conditions
- i) None required, based on size of project and trip generation.
- j) Environmental Conditions
- i) Based upon the requirements of the City's Storm water Management Ordinance, MMC 12.36 and the Los Angeles County Municipal Storm Water National Pollutant Discharge Elimination System (MS4 NPDES) Permit issued by California Regional Water Quality Control Board, Los Angeles Region, the following shall be incorporated into the project application.
  - ii) The applicant shall be responsible for the following when applicable in the code:

- iii) Minimize impacts from storm water runoff on the biological integrity of natural drainage systems and water bodies in accordance with requirements under the California Environmental Quality Act (California Public Resources Code Section 21100), Section 13369 of the California Water Code, Sections 319, 402(p), and 404 of the Clean Water Act, Section 6217(g) of the Coastal Zone Act Reauthorization Amendments, Section 7 of the Environmental Protection Act, and local governmental ordinances.
- iv) The applicant shall provide in a table on the title sheet of the approved grading plans for the project the following information :
  - (1) The drainage area addressed by the project in Acres
  - (2) The total BMP retention capacity of the project in Acre-Feet
  - (3) The estimated total runoff volume to be retained on-site for a typical year.

k) LOW IMPACT DEVELOPMENT STANDARDS for ALL PROJECTS

All Projects shall develop and implement measures that:

- i) Prevents illicit construction-related discharges of pollutants into the MS4 and receiving waters.
- ii) Implements and maintains structural and non-structural BMPs to reduce pollutants in storm water runoff from construction sites.
- iii) Reduces construction site discharges of pollutants to the MS4 to the Maximum Extent Possible (MEP).
- iv) Prevents construction site discharges to the MS4 from causing or contributing to a violation of water quality standards.
- v) At MINIMUM, all projects shall provide an Erosion and Sediment Control Plan (ESCP) and must address the following elements:
  - (1) Methods to minimize the footprint of the disturbed area and to prevent soil compaction outside of the disturbed area.
  - (2) Methods used to protect native vegetation and trees.
  - (3) Sediment/Erosion Control, including Dust Control at all times.
  - (4) Controls to prevent tracking on and off the site, and street sweeping methods, as needed.
  - (5) Non-storm water controls (e.g., vehicle washing, dewatering, etc.).
  - (6) Materials Management (delivery and storage) including, but not limited to, heavy/unusual traffic, equipment uses, or if worker parking is anticipated off-site or on adjacent streets.
  - (7) Spill Prevention and Response Plan/Controls.
  - (8) Waste Management (e.g., concrete washout/waste management; sanitary waste management).
  - (9) Scheduling: to include disturbance activity dates, expected soil loss, and Risk Level Identification per Appendix 1 of the Construction General Permit.
- vi) The ESCP must include the rationale for the selection and design of the proposed BMPs, Including quantifying the expected soil loss from different BMPs.
- vii) Shall be developed and certified by a Qualified SWPPP Developer (QSD).
- viii) All structural BMPs be designed by a licensed California Engineer.
- ix) Project shall be inventoried and inspected by city as needed based on the evaluation of the factors that are a threat to water quality. In evaluating the threat to water quality, the following factors shall be considered: soil erosion potential; site slope; project size and type; sensitivity of receiving water bodies; proximity to receiving water bodies; non-storm water discharges; past record of noncompliance by the operators of the construction site; and any water quality issues relevant to the particular MS4. (Part VI.8.h.ii. p.116-119)
- x) Final Landscaping/Site Stabilization inspection shall be conducted by city prior to issuance of Certificate of Occupancy. Inspection shall include, but not limited to, all graded areas have reached final stabilization, all trash, debris, and construction materials and temporary BMPs have been removed, post-construction BMPs have been installed per approved plans



and all drainage/MS4 systems remain satisfactory. Signs of obstruction, or strain on any drainage system may require additional applications.

l) Retention requirements

- i) All projects with over 10,000 square feet of impervious area will be subject to NEW DEVELOPMENT/ REDEVELOPMENT PROJECT PERFORMANCE CRITERIA and will be required to control pollutants, pollutant loads, and runoff volume emanating from the project site by:
  - (1) Minimizing the impervious surface area and controlling runoff from impervious surfaces through infiltration, bio-retention and/or rainfall harvest and use.
  - (2) Projects are required to retain 100% of the Stormwater Quality Design Volume (SWQDv) defined as the runoff on site.
  - (3) Early in planning phase the designing engineer shall determine if there is: TECHNICAL INFEASIBILITY, or if there is an OPPORTUNITY FOR REGIONAL GROUND WATER REPLENISHMENT (as these may require LACFCD application, review, and approval).

m) Demolition of Existing Structures

- i) The project demolition activities shall comply with the City's Construction and Demolition Recycling Program (C&D Recycling Program) by filing an application and submitting a deposit to Public Works Environmental Services prior to issuance of permits. Building, demolition, and grading permits will not be issued until the applicant provides the City with the required forms and the waste management plan has been reviewed and approved by the Environmental Services. If the Applicant chooses not to participate in the C&D Recycling Program, then the hauler must be identified on the demolition, building and grading plans.
- ii) Building demolition permit will not be issued until the applicant provides copy of Air Quality Management District (AQMD) permit.

n) As-built Plans

- i) Applicant shall provide to the City of Monrovia revised plans of the original size, on mylar, showing all as-built conditions for the off-site and on-site improvements prior to the final Certificate of Occupancy

Questions or comments: Brad S. Merrell, P E  
City Engineer  
Cell # 760-900-7526  
bmerrell@ci.monrovia.ca.us



## CONDITIONAL USE PERMIT

Pursuant to Monrovia Municipal Code Section 17.52.290, the decision to grant approval of the major conditional use permit (CUP2020-0002) for the construction of two new two-story homes at 1701 Alamitas Avenue is based on the following findings:

- A. The project site is adequate in size, shape and topography for the proposed two new two-story housing development.

*The project site is a 19,462 square foot, mostly rectangular shaped property with a flat topography. The property's dimensions are 302 feet in length (northern side), 233 feet in length (southern side), and 77 feet in width which is sufficient in size and shape to accommodate the two new two-story homes. The project will be constructed within the required front, side, and rear yard setbacks. No variances would be required and the site would be developed below the maximum Floor Area Ratio (F.A.R.).*

- B. The project site has sufficient access to streets and highways, adequate in width and pavement type to carry the quantity and quality of traffic generated by this two-unit development.

*A circular driveway would provide vehicular access from Alamitas Avenue to the front house; a driveway along the northern side of the lot directs vehicular access from Alamitas Avenue to the rear house. The project is not expected to generate a substantial increase in traffic. Alamitas Avenue is connected to West Duarte Road to the south and Fano Street to the north and east. Alamitas Avenue is considered a Local Street in the Circulation Element of the General Plan. Local streets have a capacity of up to 5,000 vehicles per day. Alamitas Avenue is adequate in size to carry the traffic generated by this project.*

- C. The two new two-story homes will be compatible with the General Plan and will not adversely impact the objectives of the General Plan.

*The proposed development project supports the General Plan's objectives through its compatibility with specific goals and policies. Goal Number 3 of the General Plan's Land Use Element is to "preserve the integrity of residential neighborhoods." The project is consistent with Policy 3.1 in that adequate parking is provided on site. The design of the proposed project is consistent with Policy 3.3 in that it blends new medium density development with existing neighborhoods. The proposed development is immediately adjacent to a Planned Units Development (PUD) consisting of nine newer single family, two-story Craftsman-style homes to the north. The proposed homes would blend in with that neighborhood with similar height and massing, with a cohesive Spanish revival architectural style. Goal Number 4 of the Land Use Element is to "promote land use patterns and*

*development which contribute to community and neighborhood identity.” The architectural design and massing of the proposed development is consistent with Policies 4.1 and 4.2. The project was designed to be harmonious with the height and design of other single family homes in the neighborhood. The building's massing (or bulk) is broken up with some slight projections and recessions of the wall planes. Although there is not one design theme for the neighborhood, the project architect incorporated the notable design elements of one comprehensive architectural style.*

- D. The use will comply with the applicable provisions of the Zoning Ordinance.

*The project site is zoned Planned Development - Area 11 (PD-11) and Residential Medium (RM) development standards apply with a density of one unit per 7,500 square feet of land area. The proposed two new, two-story homes meet or exceed all development standards, including density, setbacks, height, parking, and recreation space.*

- E. The proposed location and the conditions under which the use will be operated or maintained will not be detrimental to the public health, safety or welfare, nor will it be materially injurious to properties or improvements in the vicinity.

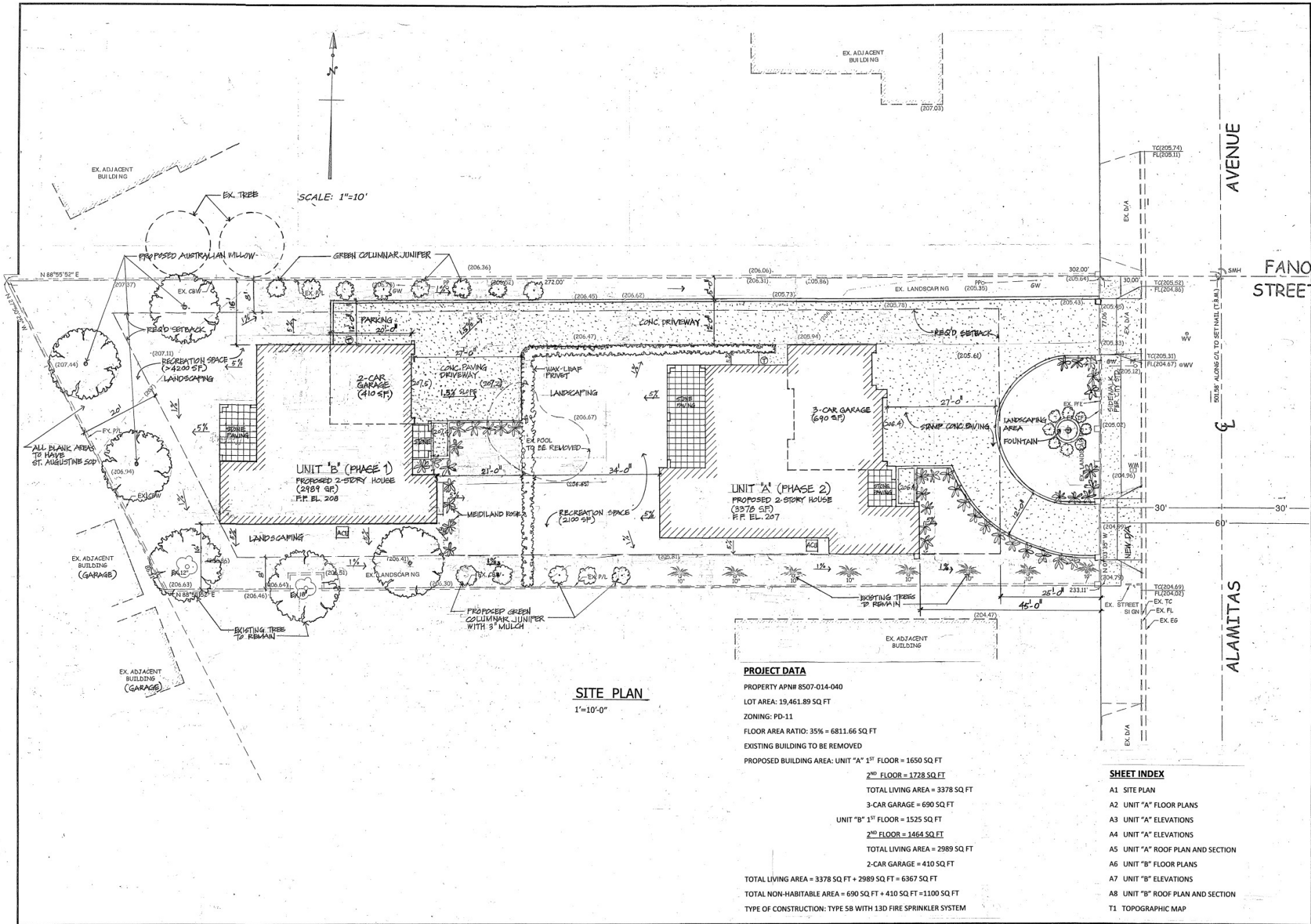
*The proposed location for the two new two-story homes is in a medium density residential area. As such, the maintenance and operation of the proposed use is anticipated and permitted by the General Plan and the Zoning Code. The applicant is subject to the conditions of approval imposed by the City's Community Development Department, Fire Department, and the Public Works Department. Such compliance is necessary prior to obtaining occupancy clearance. Therefore, it would not be detrimental to public health, safety, or welfare. The proposed project would be compatible with the neighborhood context. The neighborhood is developed with similar single family homes.*

- F. The proposed project will not result in the demolition of a residential structure built prior to January 1, 1940 with architectural or know historic value.

*The proposed project will require the complete demolition of a 2,086 square foot one-story house. That house was originally built in 1953; however, it was completely altered and re-built in 2014 with the appropriate City approvals and building permits. Since the home's reconstruction occurred after the adoption of the City's demolition review ordinance, it is not considered potentially historic and does not require an evaluation for historic significance prior to its demolition.*

## **HOUSING ACCOUNTABILITY ACT**

The proposed development is subject to the approval requirements of the state Housing Accountability Act because the development meets or exceeds all of the applicable objective development standards contained within the Monrovia General Plan and the Monrovia Zoning Ordinance, including the density requirements, lot coverage requirements, setback requirements, and the Floor Area Ratio (FAR) requirements.



**SITE PLAN**  
1"=10'-0"

**PROJECT DATA**

PROPERTY APN# 8507-014-040  
 LOT AREA: 19,461.89 SQ FT  
 ZONING: PD-11  
 FLOOR AREA RATIO: 35% = 6811.66 SQ FT  
 EXISTING BUILDING TO BE REMOVED  
 PROPOSED BUILDING AREA: UNIT "A" 1<sup>ST</sup> FLOOR = 1650 SQ FT  
 2<sup>ND</sup> FLOOR = 1728 SQ FT  
 TOTAL LIVING AREA = 3378 SQ FT  
 3-CAR GARAGE = 690 SQ FT  
 UNIT "B" 1<sup>ST</sup> FLOOR = 1525 SQ FT  
 2<sup>ND</sup> FLOOR = 1464 SQ FT  
 TOTAL LIVING AREA = 2989 SQ FT  
 2-CAR GARAGE = 410 SQ FT  
 TOTAL LIVING AREA = 3378 SQ FT + 2989 SQ FT = 6367 SQ FT  
 TOTAL NON-HABITABLE AREA = 690 SQ FT + 410 SQ FT = 1100 SQ FT  
 TYPE OF CONSTRUCTION: TYPE SB WITH 13D FIRE SPRINKLER SYSTEM

**SHEET INDEX**

- A1 SITE PLAN
- A2 UNIT "A" FLOOR PLANS
- A3 UNIT "A" ELEVATIONS
- A4 UNIT "A" ELEVATIONS
- A5 UNIT "A" ROOF PLAN AND SECTION
- A6 UNIT "B" FLOOR PLANS
- A7 UNIT "B" ELEVATIONS
- A8 UNIT "B" ROOF PLAN AND SECTION
- T1 TOPOGRAPHIC MAP

REVISIONS	BY

C P CHAO & ASSOCIATES  
 ARCHITECTS & PLANNERS  
 (626) 215-9208

KHUN'S RESIDENCE  
 1701 ALAMITAS AVE., MONROVIA, CA 91016



Date	
Scale	
Drawn	
Job	
Sheet	
<b>A1</b>	
Of	





UNIT A EAST ELEVATION  
 $\frac{1}{4}'' = 1'-0''$



UNIT A WEST ELEVATION  
 $\frac{1}{4}'' = 1'-0''$

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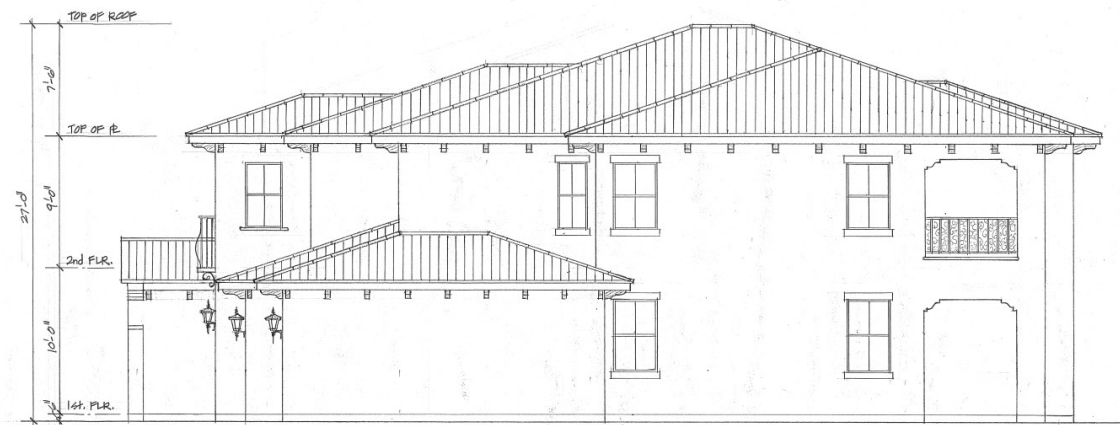
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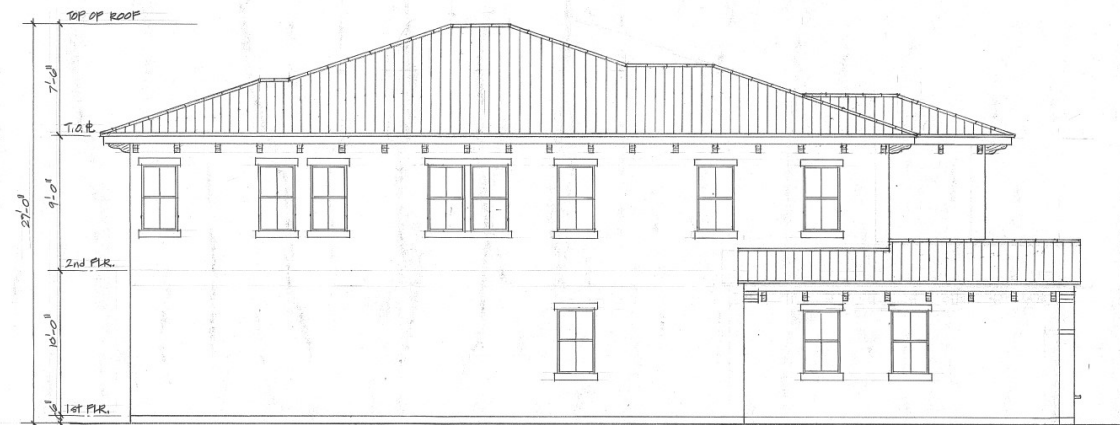
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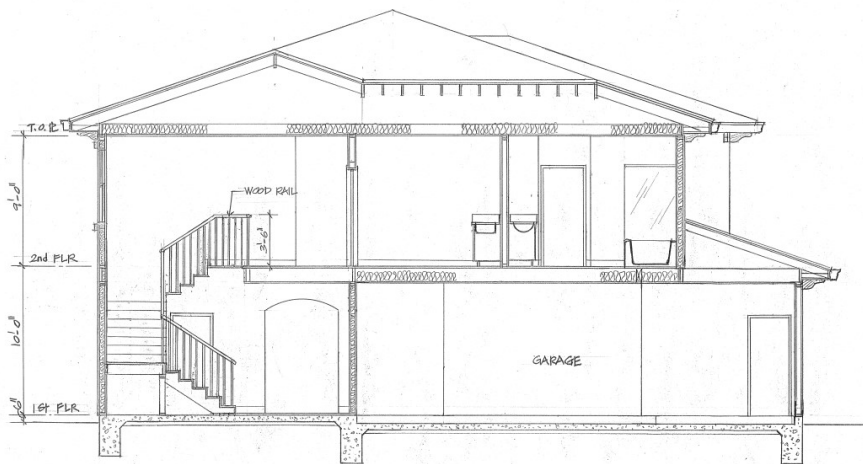
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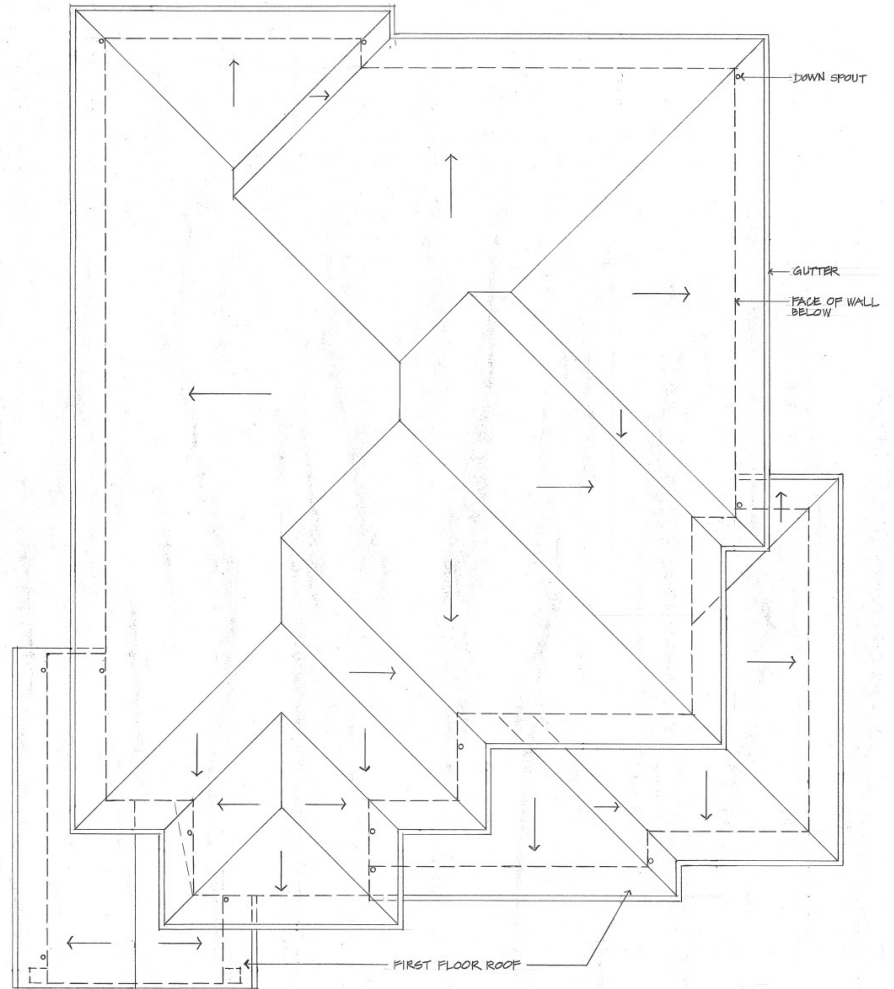
UNIT "A" NORTH ELEVATION  
1/4" = 1'-0"



UNIT "A" SOUTH ELEVATION  
1/4" = 1'-0"



UNIT "A" SECTION "A-A"  
 $\frac{1}{4}'' = 1'-0''$



UNIT "A" ROOF PLAN  
 $\frac{1}{4}'' = 1'-0''$

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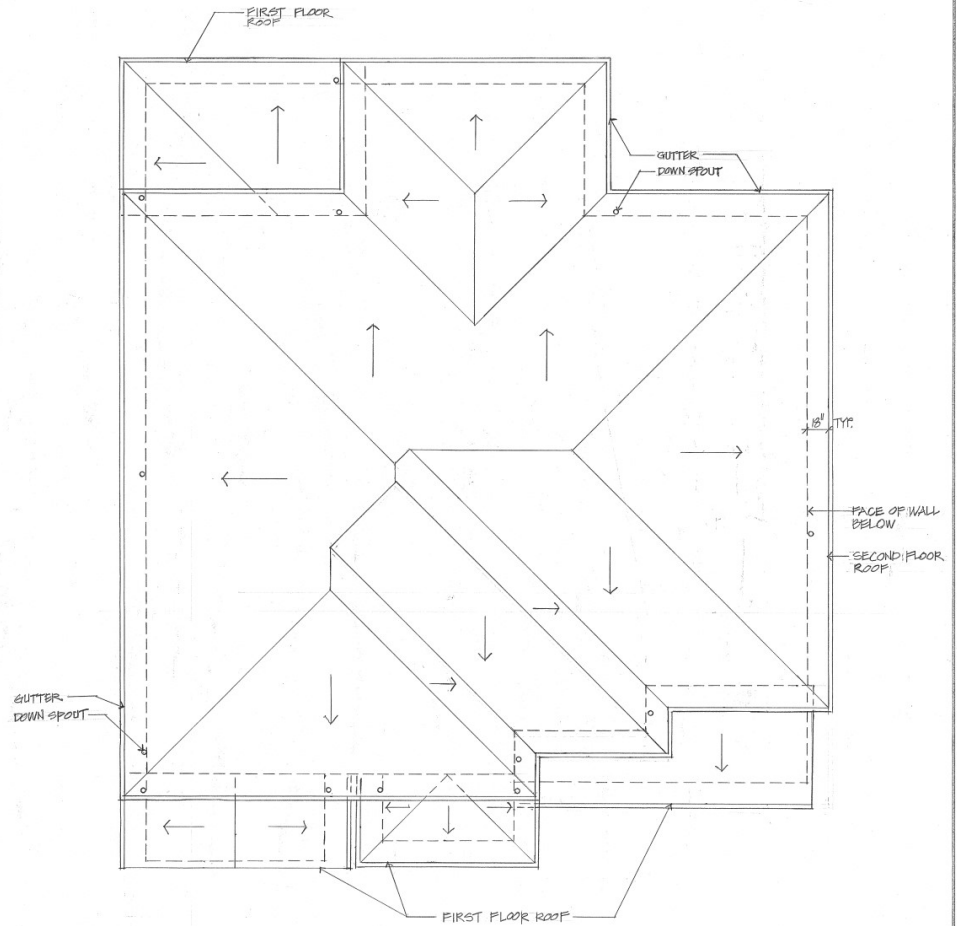
**A5**  
Sheets







UNIT "B" SECTION "B-B"  
 $\frac{1}{4}'' = 1'-0''$



UNIT "B" ROOF PLAN  
 $\frac{1}{4}'' = 1'-0''$

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 1701 ALAMITAS AVE., MONROVIA, CA 91016



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 Of Sheets







**Front House (Unit "A") Facing Alamitas**



**Rear House (Unit "B")**