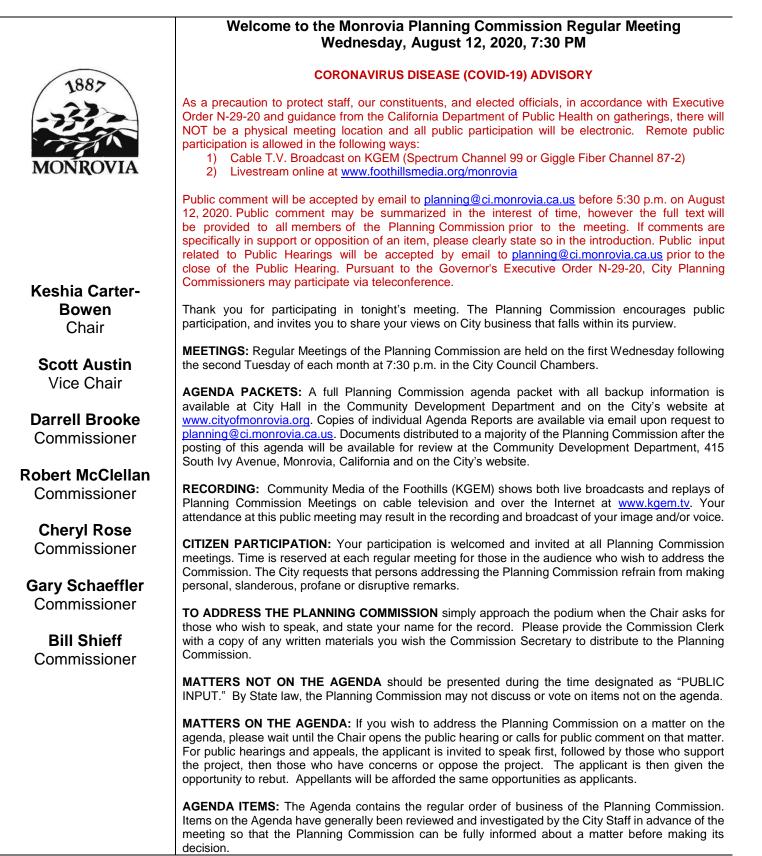
## MONROVIA PLANNING COMMISSION AGENDA

City Council Chambers 415 South Ivy Avenue, Monrovia, California 91016









## AGENDA MONROVIA PLANNING COMMISSION

#### Regular Meeting of the Monrovia Planning Commission Monrovia City Hall 415 South Ivy Avenue Wednesday, August 12, 2020, 7:30 PM

### Pursuant to the Governor's Executive Order N-29-20 Planning Commissioners may participate via teleconference.

Staff reports or other written documentation relating to each proposed item of business on the Agenda presented for consideration by the Planning Commission are on file in the Community Development Department.

- **CONVENE** Chair Carter-Bowen
- <u>ROLL CALL</u> Commission Chair Carter-Bowen, Commissioners Austin, Brooke, McClellan, Rose, Schaeffler, and Shieff

APPROVAL OF MINUTES Unadopted Minutes of the June 17, 2020, Special Meeting

#### PUBLIC INPUT

At this time, citizens who wish to speak on any City business not on the Agenda that is within the purview of the Planning Commission may approach the podium on a first come, first served basis. Please state your name for the record. By State Law, the Commission may not discuss or vote on items not on the Agenda.

#### PUBLIC HEARINGS

#### PH-1 <u>Conditional Use Permit CUP2020-0002</u> 1701 Alamitas Avenue; Lawrence Chao of Chao & Associates, Applicant

**Request:** Approve a Conditional Use Permit to demolish an existing one-story, single family home for the construction of two new, two-story homes on a 19,461 square foot lot located at 1701 Alamitas Avenue. The subject property is located in the PD-11 (Planned Development - Area 11) zone. Determine that the project is Categorically Exempt (Class 3) from the California Environmental Quality Act (CEQA).

Recommendation: Approve Conditional Use Permit CUP2020-0002

#### PH-2 <u>Conditional Use Permit CUP2013-02 (Amendment) Conditional Use Permit CUP2020-0006</u> 1999 and 2015 South Myrtle Avenue; Steven Cardenas of Pacific Plate Brewing Co., Applicant

**Request:** Approve an Amendment to CUP2013-12 to allow a microbrewery (Pacific Plate Brewing Co.) to expand its business operations into an additional unit (2015 South Myrtle Avenue) and modify its hours of operation. The applicant is also requesting a new Conditional Use Permit (CUP2020-0006) to add live entertainment within the tasting room of the new tenant space. This property is located in the PD-16 (Planned Development – Area 16) zone. Determine that the project is Categorically Exempt (Class 1) from the California Environmental Quality Act (CEQA).

# Recommendation: Approve Conditional Use Permit CUP2013-02 (Amendment) and Conditional Use Permit CUP2020-0002

#### PH-3 Ordinance No. 2020-10 Planning Commission Resolution No. 2020-0001 City of Monrovia, Applicant

**Request:** Recommend amendment to the Monrovia Municipal Code, amending regulations pertaining to Accessory Dwelling Units and Junior Accessory Dwelling Units in compliance with State law. Determine that the project is Statutorily Exempt pursuant to Public Resources Code Section 21080.17 and California Code of Regulations Section 15282(h) from the California Environmental Quality Act (CEQA).

Recommendation: Adopt Planning Commission Resolution No. 2020-0001

#### COMMUNITY DEVELOPMENT DIRECTOR REPORT

- Bricks & Mortar: Conflict of Interest Regulations Revised Abstention / Recusal Requirements
- General Plan Housing Element Update

#### **REPORTS/ANNOUNCEMENTS FROM COMMISSIONERS**

#### ADJOURNMENT

<u>NOTE</u>: Decisions of the Planning Commission may be appealed to the City Council if filed in writing to the City Clerk within ten (10) days. (Note: Appeal Fee Required).

I hereby certify, under penalty of perjury under the laws of the State of California that the foregoing Agenda was posted at the front entrance of City Hall not less than 72 hours prior to the meeting. Dated this 6<sup>th</sup> day of August 2020.

Brenda Quezada, Planning Technician