



PLANNING COMMISSION STAFF REPORT

APPLICATION: CUP2020-0010
ME2020-0017

AGENDA ITEM: PH-2

PREPARED BY: John Mayer
Senior Planner

MEETING DATE: December 9, 2020

SUBJECT: Conditional Use Permit CUP2020-0010
Minor Exception ME2020-0017
518 Fano Street

REQUEST: A Conditional Use Permit to build a new two-story housing unit in the Residential Medium/High (RM/RH) zone and a Minor Exception to maintain an 11-foot wide driveway where 12 feet is required.

APPLICANT: Kevin Lee, Project Architect
21308 Pathfinder Road, Suite 204
Diamond Bar, CA 91765

ENVIRONMENTAL DETERMINATION: Categorical Exemption (Class 3 - New Construction)

BACKGROUND: The applicant is requesting approval to build a new two-story home at the rear of a 13,713 square foot lot. The property is located in the Residential Medium High (RM/RH) zone. This designation applies to areas that are primarily developed with a mixture of single family dwellings, duplexes, and small, low-density apartment and condominium complexes. The Residential Medium (RM) development standards allow a density of one unit per 2,500 square feet of lot area on lots less than 15,000 square feet in size. Monrovia Municipal Code (MMC) Section 17.12.030(B) requires a Conditional Use Permit (CUP) for the new construction when development would yield more than two units on a lot. The applicant is also requesting a Minor Exception from MMC Section 17.24.110(C) which requires a 12-foot wide driveway in order to maintain a portion of the existing driveway that is 11 feet wide.

SUBJECT PROPERTY: The subject site is located on the south side of Fano Street between South Mayflower Avenue to the east and Alamitas Avenue to the west. The lot is rectangular in shape measuring 55 feet in width and 249 feet in length. The total size of the lot is 13,713 square feet (0.32 acre) in area. It is currently developed with a single-story (1,338 sq. ft.) house towards the front end of the lot and a two-story (1,848 s.f.) duplex in the middle. The house is served with a two-car detached garage and the duplex has a carport that accommodates two vehicles. The remainder of the lot is undeveloped. There are four trees on the property that will remain; however, none of them are protected under the City's ordinance.

Site and Surrounding Land Uses

The surrounding neighborhood is mostly developed with multi-family and some single family residential uses. A majority of this development consists of two-story multi-family buildings.

The subject site is within close proximity to a small shopping center zoned Neighborhood Commercial which serves the needs of local residents who live nearby. The architectural character of this neighborhood is an eclectic mix of older Minimal Traditional styles, but there are some newer Spanish revival and contemporary styles present.



Figure 1. Aerial Photo of the Subject Neighborhood

The project site is designated Residential Medium/Residential High Density in the General Plan. This land use designation allows low density multiple family structures such as apartments. This property is zoned RM/RH (Multiple-Family Residential) which allows a density of one unit per 2,500 square feet of lot area on properties less than 15,000 square feet in size.

The site is surrounded by the following land uses:

North:

General Plan: Residential Medium/Residential High Density
 Zoning: RM/RH
 Land Use: Single Family and Multi-Family Development

South:

General Plan: Residential High Density
 Zoning: RH
 Land Use: Multi-Family Development

East:

General Plan: Residential Medium/Residential High Density
 Zoning: RM/RH
 Land Use: Single Family and Multi-Family Homes

West:

General Plan: Residential Low Density
 Zoning: RM/RH
 Land Use: Multi-Family Development

DISCUSSION/ANALYSIS:

Site Plan

The applicant is proposing to build a new two-story house on the rear of a 13,713 square foot lot. The front house (Unit 1) and its detached garage will remain. The duplex (Units 2 and 3) will also remain; however, the detached carport will be demolished. The applicant is proposing to build two new garages for the duplex, one on each side of that building. The proposed two-story house (Unit 4) will be located in the rear yard, beyond those buildings and will have its own attached two-car garage. A guest space will be created between the new house and the new two-car garage that serves Unit 3. The existing driveway is nonconforming in width (11' in lieu of 12'). The applicant proposes to maintain the existing driveway to provide vehicular access from Fano Street to all of the parking areas. However, use of a portion of the existing driveway abutting Unit 1 will require a special approval from the Planning Commission which is explained later in this report under the heading, "Minor Exception."

Each of the four units have access to private recreation spaces that are enclosed with new, five foot tall, wooden fences as required by the Zoning Code. Each unit will have private recreation space, directly accessible from each unit. The new two-story house and garages fit within the required rear and side yard setback requirements as shown in Figure 2. The architect's landscape plan mostly consists of lawn. However, a condition of approval (Data Sheet 1, Condition #14) will require landscape improvements including a combination of 24" and 36" box trees, shrubs, groundcover, and turf. Hardscape improvements shall be provided in common areas, specifically the shared driveway. All of the landscape details will require approval from the Planning Division Manager, prior to the issuance of building permits.

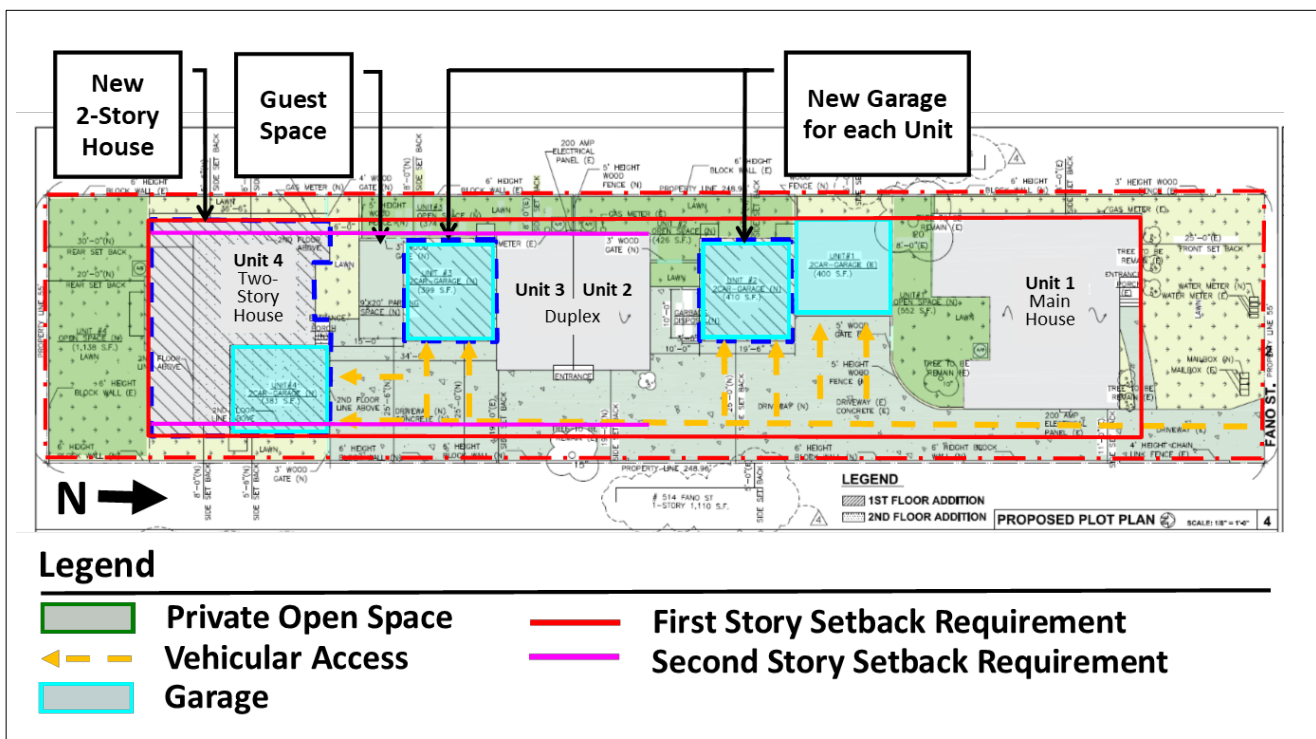


Figure 2. Site Plan

As shown in Table 1.0, the new development meets or exceeds all Zoning Code requirements, in relation to density, building setbacks, building height, recreation space, and parking.

Table 1. Multi-family Residential Development Standards for 518 Fano Street

Standard	Requirement	Provided
<i>Density</i>	Lots < 15,000 s.f. 2,500 s.f. of land per unit Five Units (Maximum)	13,713 s.f. lot 3,428 s.f. of land per unit Four Units
<i>Floor Area Ratio</i>	0.40 (Maximum); 5,485 s.f.	0.39; 5,399 s.f.
<i>Accessory Floor Area Ratio</i>	0.20 (Maximum); 2,743 s.f.	0.12; 1,590 s.f.
<i>Maximum Height</i>	27 feet	22'-5" feet (New Unit 4)
<i>Front Yard Setback</i>	25 feet	25 feet
<i>Side Yard Setback (1st Story)</i>	10% of Lot Width; 5'-6"	5'-6" (East and West Sides) – Unit 4
<i>Side Yard Setback (2nd Story)</i>	8 feet	8'-0" (East and West Sides) – Unit 4
<i>Rear Yard Setback</i>	20 feet	20 feet
<i>Building Separation</i>	10 feet (First Story) 15 feet (Second Story)	15'-0" (Between Unit 4 and Unit 3's Garage) 34'-0" (Between Unit 4 and Existing Duplex)
<i>Recreational Space</i>	At least 40% of each dwelling unit size; Minimum: Unit 1: 536 s.f. Unit 2: 370 s.f. Unit 3: 370 s.f. Unit 4: 885 s.f.	Provided: Unit 1: 552 s.f. Unit 2: 426 s.f. Unit 3: 374 s.f. Unit 4: 1,138 s.f.
<i>Parking</i>	2-car garage, plus extra space for units over 2,000 s.f.	Unit 1: Existing detached 2-car garage Unit 2: New detached 2-car garage Unit 3: New detached 2-car garage Unit 4: New attached 2-car garage, plus 1 open space

Minor Exception

The applicant is proposing to use the existing driveway for vehicular access to the new housing unit and parking areas. According to MMC Section 17.24.110(C), a driveway that serves a multiple-family residential development shall be at least 12 feet wide. However, a portion of the existing driveway is 11 feet wide along the east side of the main house.

The applicant is requesting a Minor Exception in order to keep the 11-foot wide driveway for that particular segment abutting Unit 1 (the front house); the remainder of the driveway is greater than 12 feet wide (see Figure 3). MMC Section 17.52.110(A) allows the Development Review Committee, or the Planning Commission in this case, the power to grant minor exceptions to the development standards in such cases where they are warranted by practical

difficulties, unnecessary hardships or results that may be inconsistent with the general intent of the Zoning Code.

Staff believes that the Minor Exception is warranted in this case due to the practical difficulty of removing a one-foot wide sliver of house abutting the driveway. Since the applicant is not planning any substantial construction work to the front house, it would be an unnecessary hardship to require such demolition and reconstruction only to gain an additional 12 inches of driveway width. The granting of this Minor Exception would be consistent with the general intent of the code in that the 11 feet wide portion of the driveway allows adequate vehicular access to the new unit and parking areas on the property. Staff has confirmed with the Fire Department that the existing width of the driveway will not conflict with emergency access to the development.

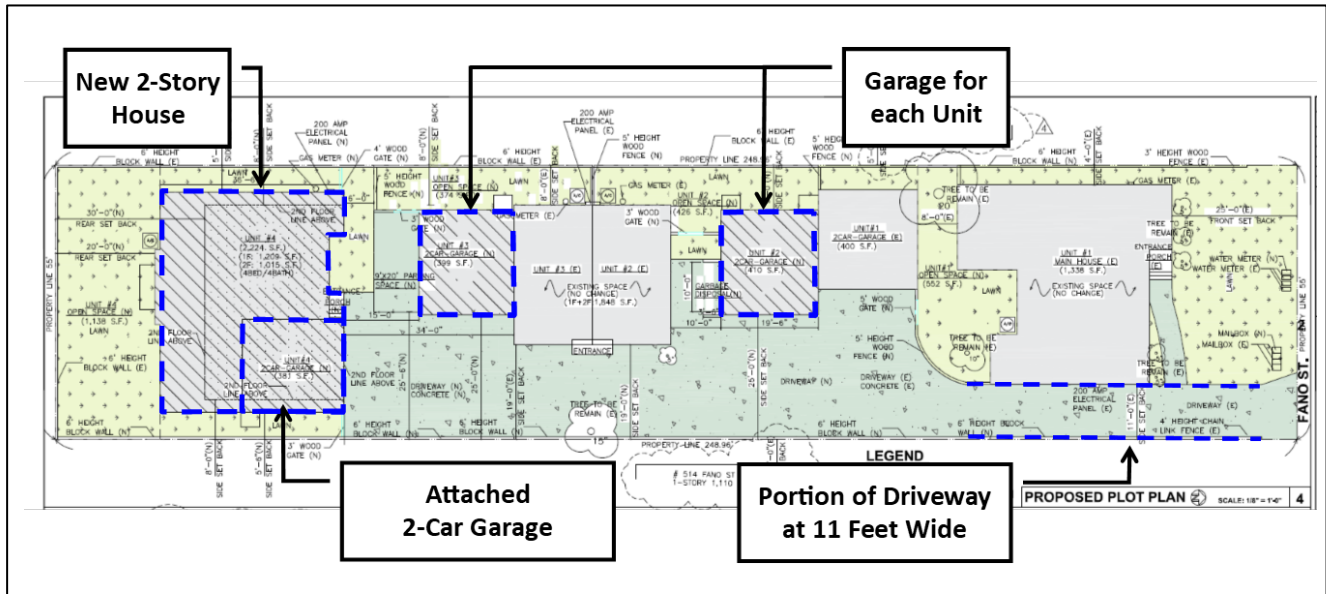


Figure 3. Minor Exception

Floor Plans/Building Elevations

The proposed two-story home has four bedrooms. The front entrance leads to the kitchen and dining room with access to the two-car garage, followed by a living room, and two bedrooms (one is the master bedroom with private bathroom). The first floor also includes a full bathroom and a small alcove under the staircase for a laundry room. The staircase leads up to the second floor where there are two bedrooms (one with a private bathroom), a half bathroom, and loft area where there is a piano room and study. The second floor loft also features access to a 63 square foot balcony with views to the north.

The architectural style of the new house consists of modern style elements, including: hipped rooflines, large window openings, and smooth cement plaster siding. All of the windows are vinyl framed units. The front windows feature thick wood surrounds. The garage door and the second floor balcony railing proposes a combination of steel and glass. Although not required, the second floor is stepped back from the first floor by ten feet on the back side of the house.

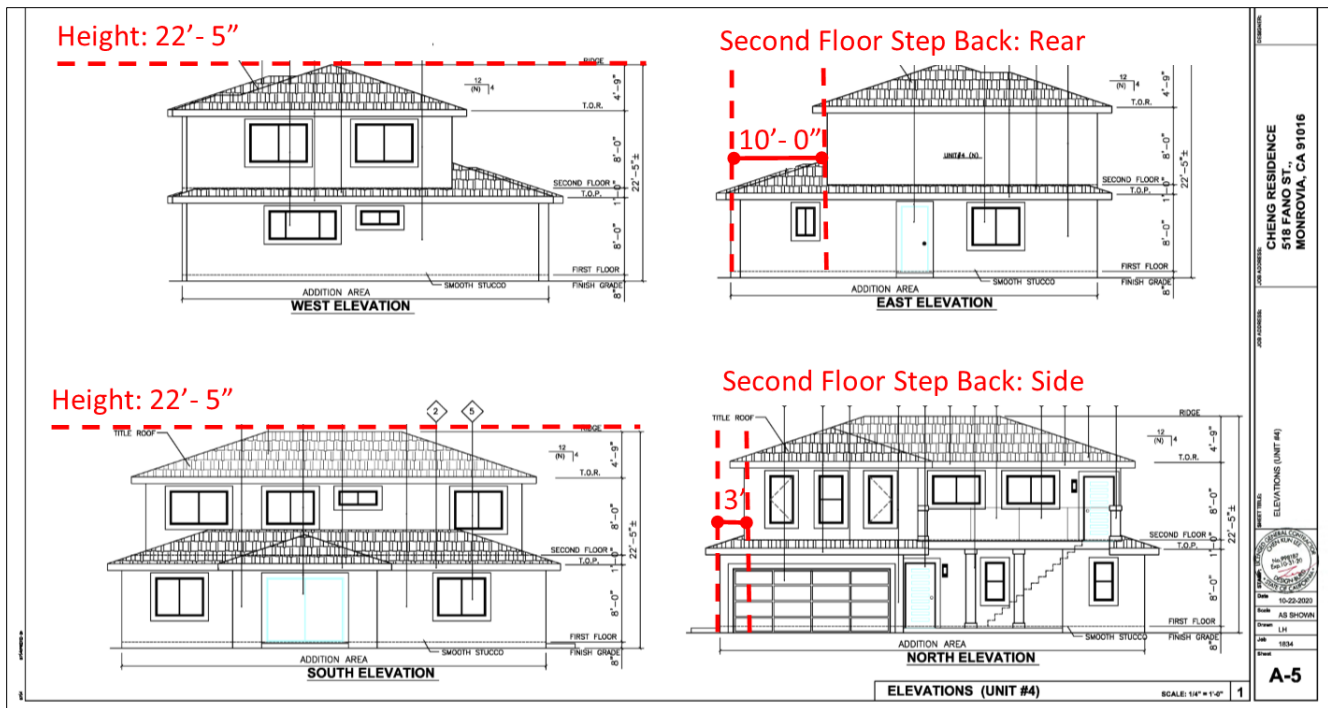


Figure 4. Elevations

Development Review Committee Advisory Review

The DRC meeting format changed temporarily due to the COVID-19 pandemic. Although DRC project reviews and determinations are normally conducted during open public meetings, due to the COVID-19 pandemic the arrangement has been temporarily modified to protect residents, property owners, applicants, staff, and elected officials. This change is in accordance with the “Safer at Home” orders, Executive Order N-29-20, and guidance from the California Department of Public Health on gatherings. To further reduce the spread of COVID-19, all DRC review and determination authority was temporarily delegated to the Community Development Director pursuant to City Council Urgency Ordinance (Ordinance No. 2020-06U).

The City’s Community Development Director, on behalf of the City’s DRC, conducted an “Advisory Review” of the project and made a formal recommendation to the Planning Commission on November 18, 2020. As part of this Advisory Review, Staff sent out a courtesy notice to property owners within 300 feet of the subject property. The courtesy notice was provided to further encourage and allow for public input regarding the project prior to any public hearings. Staff received one e-mail from someone who is in favor of this new construction because it increases the supply of housing. No public concerns were submitted for the November 18, 2020 DRC meeting. The Community Development Director recommended approval of the project on behalf of the DRC. It should also be noted here that other departments were given the opportunity to provide feedback on this project during the pre-application review phase.

The Director also recommended a condition that requires façade improvements to the existing two buildings on the property so that they will be more consistent with the design quality of the new housing unit (Data Sheet 1, Condition #13).

Conclusion

The project is compatible with the character of the surrounding neighborhood. The proposed project includes a new two-story house that is similar in height to the existing duplex on the property and adjacent properties. The conditions of approval will require some upgrades to the

existing buildings so that the entire property exhibits a cohesive appearance. Other than the Minor Exception for the driveway width, the project meets all of the Zoning Code requirements. The project also updates the parking requirements so that all four units have access to a two-car garage and one guest space. Each unit is provided with adequate outdoor open spaces. The entire project fits well within the required front, side, and rear yard setbacks and below the maximum floor area ratio.

The proposed development is not subject to the approval requirements of the State's Housing Accountability Act because the development does not meet one of the applicable objective development standards. Although the project meets most of the development standards contained within the Monrovia General Plan and the Monrovia Zoning Ordinance, including the density requirements, lot coverage requirements, setback requirements, and the Floor Area Ratio (FAR) requirements, it does not meet the minimum driveway width requirement.

RECOMMENDATION: Staff recommends approval of Conditional Use Permit CUP2020-0010, for the new two-story home at 518 Fano Street and the request for a Minor Exception ME2020-0017 to allow an 11-foot wide driveway. If the Planning Commission concurs with this recommendation then, following the public hearing, the appropriate actions would be:

1. Pursuant to the California Environmental Quality Act ("CEQA") and the City's local CEQA Guidelines, the Planning Commission in the exercise of its independent judgment finds that CUP2020-0010 is categorically exempt from CEQA under Class 3. Class 3 consists of constructing limited numbers of new, small facilities or structures. In urbanized areas, up to three single family residences may be constructed or converted under this exemption.
2. The Planning Commission finds that the custodian of records for all other materials that constitute the record of proceeding upon which this decision is based is the Planning Division Manager. Those documents are available for public review in the Planning Division located at 415 South Ivy Avenue, Monrovia, California, 91016.
3. The Planning Commission, in the exercise of its independent judgment, hereby makes the findings listed on attached Data Sheet No. 3 for CUP2020-0010, which are incorporated herein by this reference.
4. The Planning Commission hereby approves CUP2020-0010 and ME2020-0017, subject to the attached Planning Conditions on Data Sheet No. 1, the Public Works Conditions on Data Sheet No. 2, and recommendations in the Staff Report, all of which are incorporated herein by this reference.

MOTION: Approve Conditional Use Permit CUP2020-0010 and Minor Exception ME2020-0017 as presented in the Staff Report.



STANDARD CONDITIONS FOR MULTIPLE RESIDENTIAL DEVELOPMENT

Development of the subject property and operations on the site must remain in substantial conformance at all times with the request and application forms and plans, CUP2020-0010 and ME2020-0017, for a new two-story housing unit in the Residential Medium/High (RM/RH) zone and a Minor Exception to maintain an 11-foot wide driveway where 12 feet is required submitted by the applicant, as approved by the Planning Commission and placed on file in the office of the Planning Division, except as modified by the conditions imposed by the Planning Commission and by subsequent modifications determined by the Planning Division Manager to be in substantial compliance with the conditions of approval. The term "Applicant" as used herein shall include the applicant, the property developer and all successors in interest to this conditional use permit.

DEVELOPMENT STANDARDS

1. A final materials board shall be submitted to the Planning Division Manager for review and approval prior to building permit issuance. The final materials board shall include a breakdown by unit of materials to be used and samples/examples of siding, stucco, stone veneers, windows, exterior doors, garage doors, roofing, color schemes and exterior light fixtures.
2. A decorative block wall shall be provided by the Applicant adjacent to the east, west, and south property lines but outside of the front setback area. The property line wall must be a minimum of five feet above the subject property's finished grade and a minimum of five feet and a maximum of six feet above the adjacent property's grade, measured in accordance with the Monrovia Municipal Code. The wall shall be installed before building construction begins. Applicant shall work with the adjacent property owner to the west to ensure that proper security is in place at all times during wall construction.
3. All private recreation areas must be enclosed by 5' to 6' high wood fence or approved alternative. All proposed fences shall be shown and indicated on the submitted site plan.
4. The Applicant shall make a good faith effort to work with adjacent property owners (that have existing walls/fences) to avoid a double wall condition, and provide a single wall along the project's perimeter. The applicant shall notify by mail all contiguous property owners at least 30 days prior to the removal of any existing walls/fences along the project's perimeter.
5. An area for storage of individual trashcans shall be provided on a paved surface and screened and shall be shown and indicated on the submitted site plan.

6. The open parking space shall be used solely for the storage of personal vehicles. No storage of boxes, equipment, furniture or any other items shall be allowed in the open parking space.
7. Placement and design of mailboxes shall be reviewed and approved by both the U.S. Postal Service and the Planning Division prior to installation.
8. No roof mounted mechanical equipment shall be permitted.
9. Ground level mechanical equipment shall be placed a minimum of 5' from the interior property lines and shall be completely screened with landscaping. Ground level mechanical equipment shall not be located within the front setback.
10. Electrical power lines, telephone lines, and any other transmission lines (including, without limitation, cable television lines, data transmission lines, communication lines, other utility lines, etc.) to and from the development, and within the development, shall be placed underground and provided to each unit.
11. All utilities and structures such as gas meters, electrical meters, telephone pedestal-mounted terminal boxes, surface mounted electrical transformers, or other potential obstructions shall be noted on the plans with provisions for appropriate screening.
12. Plans showing all exterior lighting shall be submitted to the Planning Division for review prior to building permit issuance and no exterior lighting shall be installed without the approval of the Planning Division Manager. All exterior lighting shall be designed, arranged, and installed so as to confine direct rays onto the premises and to direct light away from adjacent structures.
13. The front structures (single family house) and the duplex structure shall be remodeled to include new paint and color scheme to match the new unit on the property and a newly designed covered entrance to the duplex structure, subject to review and approval by City Staff.

LANDSCAPING

14. Landscaping over the entire site shall be improved. A Landscape and Irrigation Plan prepared by a Landscape Architect shall be submitted to the Planning Division for plan check showing the size, type, and location of all planting areas and the following conditions of approval:
 - a. Landscaping shall be a combination of 24" and 36" box trees, shrubs, groundcover, and turf.
 - b. All landscaping shall be maintained by a permanent automatic irrigation sprinkler system.
 - c. Any unimproved City right-of-way contiguous with the property shall be landscaped by the Applicant and incorporated into the required landscape plan.
 - d. Hardscape improvements shall be provided in common areas.
 - e. Landscaping provided along the property lines shall be designed to provide privacy to the adjacent properties, subject to review and approval by the Planning Division Manager.

15. A landscape documentation package pursuant to the requirements of the State Model Water Efficient Landscape Ordinance shall be submitted to the Planning Division for approval prior to landscape construction. A Landscape Certificate of Completion shall be submitted to the Planning Division at the completion of the installation, prior to request for a final inspection and Certificate of Occupancy.

PARKING

16. All paved parking and driveway areas shall be surfaced with Portland cement concrete (3-1/2" minimum thickness) or approved alternative.

CONSTRUCTION SITE REQUIREMENTS

17. Provide temporary perimeter fencing with view obscuring material during construction. If graffiti is painted or marked in any way upon the premises or on an adjacent area under the control of the Applicant (including without limitation, any temporary perimeter construction fencing or the permanent wall), the graffiti shall be removed or painted over by Applicant within twenty-four hours, unless any law in effect imposes a shorter time period. Fencing may be removed prior to landscape installation with Planning Division approval.
18. One waterproof sign (36" x 48") in both English and Spanish noting construction hours and a phone number for contact shall be posted at the front of the site prior to grading or construction.

GENERAL REQUIREMENTS

19. In addition to Planning (Data Sheet No. 1) conditions of approval the Applicant shall also comply with all requirements of the Monrovia Municipal Code, Building Division and Fire Department that are directly applicable to the project.
20. Any violation of these conditions of approval or the Monrovia Municipal Code may be subject to the Administrative Fine Ordinance, other available remedies and/or revocation or modification of this permit at the discretion of the City Attorney and City Prosecutor.
21. The Applicant shall, within 30 days after approval by the Planning Commission, submit to the Community Development Department his/her written consent to all of the conditions of approval contained in Data Sheet Number 1. The Conditional Use Permit 2017-08 shall be void and of no force or effect unless such written consent is submitted to the City within the 30 day period.
22. The development associated with this Conditional Use Permit shall begin within one (1) year after its approval or it will expire without further action by the City.
23. All of the above conditions shall be complied with prior to issuance of the Certificate of Occupancy, unless an earlier compliance period is specified as part of a condition.
24. Indemnification. As a condition of approval, Applicant agrees to defend, indemnify, protect and hold harmless City, its officers, officials, employees, agents and volunteers from and against any and all claims, actions, proceedings, losses, fines, penalties, judgments, settlements, defensive costs or expenses (including but not

limited to, interest, expert witness fees and attorneys' fees), liabilities, damages or injuries, in law or equity, to persons or property, including wrongful death (collectively "Claims"), arising out of, attributable to, or relating to (i) the granting of CUP2019-0017 and the granting of any permits for grading, building or any other activity on the property arising out of or relating to the relating to the construction of the proposed project on the property (the "Permits"), (ii) the work performed pursuant to the Permits, or (iii) any earth movement, erosion, earthquake, liquefaction, landslide, lateral displacement, vertical displacement, sloughing, slippage, settlement or any other cause on the subject property, whether related to the Permits or not, including but not limited to, Claims asserted by third parties and adjoining property owners, property owners' guests, invitees, tenants, successors in interest and permittees; provided, however, the Applicant will not be responsible for those Claims caused by the willful misconduct or sole negligence of the City, its officers, officials, employees, agents or volunteers. Nothing contained herein shall prohibit City from participating in a defense of any claim, action or proceeding. The City shall have the option of coordinating the defense, including, but not limited to, choosing counsel for the defense at Applicant's expense.

25. Additional Indemnification. Further, as a condition of approval, Applicant agrees to defend, indemnify, protect and hold harmless City, its officers, officials, employees, agents and volunteers from and against any and all claims, actions, or proceeding against the City, its officers, officials, employees, agents and/or volunteers to attack, set aside, void or annul, an approval of the City, Planning Commission or City Council concerning this permit and the project. Such indemnification shall include damages, judgments, settlements, penalties, fines, defensive costs or expenses (including, but not limited to, interest, attorneys' fees and expert witness fees), or liability of any kind related to or arising from such claim, action, or proceeding. The City shall promptly notify the Applicant of any claim, action, or proceeding. Nothing contained herein shall prohibit City from participating in a defense of any claim, action or proceeding. The City shall have the option of coordinating the defense, including, but not limited to, choosing counsel for the defense at Applicant's expense.



DATA SHEET 2

Public Works Conditions

CUP2020-0010
ME-2020-0017

518 Fano Street
New two story unit with detached garages
behind existing 3-unit complex on one lot

Development shall be subject to the conditions of approval listed below. The term "Applicant" shall include, without limitation, the applicant, the property developer, the property owner, and all subsequent owners of each parcel.

Engineering Conditions

a) Site/Grading Plan showing: survey monuments, boundaries, easements and right-of-ways

- Submit existing site plan, topographic map of the project site, grading, drainage and utility plan to Public Works Department for review and approval. The plans shall indicate existing and proposed structures, miscellaneous facilities if applicable and all utilities applicable within the project site. The plans shall be prepared on a 24" x 36" sheets with City standard title block stamped and signed by a Registered Professional Civil Engineer in the State of California.
- All site plans, grading plans, drainage plans and street improvement plans shall be coordinated for consistency prior to the issuance of any permits.

b) Water Improvements

- If the development needs new water services, the Applicant shall design and install needed services to Monrovia's water system for domestic and fire usage to the specifications of Public Works and approved by the City Engineer.
- All water lines within the project site shall be a private systems maintained by the project and not the City of Monrovia's responsibility. The project shall provide adequate backflow at the transition from right of way to the private/public utility easement. The City of Monrovia shall not be responsible for any utility after the backflow and meters.
- All backflow devices will be reduced pressure double check valves from the state approved list. Developer/owner will provide testing of all state approved devices prior to operation and on an annual basis. If testing is not provided, city has the right to test at the owner's expense for said testing. If test fails owner shall replace approved device at their cost with approval from city water personnel.
- The applicant will be responsible for all costs to connect to the City water system and installation of all new fire hydrants off the City system, if required by the Fire Department. The developer shall prepare engineered plans, approved by the City Engineer, and pay for all construction, equipment, testing and inspection for the connections, hydrants and services. These plans to be on separate improvement plans and submitted to Public Works for approval and construction/encroachment permits
- The project water usage and standby charges will be per the newly adopted rate schedule: Monrovia ordinance 2018-01).

c) Waste Water Improvements

- If the development need new sewer connections, the Applicant shall design and install additional sanitary sewers and/or use existing laterals to Monrovia's sewer system to serve the development to the specifications of Public Works and approved by the City Engineer.
- **The applicant shall provide evidence of payment and approval for connection of sewer units to LA County Waste Water System prior Certificate of Occupancy**

d) Geotechnical Investigation and Report

- Prior to issuance of a grading permit or encroachment permit, Applicant shall provide geotechnical report that addresses earthwork and foundation recommendations, including but not limited to, earthwork, retaining walls and foundation construction adjacent to the existing structures located on the property, pavement structural sections and recommendations. The geotechnical report shall include data regarding the nature, distribution and strengths of existing soils, conclusions and recommendations for grading procedures, design criteria for and identified corrective measures, and opinions and recommendations regarding existing conditions and proposed grading. The report shall also include subsurface geology of the site, degree of seismic hazard if any, conclusions and recommendations regarding the effect of geologic conditions on the proposed development, opinions and recommended design criteria to mitigate any identified geologic hazards including locations of surface and subsurface fault lines in the area as applicable.

e) Hydrology Report and Hydraulic Calculations

None required, based on lot size.

f) Grading Plan

- Grading plan shall conform to MMC Chapter 15.28 and be prepared on a 24" x 36" sheets with City title block. Required improvements may be shown on the grading plan along with site drainage.
- Applicant shall provide an analysis and construct required infiltration and/or treatment of storm water from impervious surfaces prior to reaching direct connections leading to the main storm drainage system or the city street.
- All required mitigation measures identified in the soils engineer's and geologist's reports shall be incorporated into the grading/drainage plans and a made a part thereof.
- Grading plan to provide a scaled detail section at each property line where the project is in cut or fill greater than 0.5 feet. Provide in relation to the adjacent property existing conditions: set back dimensions, retaining wall dimensions and encroachments, ground and finish surface elevations, cut and fill slopes including code setbacks, and direction of flow indicators.
- ***Site drainage shall be mitigated with gravity drainage systems. The use of sump pumps and pressure systems is discouraged. If a sump pump/pressure system is proposed, a backup underground storage and percolation system is required to hold the one hour point rainfall of a 100 year storm event times the entire surface area draining to the sump location.***

g) Utility Coordination Plan

- Applicant shall submit a utility plan showing all proposed utility cuts for services such as Water, Sewer, Fire Department Stand Pipe, Gas, Edison, Telephone, Cable TV, etc. The Utility plan shall be submitted and approved prior to issuance of grading permits. Private utility plans including sewer, water, gas, including all abandoned, or to be removed facilities, etc. for the proposed development shall be submitted for review and approval by the City Engineer. Pay all applicable fees for Engineering Division services for issuance of Public Works permits.
- Applicant shall underground all electrical and communication service lines to the buildings.

h) Off-site Street Improvement Plans

- Remove and replace any curb, gutter, sidewalk, driveway approach or street pavement found by the City Engineer to be broken, uplifted, damaged or not meeting current ADA standards. Construct improvements as required, per City standard drawings to match existing improvements on adjacent properties. All ADA requirements shall be satisfied by the Applicant. These conditions apply on public right-of-way along property frontage.
- All work such as but not limited to demolition, construction and improvements within the public right-of-way shall be subject to review and approval of the Public Works Department, and will require construction and encroachment permit from the City's Public Works Department, prior to start of any construction. All work within the public right-of-way shall be in accordance with applicable standards of the City of Monrovia, Standard Specifications for Public Works Construction ("Green Book", latest edition) and the Manual on Uniform Traffic Control Devices (MUTCD, latest edition), and further that construction equipment ingress and egress be controlled by a plan approved by the City Engineer.
- Applicant shall obtain applicable permits for all work to be done within the public right-of-way from the Public Works Department, **including all new driveway approaches**, and shall pay all applicable fees for Engineering Division services such as plan check fee and construction inspection fee as applicable.
- The City requires the restoration of the existing pavement after utility installation. Restoration is required from the outer limits of the area covering and encompassing all the utility cuts as shown on the plans, but actual limits shall be determined out in the field by City Engineer. **Restoration of asphalt pavement may be up to 2-inch pavement grind and 2-inch asphalt overlay.**

i) Off-site Utility Extension/Connection Plans

- Applicant shall connect all buildings to the public sewer. The sewer is to be constructed in the common driveways through new lateral(s) (sized per the current plumbing code and engineered calculations, minimum 6 inches) with clean-out(s) at property line per City standard drawing S-215 and S-225. Cap off all abandoned laterals at the connection point from the main line to the satisfaction of the City Engineer. Indicate on the Site/Utility Plan the work to be done by the Applicant

If the new units are to be connected to the existing sewer lateral, A CCTV video of the existing sewer lateral connected to the City mainline is required; a copy of the video shall be submitted to Public Works. Prior to CCTV please notify the Department of Public Works requesting to have the Public Works Inspector on-site to witness the inspection.

j) Off-site landscaping improvements to be maintained by the Applicant.

- Any off-site landscaping improvements along the frontage of this project are to be the responsibility of the project for maintenance and upkeep. The watering of this landscaping in the right of way is to be supplied by the projects water service for irrigation.

k) Traffic Engineering Conditions

- None required, based on size of project and trip generation.

l) Environmental Conditions

- Project is subject to NEW DEVELOPMENT/ REDEVELOPMENT PROJECT PERFORMANCE CRITERIA to control pollutants, pollutant loads, and runoff volume emanating from the project site by:
 - A. minimizing the impervious surface area
 - B. and controlling runoff from impervious surfaces through
 - infiltration,
 - bio retention and/or
 - rainfall harvest and use.
 - C. Projects are required to retain 100% of the Stormwater Quality Design Volume (SWQDV) defined as the runoff on site.

m) Demolition of Existing Structures

- The project demolition activities shall comply with the City's Construction and Demolition Recycling Program (C&D Recycling Program) by filing an application and submitting a deposit to Public Works Environmental Services prior to issuance of permits. Building, demolition, and grading permits will not be issued until the applicant provides the City with the required forms and the waste management plan has been reviewed and approved by the Environmental Services. If the Applicant chooses not to participate in the C&D Recycling Program, then the hauler must be identified on the demolition, building and grading plans.
- Building demolition permit will not be issued until the applicant provides copy of Air Quality Management District (AQMD) permit.

n) As-built Plans

- Applicant shall provide to the City of Monrovia revised plans of the original size, on mylar, showing all as-built conditions for the off-site and on-site improvements prior to the final Certificate of Occupancy

Questions or comments: Brad S. Merrell, P E
City Engineer
Cell # 760-900-7526
bmerrell@ci.monrovia.ca.us



DATA SHEET 3

Findings

CUP2020-0010
Minor Exception ME2020-0017

518 Fano Street

CONDITIONAL USE PERMIT

Pursuant to Monrovia Municipal Code Section 17.52.290, the decision to grant approval of the major conditional use permit (CUP2020-0010) for the construction of a new two-story housing unit at 518 Fano Street is based on the following findings:

- A. The project site is adequate in size, shape and topography for the proposed two-story housing unit.

The project site is a 13,713 square foot, mostly rectangular shaped property with a flat topography. The property's dimensions are 249 feet in length, and 55 feet in width which is sufficient in size and shape to accommodate the new two-story housing unit along with the existing three housing units on the site. The property would be developed below the maximum Floor Area Ratio (F.A.R.). The proposed two-story housing unit will be constructed within the required front, side, and rear yard setbacks.

- B. The project site has sufficient access to streets and highways, adequate in width and pavement type to carry the quantity and quality of traffic generated by this development.

A driveway will provide vehicular access from Fano Street to the new housing unit and all of the parking areas that will serve the four units on the property. A segment of the driveway abutting the front housing unit is one foot less than the minimum required width of twelve feet; however, an application for a Minor Exception is being filed concurrently with this application. The granting of this Minor Exception is consistent with the general intent of the code in that the 11-foot wide portion of the driveway allows adequate vehicular access to the new unit and parking areas on the property. The project is not expected to generate a substantial increase in traffic. Fano Street is connected to South Mayflower Avenue to the east and Alamitas to the west. Fano Street is considered a Local Street in the Circulation Element of the General Plan. Local streets have a capacity of up to 5,000 vehicles per day. Fano Street is adequate in size to carry the traffic generated by this project.

- C. The new two-story housing unit will be compatible with the General Plan and will not adversely impact the objectives of the General Plan.

The proposed project supports the General Plan's objectives through its compatibility with specific goals and policies. Goal Number 3 of the General Plan's Land Use Element is to "preserve the integrity of residential neighborhoods." The project is consistent with Policy 3.1 in that adequate parking is provided on site. The design of the proposed project is consistent with Policy 3.3 in that it blends

new medium density development with the existing neighborhood that has similar height and massing. Goal Number 4 of the Land Use Element is to “promote land use patterns and development which contribute to community and neighborhood identity.” The architectural design and massing of the proposed development is consistent with Policies 4.1 and 4.2. The project was designed to be harmonious with the height and design of newer multi-family development in the neighborhood. Although there is no one design theme for the neighborhood, the project architect incorporated some modern style design elements into the architectural style.

- D. The use will comply with the applicable provisions of the Zoning Ordinance.

The project site is zoned RM/RH (Multiple-Family Residential). Residential Medium (RM) development standards apply to the 13,713 square foot lot with a density of one unit per 2,500 square feet of lot area. The proposed two-story housing unit along with the existing three dwelling units would meet or exceed all development standards, including density, setbacks, height, parking, and recreation space. One minor exception is needed for the 11-foot width of the driveway which is being processed concurrently with this application.

- E. The proposed location and the conditions under which the use will be operated or maintained will not be detrimental to the public health, safety or welfare, nor will it be materially injurious to properties or improvements in the vicinity.

The proposed location for the additional two-story housing unit is in a medium density residential area. As such, the maintenance and operation of the proposed use is anticipated and permitted by the General Plan and the Zoning Code. The application is subject to the conditions of approval imposed by the City's Community Development Department, Fire Department, and the Public Works Department. Such compliance is necessary prior to obtaining occupancy clearance. Therefore, the proposed project would not be detrimental to public health, safety, or welfare. The proposed project would be compatible with the neighborhood context. The neighborhood is developed with multi-family and some single family uses.

- F. The proposed project will not result in the demolition of a residential structure built prior to January 1, 1940 with architectural or known historic value.

The project site is currently developed with a single-story house that was built in 1953 and a duplex that was constructed in 1963. The project will not require the demolition of those structures. The proposed two story housing unit will be constructed on a portion of the lot that is undeveloped and largely vegetated with grass.

MINOR EXCEPTION

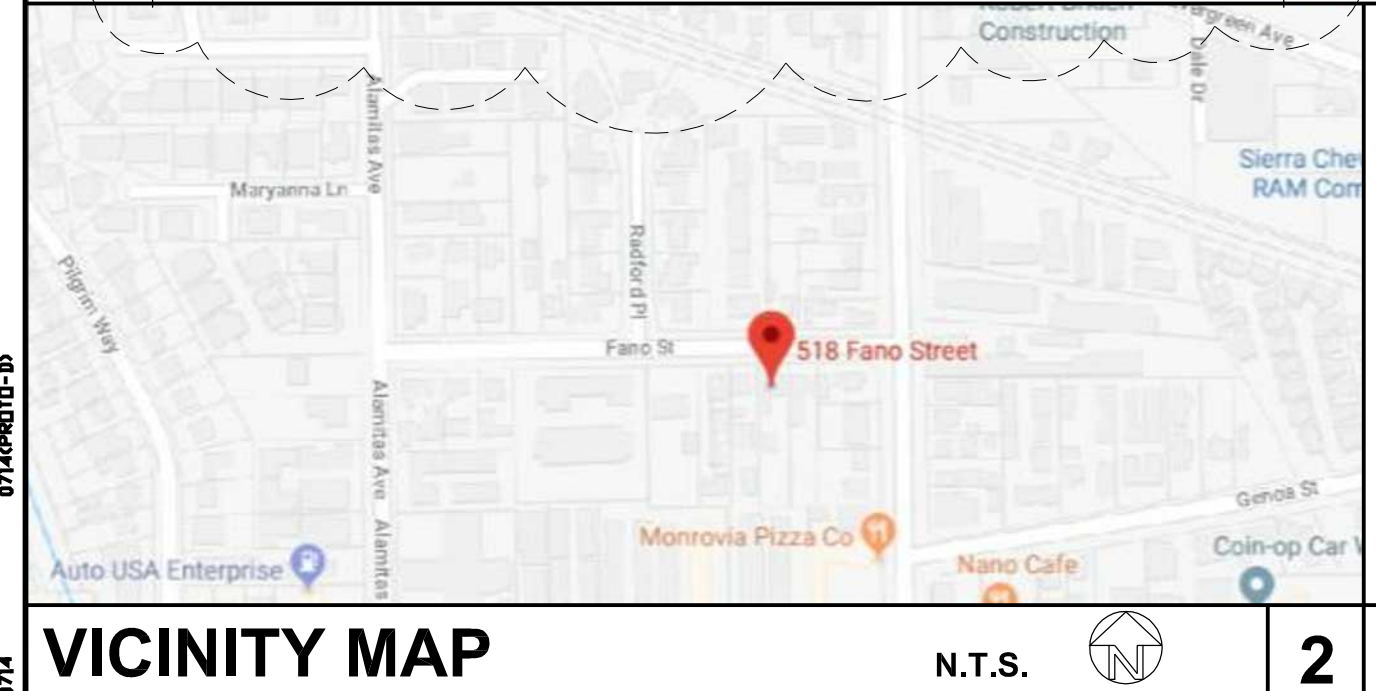
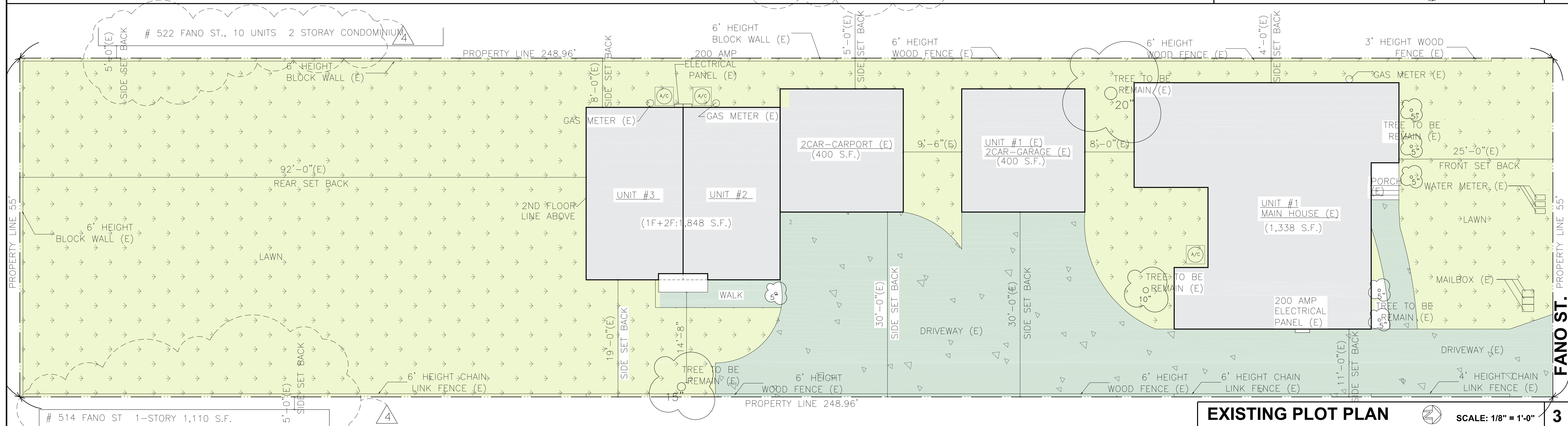
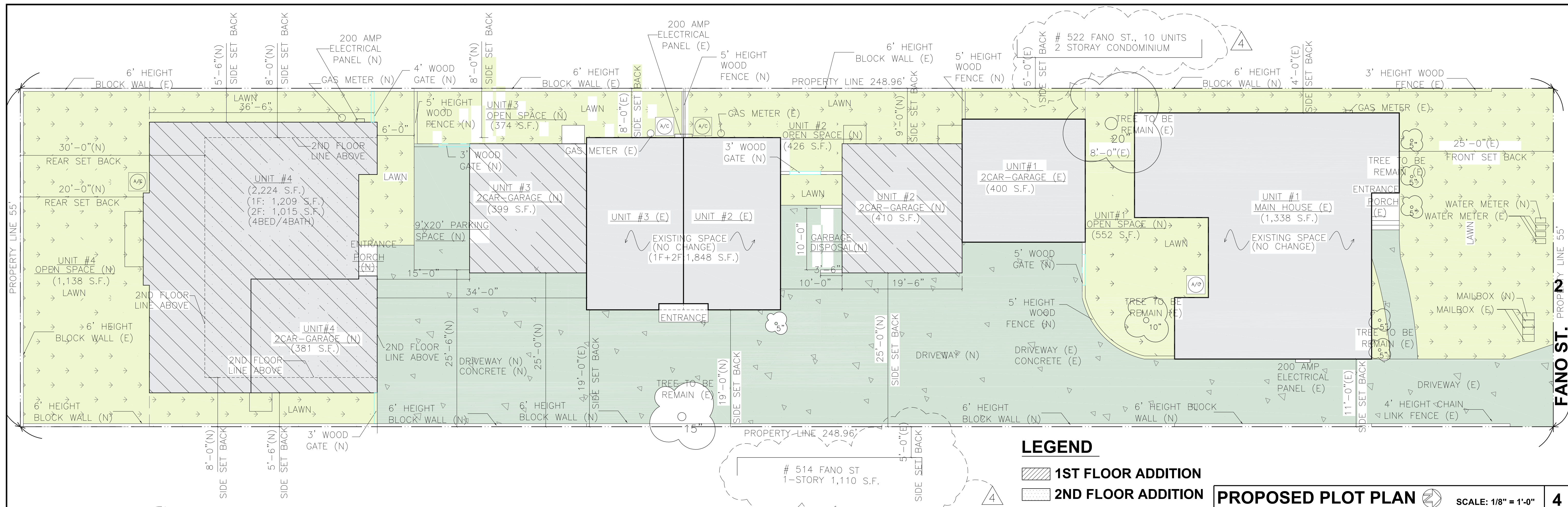
Pursuant to Monrovia Municipal Code Section 17.52.110(C), the decision to grant approval of the minor exception for reduced driveway width is based on the following finding:

Granting the minor exception to allow a one foot reduction of the minimum driveway width is warranted by practical difficulties, unnecessary hardships and results that may be inconsistent with the general intent of the code.

Since the project does not require any construction work to the front house, it would be an unnecessary hardship to require the demolition and reconstruction of the home's eastern wall in order to gain an additional 12 inches of driveway width. The granting of this Minor Exception is consistent with the general intent of the code in that the 11-foot wide portion of the driveway allows adequate vehicular access to the new unit and parking areas for all of the units on the property. The Fire Department has confirmed that the existing 11-foot driveway will not conflict with or prevent emergency access to the development.

HOUSING ACCOUNTABILITY ACT

The proposed development is not subject to the approval requirements of the State Housing Accountability Act because the development does not meet the minimum width requirement for a driveway that that serves a multiple-family residential development.



PROJECT SUMMARY

1. OWNER: ZHONG GE CHENG
518 FANO ST.,
MONROVIA, CA 91016

2. CODE:
2017 EDITIONS OF THE CALIFORNIA BUILDING CODE, CALIFORNIA RESIDENTIAL CODE, CALIFORNIA ELECTRICAL CODE, CALIFORNIA PLUMBING CODE, CALIFORNIA MECHANICAL CODE, CALIFORNIA FIRE CODE, CALIFORNIA ENERGY CODE, AND THE CAL GREEN CODES.

3. LOT SIZE: 13,713 S.F.

4. EXISTING:
MAIN HOUSE (UNIT #1) = 1,338 S.F.
MAIN HOUSE (UNIT #2 & UNIT #3) = 1,848 S.F.
PORCH (UNIT #1) = 20 S.F.
GARAGE (UNIT #1) = 400 S.F.
2CAR-CARPORT = 400 S.F.

5. PROPOSED:
1. REMOVE EXISTING 2CAR-CARPORT
2. ADD 2CAR-GARAGE 410 S.F. (UNIT #2)
3. ADD 2CAR-GARAGE 399 S.F. (UNIT #3)
4. ADD UNIT #4 2,213 S.F. (1F: 1,213 S.F. 2F: 1,000 S.F.)

6. AFTER ADDITION:

UNIT #	LIVING SPACE	PORCH	BALCONY	GARAGE	OPEN SPACE
UNIT 1	1,338 S.F.	20 S.F.	N/A	400 S.F.	552 S.F.
UNIT 2	924 S.F.	N/A	N/A	410 S.F.	426 S.F.
UNIT 3	924 S.F.	N/A	N/A	399 S.F.	437 S.F.
UNIT 4	2,213 S.F.	50 S.F.	63 S.F.	381 S.F.	1,138 S.F.

8. RATIO FLOOR AREA (NEW) =
1,338 (UNIT #1) + 1,848 (UNIT #2 & UNIT #3) + 2,213 (UNIT #4) = 5,399 S.F. / 13,713 = 39.37%

9. RATIO GARAGE AREA (NEW) =
400 (UNIT #1) + 410 (UNIT #2) + 399 (UNIT #3) + 381 (UNIT #4) = 1,590 S.F. / 13,713 = 11.59% < 20%

10. NUMBER OF STORIES: UNIT #1: 1-STORY / UNIT #2 & UNIT #3 & UNIT #4: 2-STORY

11. ZONING: RM-RH

12. ASSESSOR'S ID NO: 8507-012-025

REVISIONS

DATE	NO
10-22-2020	1
10-27-2020	2
06-02-2020	3
08-07-2019	4

DESIGNER: GREEN H CONSTRUCTION CORP.
21008 FAHNFINGER RD., #204
DIAMOND BAR, CA 91765
TEL: (626) 298-1475
greenhconstruction@yahoo.com

JOB ADDRESS: 518 FANO ST., MONROVIA, CA 91016

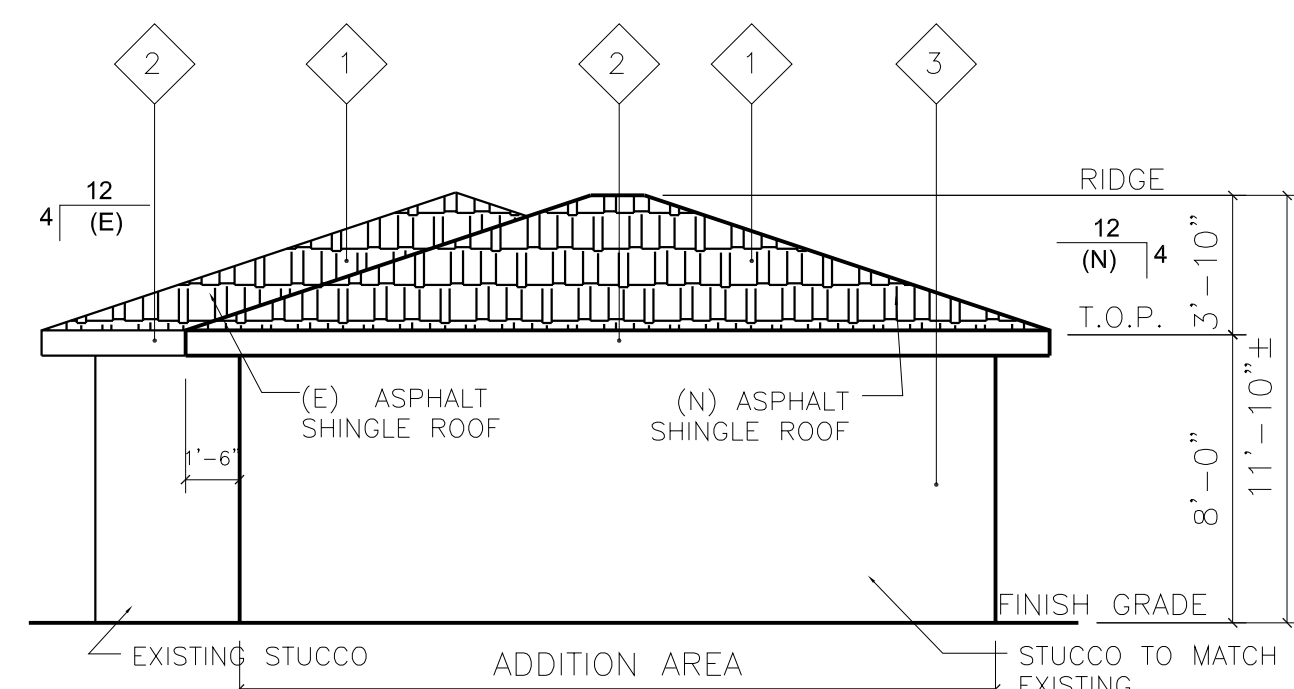
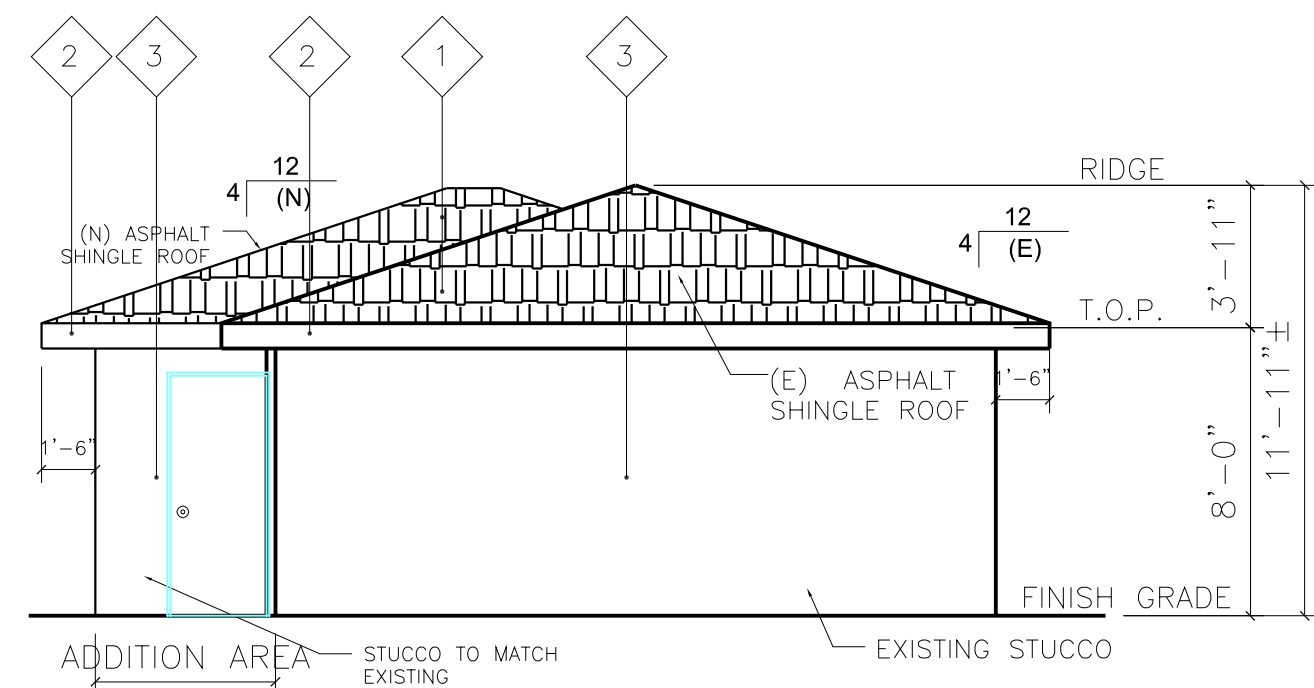
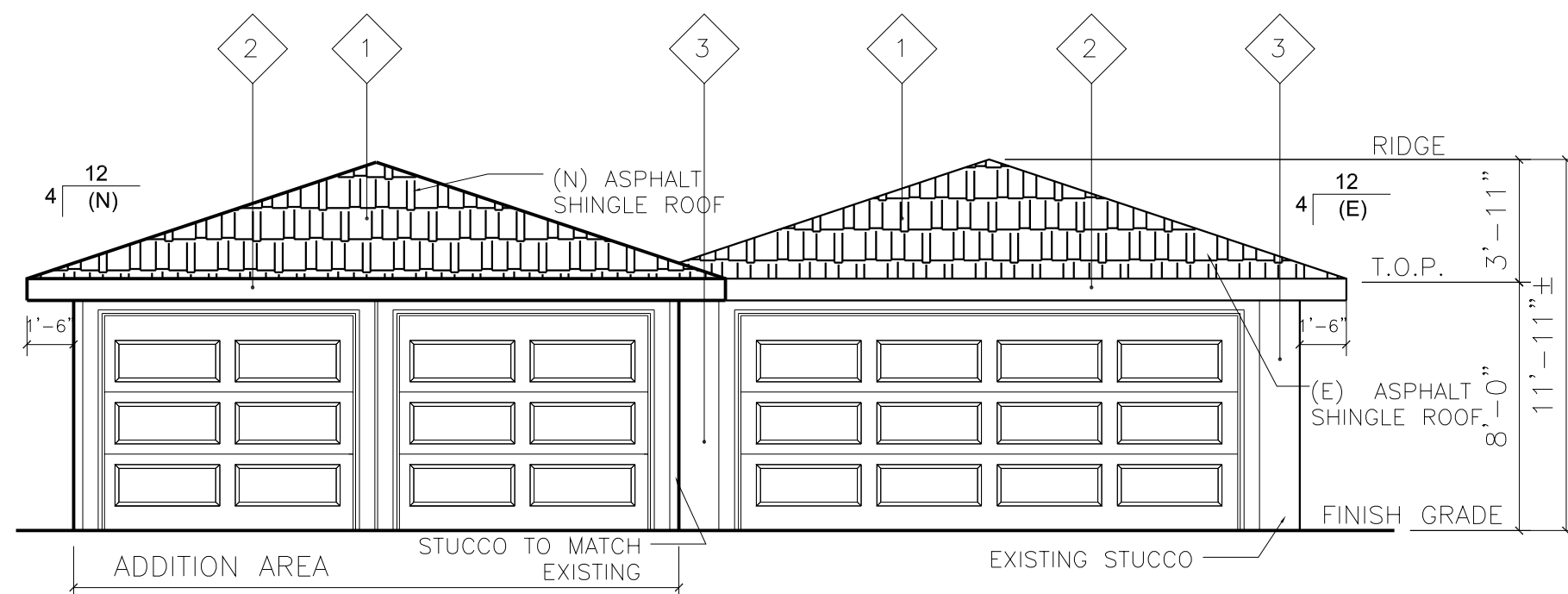
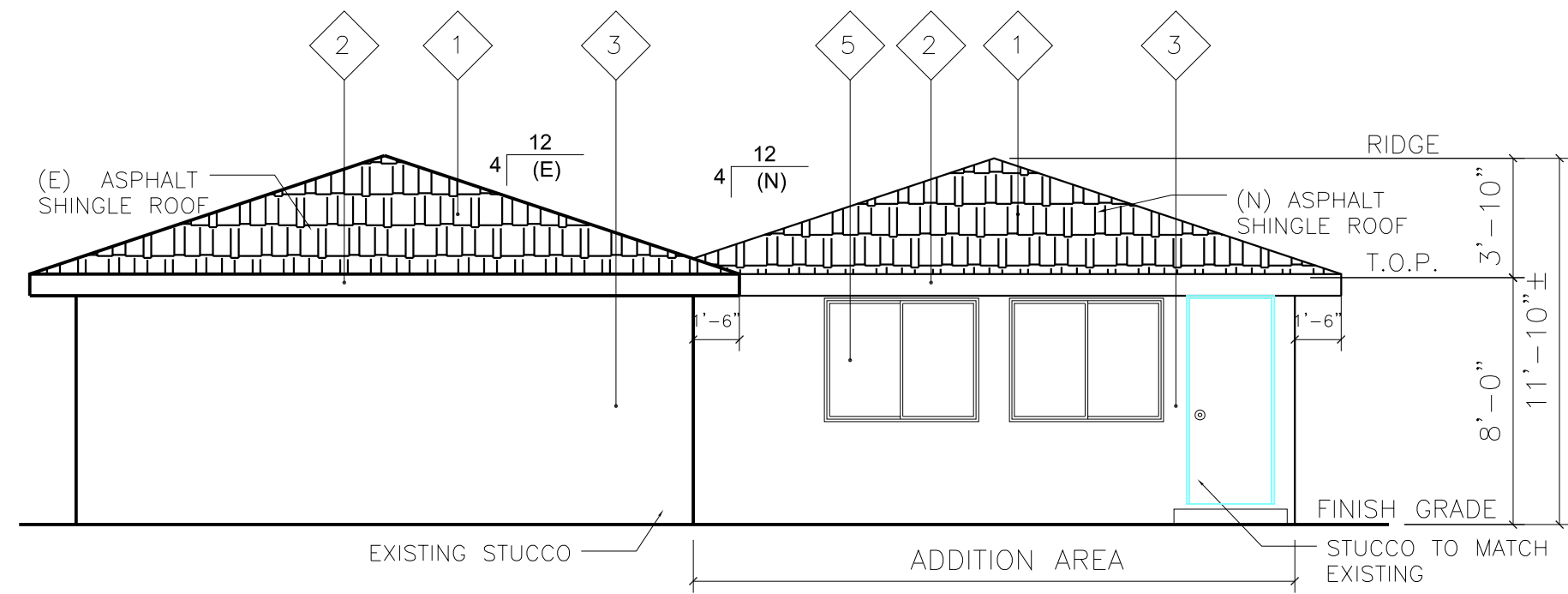
PROJECT SUMMARY, VICINITY MAP, EXISTING PLOT PLAN, PLOT PLAN, EXISTING FLOOR PLAN

STAMP: LICENSED GENERAL CONTRACTOR
CHEN KUN LEE
No. 998187
Exp. 10-31-20
DESIGN-BUILD
STATE OF CALIFORNIA

Date: 10-22-2020
Scale: AS SHOWN
Drawn: LH
Job: 1834
Sheet: A-1

EXTERIOR FINISH SCHEDULE

	MATERIAL	FINISH	COLOR	MANUF.
1	SHINGLE ROOF	ASPHALT	BROWNWOOD	OWENS CORNING ROOFING AND ASPHALT, LLC
2	2X8 FASCIA BOARD	PAINTED	WHITE	DUNN-EDWARDS
3	CEMENT PLASTER	COLOR COAT BASE 200	DOVE GREY 40 (66)	LAHABRA STUCCO
4	SIDING	PANEL SIDING	BROWN	JAMESHARDIE
5	WINDOWS	VINYL / WOOD	WHITE	JELD WEN



ELECTRICAL LEGEND

- 12"x48" W/2-TUBE
- FLUORESCENT LIGHT FIXTURE
- UNDER CABINET FLUORESCENT LIGHT FIXTURE
- WALL MOUNTED LIGHT FIXTURE
- CEILING MOUNTED LIGHT FIXTURE
- CEILING MOUNTED FLUORESCENT LIGHT FIXTURE
- WALL MOUNTED W/MOTION SENSOR LIGHT FIXTURE
- RECESSED LIGHT FIXTURE
- RECESSED FLUORESCENT LIGHT FIXTURE
- ELECT. OUTLET (AT WALL)
- ARC-FAULT CIRCUIT INTERRUPTER OUTLET (AT WALL)
- ARC-FAULT CIRCUIT INTERRUPTER OUTLET (AT WALL)
- ELECT. OUTLET (AT FLOOR)
- TELEPHONE JACK
- TELEVISION JACK
- SINGLE POLE SWITCH
- THREE-WAY SWITCH
- FOUR-WAY SWITCH
- CEILING FAN W/LIGHT FIXTURE
- HARD WIRED CARBON MONOXIDE ALARM
- W/BATTERY BACK-UP INTERCONNECTED (TYP.)
- HARD WIRED SMOKE DETECTOR
- W/BATTERY BACK-UP INTERCONNECTED (TYP.)
- PROVIDE EXHAUST FAN (PROVIDING 5 AIR CHANGES PER HOUR W/BACKDRAFT DAMPER) TYP. 50 CFM.
- IN NON MODIFY OR NON REMODEL AREA, INSTALL BATTERY POWERED SMOKE DETECTORS IN HALLWAY AND IN EACH BED ROOM.
- H.B. W/NON-REMOVABLE BACKFLOW PREVENTER (TYP.)

WINDOW NOTES

- WINDOW SIZE AND TYPE CALL-OUT: EXAMPLE: 3'-0"(W) X 4'-0"(H)/2'-8"(SILL HT.) S.L.(WINDOW TYPE)
- WINDOW TYPE:
 - S.L. : HORIZONTAL SLIDING
 - S.H. : SINGLE HUNG
 - F.X. : FIXED
 - C.S. : CASEMENT
 - G.W. : GARDEN WINDOW
 - S.D. : SIDE LIGHT (TEMPERED GLASS)
 - (T) : TEMPERED GLASS
 - (A) : ARCH WINDOW
 - (R/HR) : ROUND/HALF-ROUND WINDOW
 - (O) : OBSCURE GLASS
 - (E) : EXISTING
 - (N) : NEW INSTALLATION
 - U FACTOR: 0.32
 - SHGC: 0.27

DOOR NOTES

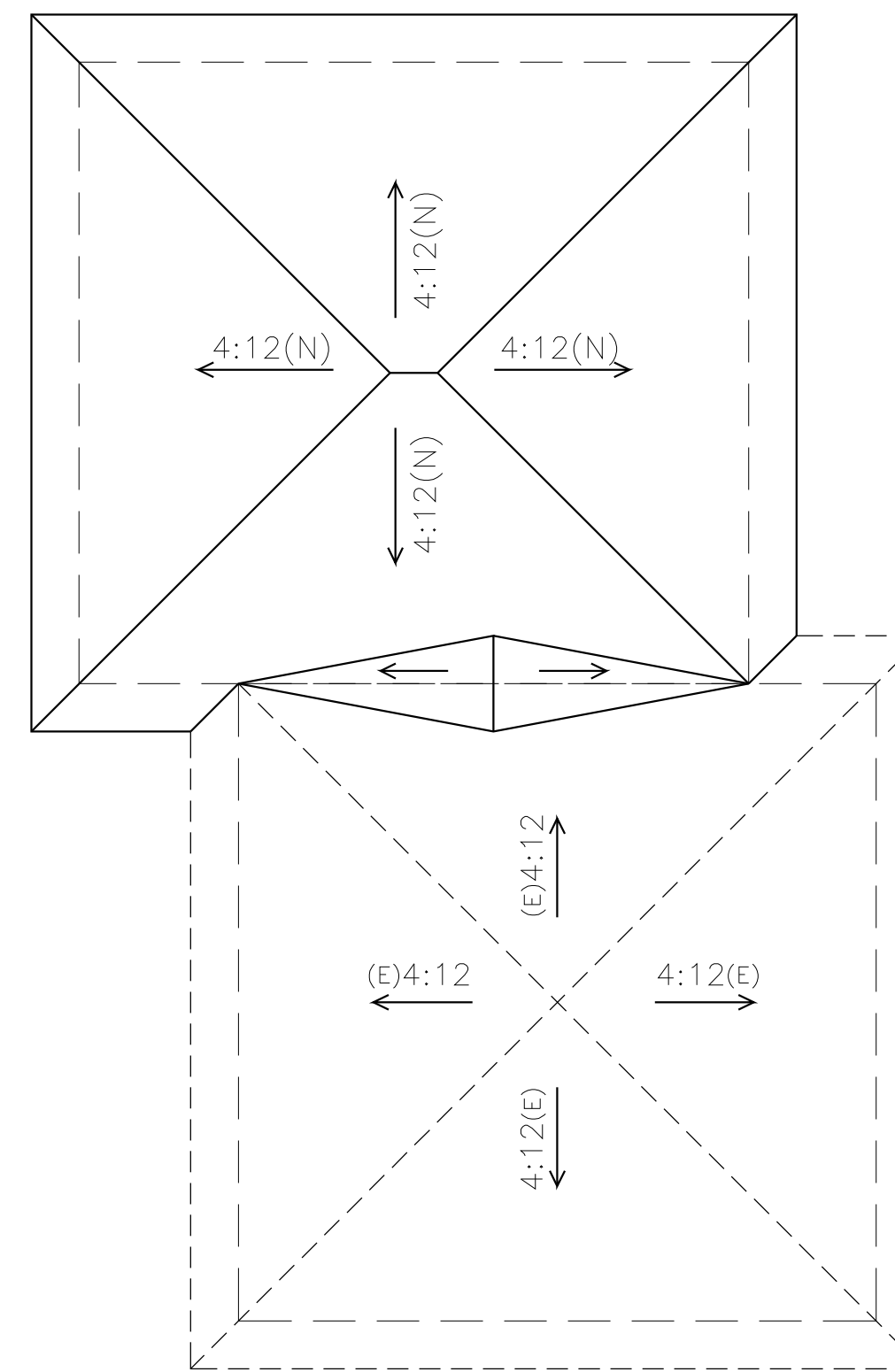
- DOOR SIZE AND CONSTRUCT SEE PLAN
- S.C. : SOLID CORE (1-3/4" THICKNESS)
- H.C. : HOLLOW CORE (1-3/8" THICKNESS)
- F.D. : FRENCH DOOR (TEMPERED GLASS)
- G.L. : GLASS SLIDING DOOR (TEMPERED GLASS)
- B.P. : BY-PASS DOORS
- B.F. : BI-FOLDING DOOR
- O.H. : GARAGE DOOR (ROLL-UP, SECTIONAL DOOR)
- P.D. : POCKET DOOR

WALL LEGEND

- EXISTING WALL TO BE REMOVED
- EXISTING WALL TO REMAIN
- NEW WALL
- ONE HR. FIRE-RESISTIVE WALL
- EXISTING BUILDING LINE

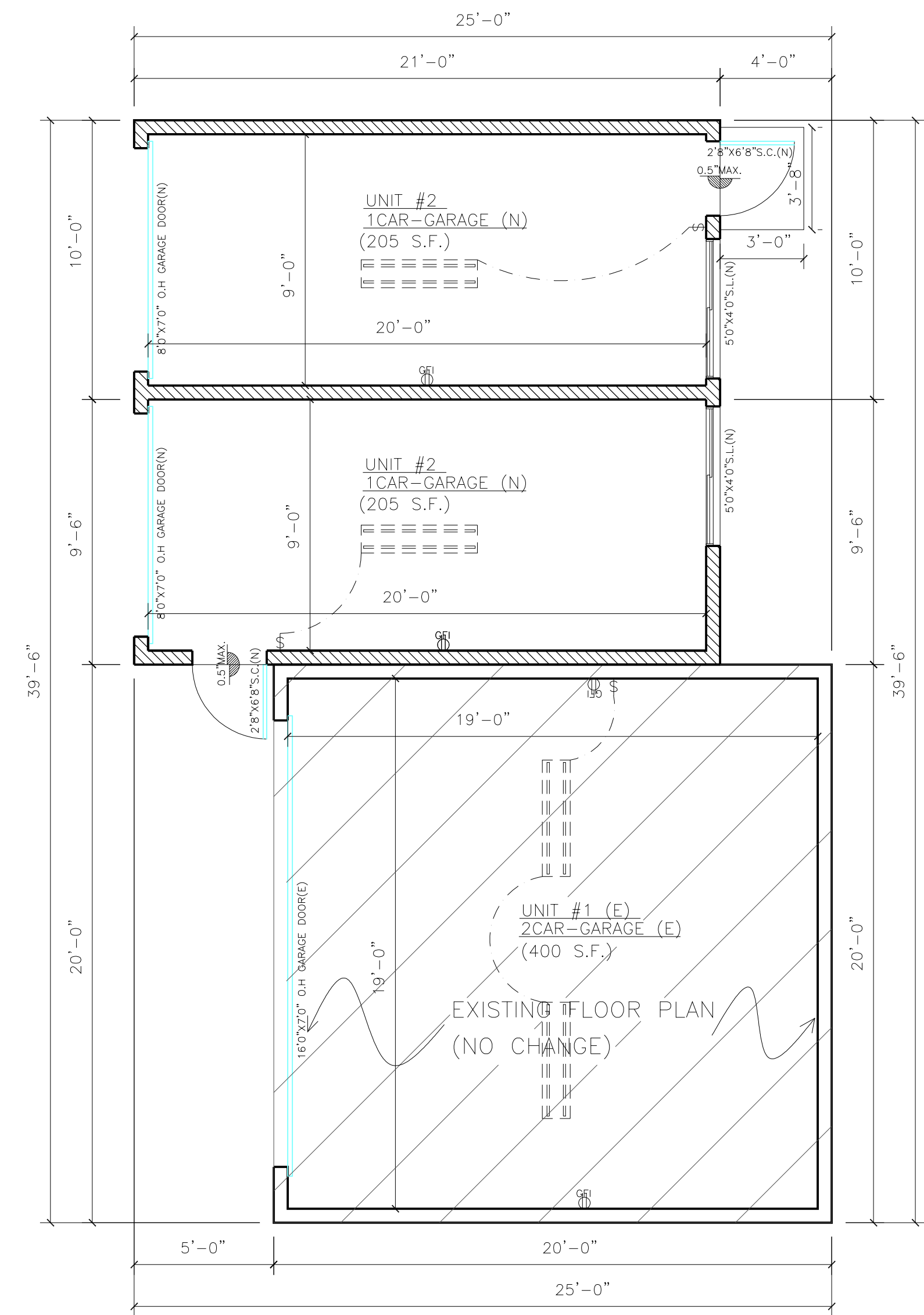
UNIT #2 (GARAGE)

UNIT #1 (GARAGE)



- NEW 2ND FLOOR ROOF LINE
- NEW 1ST FLOOR ROOF LINE
- ROOF MATERIAL: CLASS 'A' ASPHALT SHINGLE ROOF OVER 2- LAYER 15lb FELT PAPER (TYP) MANUFACTORY: CERTANTEED CORPORATION ICC#: ESR-1389

PROPOSED FLOOR PLAN (UNIT #2 GARAGE)



REVISIONS

DATE	NO
REVISION COVERED PORCH 08-07-2019	1
REVISION COVERED PORCH 06-02-2020	2
REVISION COVERED PORCH 10-07-2020	3
REVISION COVERED PORCH 10-08-2020	4

DESIGNER: GREEN H CONSTRUCTION CORP. 21308 PANTHER RD, #204 DIAMOND BAR, CA 91765 TEL: (626) 288-1475 greenhconstruction@yahoo.com

JOB ADDRESS: CHENG RESIDENCE 518 FANO ST., MONROVIA, CA 91016

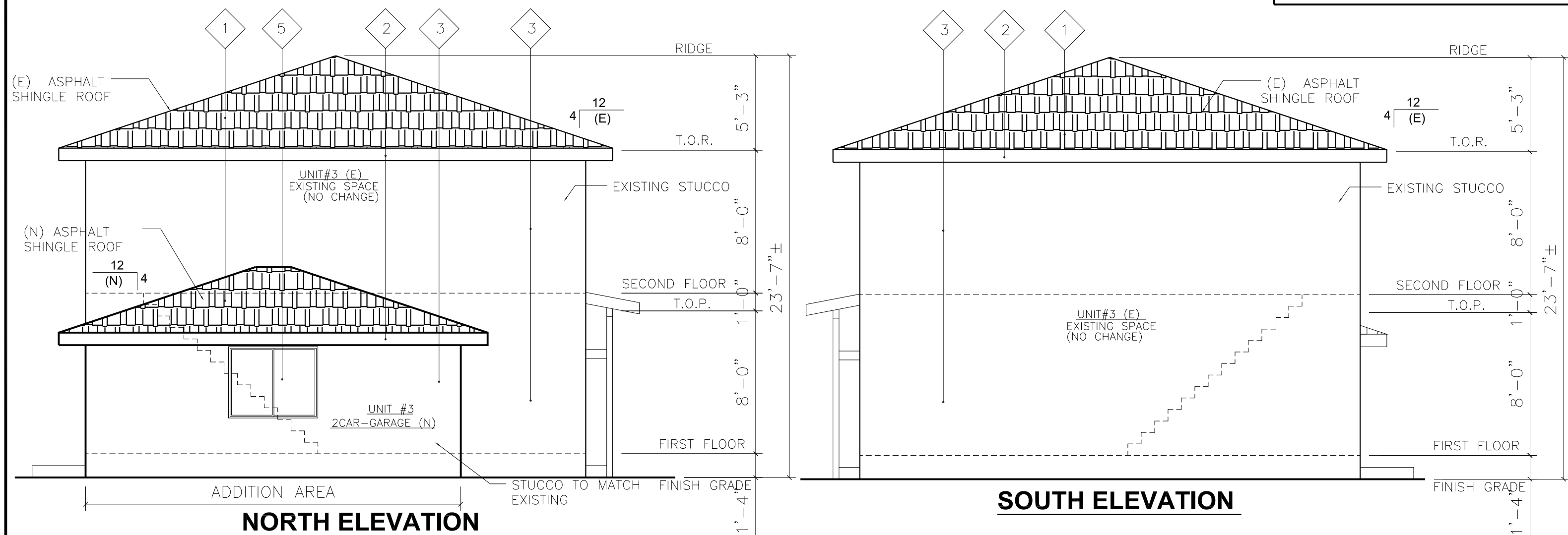
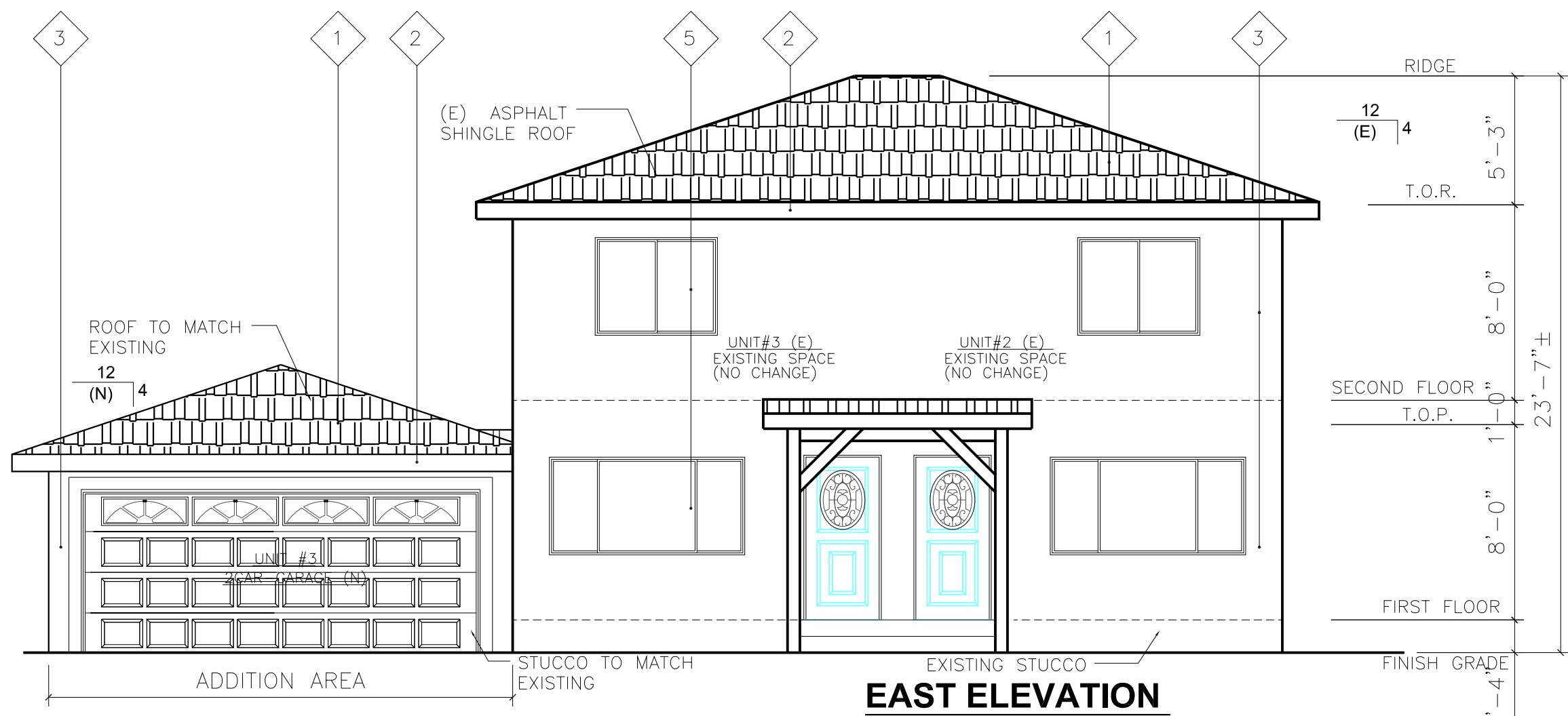
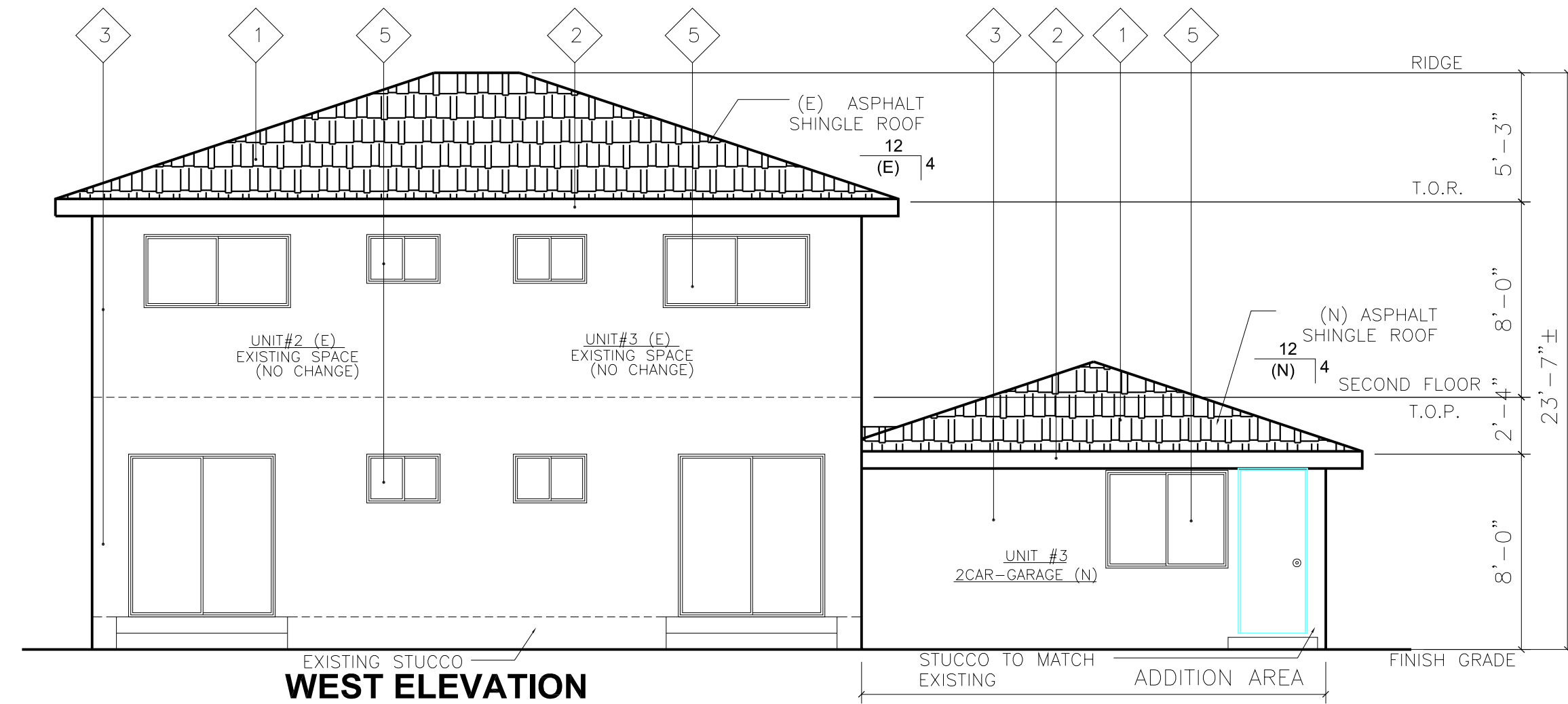
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STAMP: LICENSED GENERAL CONTRACTOR CHEN KUN LEE No. 998187 Exp. 10-31-20 DESIGN-BUILD STATE OF CALIFORNIA

Date: 10-22-2020
Scale: AS SHOWN
Drawn: LH
Job: 1834
Sheet: A-2

EXTERIOR FINISH SCHEDULE

	MATERIAL	FINISH	COLOR	MANUF.
1	SHINGLE ROOF	ASPHALT	BROWNWOOD	OWENS CORNING ROOFING AND ASPHALT, LLC
2	2X8 FASCIA BOARD	PAINTED	WHITE	DUNN-EDWARDS
3	CEMENT PLASTER	COLOR COAT BASE 200	DOVE GREY 40 (66)	LAHABRA STUCCO
4	SIDING	PANEL SIDING	BROWN	JAMESHARDIE
5	WINDOWS	VINYL / WOOD	WHITE	JELD WEN



ELECTRICAL LEGEND

- 12"x48" W/2-TUBE
- FLUORESCENT LIGHT FIXTURE
- UNDER CABINET FLUORESCENT LIGHT FIXTURE
- WALL MOUNTED LIGHT FIXTURE
- CEILING MOUNTED LIGHT FIXTURE
- CEILING MOUNTED FLUORESCENT LIGHT FIXTURE
- WALL MOUNTED W/MOTION SENSOR LIGHT FIXTURE
- RECESSED LIGHT FIXTURE
- RECESSED FLUORESCENT LIGHT FIXTURE
- ELECT. OUTLET (AT WALL)
- ARC-FAULT CIRCUIT INTERRUPTER OUTLET (AT WALL)
- ARC-FAULT CIRCUIT INTERRUPTER OUTLET (AT FLOOR)
- ELECT. OUTLET (AT FLOOR)
- TELEPHONE JACK
- TELEVISION JACK
- SINGLE POLE SWITCH
- THREE-WAY SWITCH
- FOUR-WAY SWITCH
- CEILING FAN W/LIGHT FIXTURE
- HARD WIRED CARBON MONOXIDE ALARM
- W/BATTERY BACK-UP INTERCONNECTED (TYP.)
- HARD WIRED SMOKE DETECTOR W/BATTERY BACK-UP INTERCONNECTED (TYP.)
- PROVIDE EXHAUST FAN (PROVIDING 5 AIR CHANGES PER HOUR W/BACKDRAFT DAMPER) TYP. 50 CFM.
- IN NON MODIFY OR NON REMODLE AREA, INSTALL BATTERY POWERED SMOKE DETECTORS IN HALLWAY AND IN EACH BED ROOM.
- H.B. W/NON-REMOVABLE BACKFLOW PREVENTER (TYP.)

WINDOW NOTES

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 - S.D. : SIDE LIGHT (TEMPERED GLASS)
 - (T) : TEMPERED GLASS
 - (A) : ARCH WINDOW
 - (R/HR) : ROUND/HALF-ROUND WINDOW
 - (O) : OBSCURE GLASS
 - (E) : EXISTING
 - (N) : NEW INSTALLATION
 - U FACTOR: 0.32
 - SHGC: 0.27

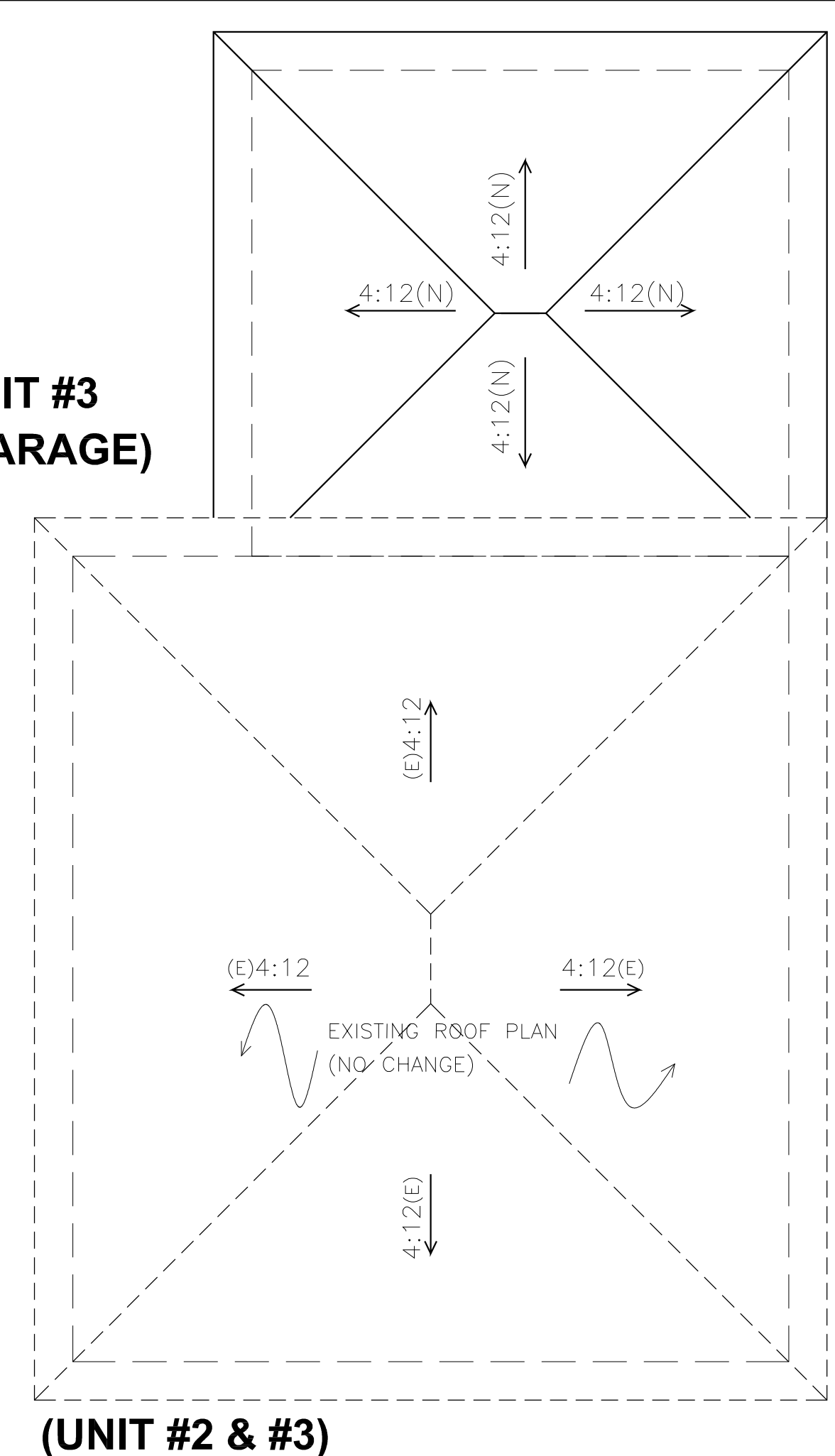
DOOR NOTES

- DOOR SIZE AND CONSTRUCT SEE PLAN
- S.C. : SOLID CORE (1-3/4" THICKNESS)
- H.C. : HOLLOW CORE (1-3/8" THICKNESS)
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- B.P. : BY-PASS DOORS
- B.F. : BI-FOLDING DOOR
- O.H. : GARAGE DOOR (ROLL-UP, SECTIONAL DOOR)
- P.D. : POCKET DOOR

WALL LEGEND

- EXISTING WALL TO BE REMOVED
- EXISTING WALL TO REMAIN
- NEW WALL
- ONE HR. FIRE-RESISTIVE WALL
- EXISTING BUILDING LINE

UNIT #3 (GARAGE)



NEW 2ND FLOOR ROOF LINE
 NEW 1ST FLOOR ROOF LINE

ROOF MATERIAL:
 CLASS "A" ASPHALT SHINGLE ROOF OVER 2- LAYER 15lb FELT PAPER (TYP)
 MANUFACTORY: CERTANTEED CORPORATION
 ICC#: ESR-1389

REVISIONS

DATE	NO
REVISION COVERED PORCH 08-07-2019	1
REVISION COVERED PORCH 06-02-2020	2
REVISION COVERED PORCH 10-07-2020	3
REVISION COVERED PORCH 10-28-2020	4

DESIGNER: GREEN H CONSTRUCTION CORP.
 21308 PANTHER RD, #204
 DIAMOND BAR, CA 91765
 TEL: (626) 298-1475
 greenhconstruction@yahoo.com

JOB ADDRESS: CHENG RESIDENCE
 518 FANO ST.,
 MONROVIA, CA 91016

SHEET TITLE: PROPOSED FLOOR PLAN (UNIT #3 GARAGE) ROOF PLAN, ELEVATIONS (UNIT #3 GARAGE)

STAMP: LICENSED GENERAL CONTRACTOR
 CHEN KUN LEE
 No. 998187
 Exp. 10-31-20
 DESIGN-BUILD
 STATE OF CALIFORNIA

Date: 10-22-2020
 Scale: AS SHOWN
 Drawn: LH
 Job: 1834
 Sheet

A-3

ELEVATIONS (UNIT #3 GARAGE)

SCALE: 3/16" = 1'-0"

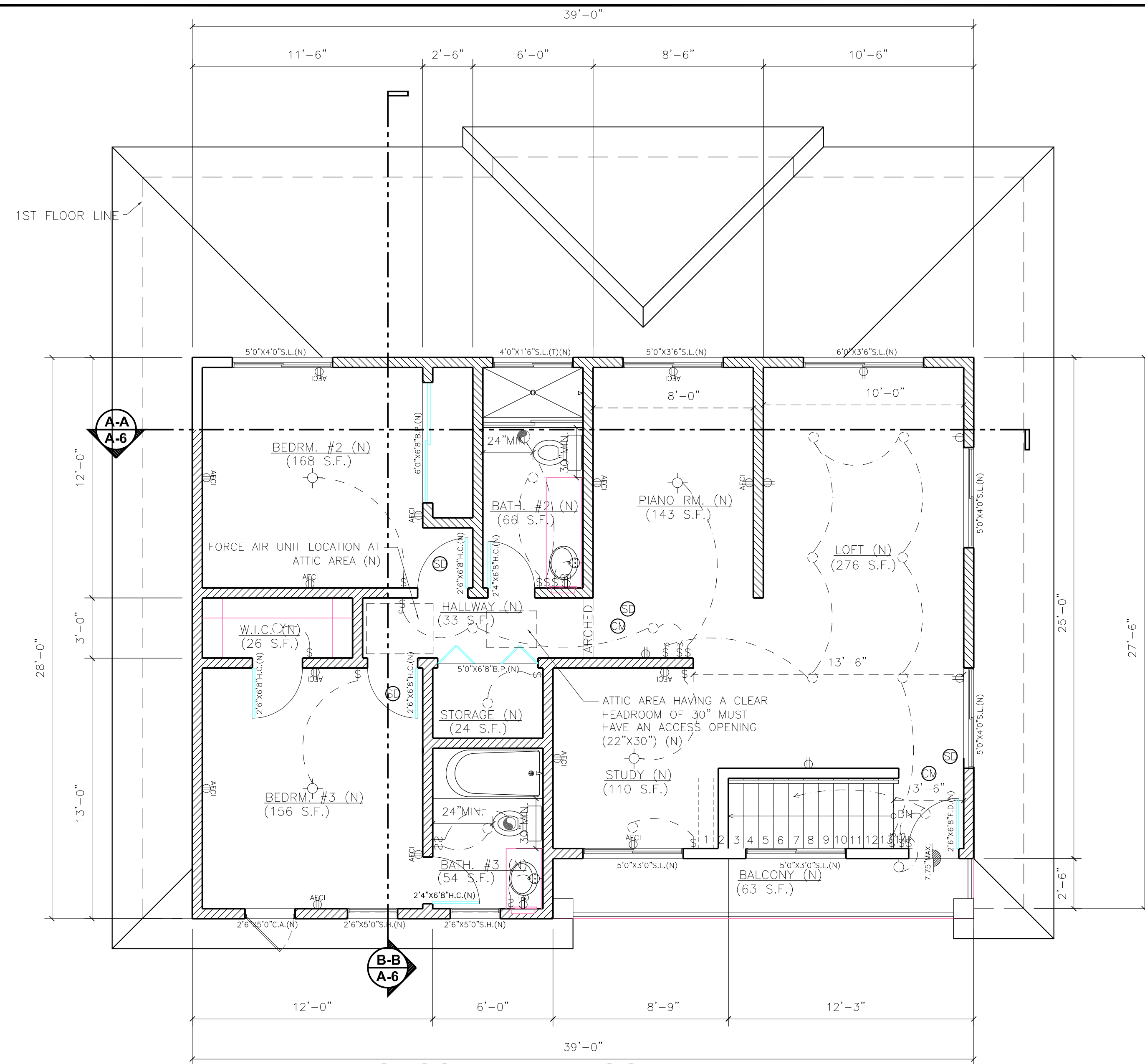
3 ROOF PLAN

SCALE: 3/16" = 1'-0"

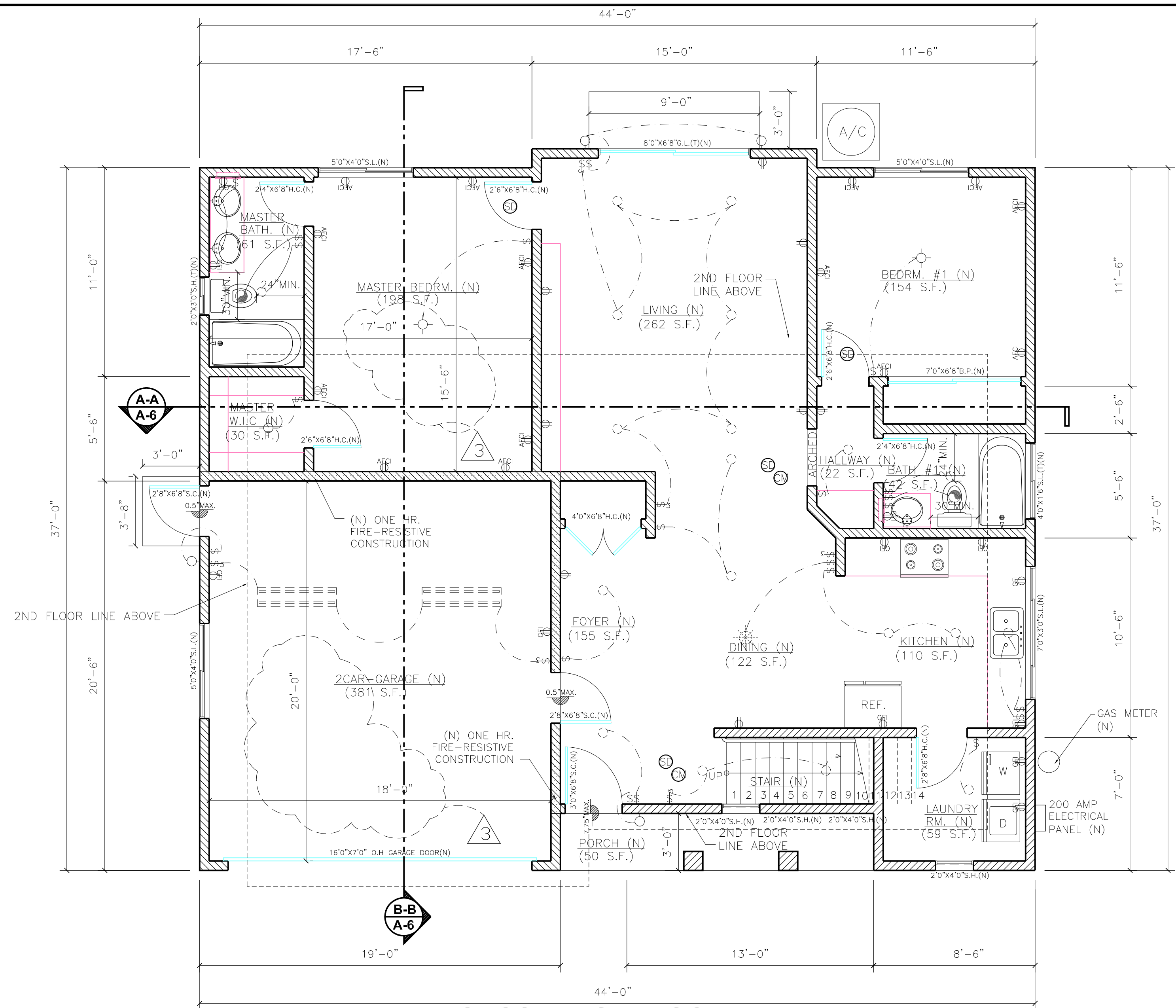
2 PROPOSED FLOOR PLAN (UNIT #3 GARAGE)

SCALE: 1/4" = 1'-0"

1



PROPOSED 2ND FLOOR PLAN



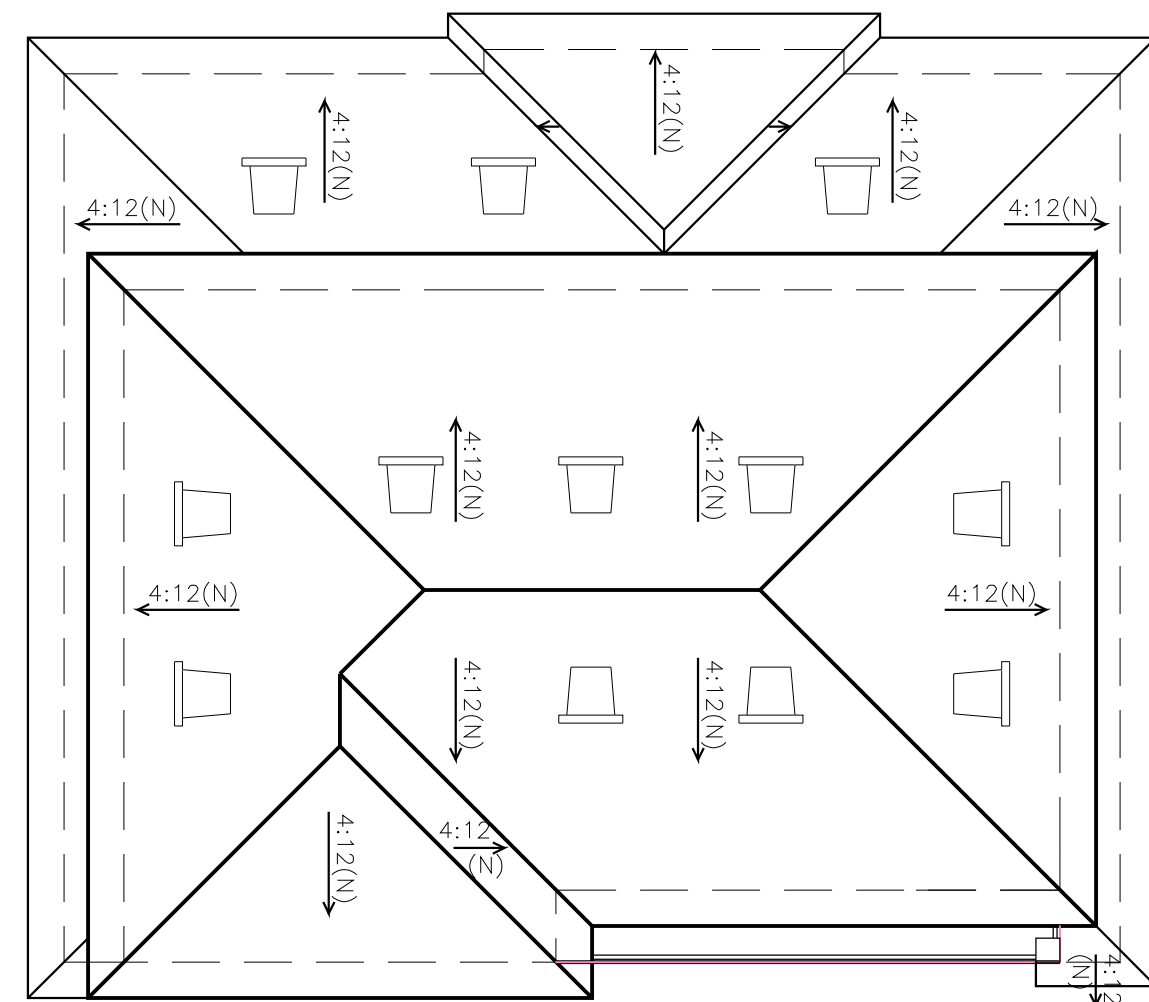
PROPOSED 1ST FLOOR PLAN

----- EXISTING ROOF LINE
 - - - - - NEW 2ND FLOOR ROOF LINE
 _____ NEW 1ST FLOOR ROOF LINE

ROOF MATERIAL:
 CLASS 'A' ASPHALT SHINGLE
 ROOF OVER 2- LAYER
 15lb FELT PAPER (TYP)
 MANUFACTORY: CERTANTEED CORPORATION
 ICC#: ESR-1389

UNIT #4 NEW ROOF
 ROOF ATTIC AREA = 1,597 S.F.
 ROOF VENT REQ'D. = 1,597 S.F. / 150 = 10.6467 S.F.
 ROOF VENT PROVIDED = (12) X 0.9375 = 11.25 S.F.
 TOTAL = 11.25 S.F. > 10.6467 S.F.

DL24AL 24" HALF ROUND METAL VENT LOUVER HAS 135 SQ. IN. (=0.9375 SQ. FT.) FREE AREA (TYP.)
 OPENINGS SHALL HAVE 1/4" CORROSION RESISTANT METAL MESH COVERING
 * ROOF PITCH TO MATCH THE EXISTING.



ROOF PLAN (UNIT #4)

SCALE: 1/8" = 1'-0" **2**

ELECTRICAL LEGEND

- 12"x48" W/2-TUBE
- ===== FLUORESCENT LIGHT
- ===== FIXTURE
- UNDER CABINET FLUORESCENT LIGHT FIXTURE
- WALL MOUNTED LIGHT FIXTURE
- CEILING MOUNTED LIGHT FIXTURE
- CEILING MOUNTED FLUORESCENT LIGHT FIXTURE
- RECESSED LIGHT FIXTURE
- RECESSED FLUORESCENT LIGHT FIXTURE
- ELECT. OUTLET (AT WALL)
- ARC-FAULT CIRCUIT INTERRUPTER OUTLET (AT WALL)
- ARC-FAULT CIRCUIT INTERRUPTER OUTLET (AT WALL)
- ELECT. OUTLET (AT FLOOR)
- TELEPHONE JACK
- TELEVISION JACK
- SINGLE POLE SWITCH
- THREE-WAY SWITCH
- FOUR-WAY SWITCH
- CEILING FAN W/LIGHT FIXTURE
- HARD WIRED CARBON MONOXIDE ALARM W/BATTERY BACK-UP INTERCONNECTED (TYP.)
- HARD WIRED SMOKE DETECTOR W/BATTERY BACK-UP INTERCONNECTED (TYP.)
- PROVIDE EXHAUST FAN (PROVIDING 5 AIR CHANGES PER HOUR W/BACKDRAFT DAMPER) TYP. 50 CFM. IN NON MODIFY OR NON REMODLE AREA, INSTALL BATTERY POWERED SMOKE DETECTORS IN HALLWAY AND IN EACH BED ROOM.
- H.B. W/NON-REMOVABLE BACKFLOW PREVENTER (TYP.)

WINDOW NOTES

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 EXAMPLE: 3'-0"(W) X 4'-0"(H)/2'-8"(SILL HT.) S.L.(WINDOW TYPE)
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 (T): TEMPERED GLASS
 (A): ARCH WINDOW
 (R/HR): ROUND/HALF-ROUND WINDOW
 (O): OBSCURE GLASS
 (E): EXISTING
 (N): NEW INSTALLATION
 U FACTOR: 0.32
 SHGC: 0.27

DOOR NOTES

- DOOR SIZE AND CONSTRUCT SEE PLAN
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 H.C.: HOLLOW CORE (1-3/8" THICKNESS)
 F.D.: FRENCH DOOR (TEMPERED GLASS)
 G.L.: GLASS SLIDING DOOR (TEMPERED GLASS)
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 O.H.: GARAGE DOOR (ROLL-UP, SECTIONAL DOOR)
 P.D.: POCKET DOOR

WALL LEGEND

- EXISTING WALL TO BE REMOVED
- EXISTING WALL TO REMAIN
- ===== NEW WALL
- ===== ONE HR. FIRE-RESISTIVE WALL
- EXISTING BUILDING LINE

PROPOSED FLOOR PLAN (UNIT #4)

SCALE: 1/4" = 1'-0" **1**

REVISIONS	DATE	NO
REVISE COVERED PORCH	08-07-2019	1
REVISE COVERED PORCH	06-02-2020	2
REVISE COVERED PORCH	10-07-2020	3
REVISE COVERED PORCH	10-28-2020	4

DESIGNER: GREEN H CONSTRUCTION CORP.
 21308 FAIRFINDER RD., #204
 DIAMOND BAR, CA 91765
 TEL: (626) 288-1475
 greenhconstruction@yahoo.com

JOB ADDRESS: CHENG RESIDENCE
 518 FANO ST.,
 MONROVIA, CA 91016

SHEET TITLE: PROPOSED FLOOR PLAN (UNIT #4),
 ROOF PLAN (UNIT #4)

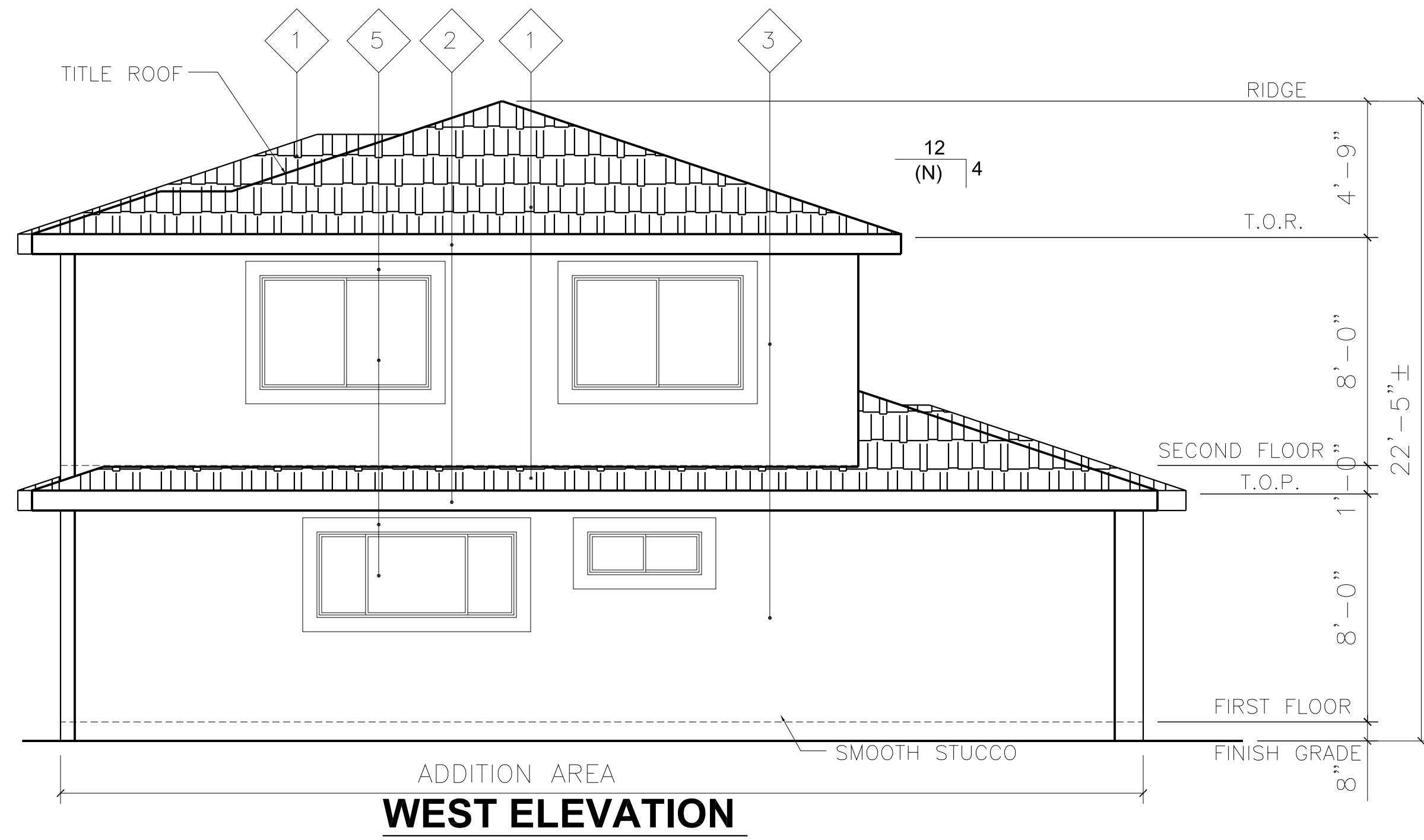


Date: 10-22-2020
 Scale: AS SHOWN
 Drawn: LH
 Job: 1834
 Sheet:

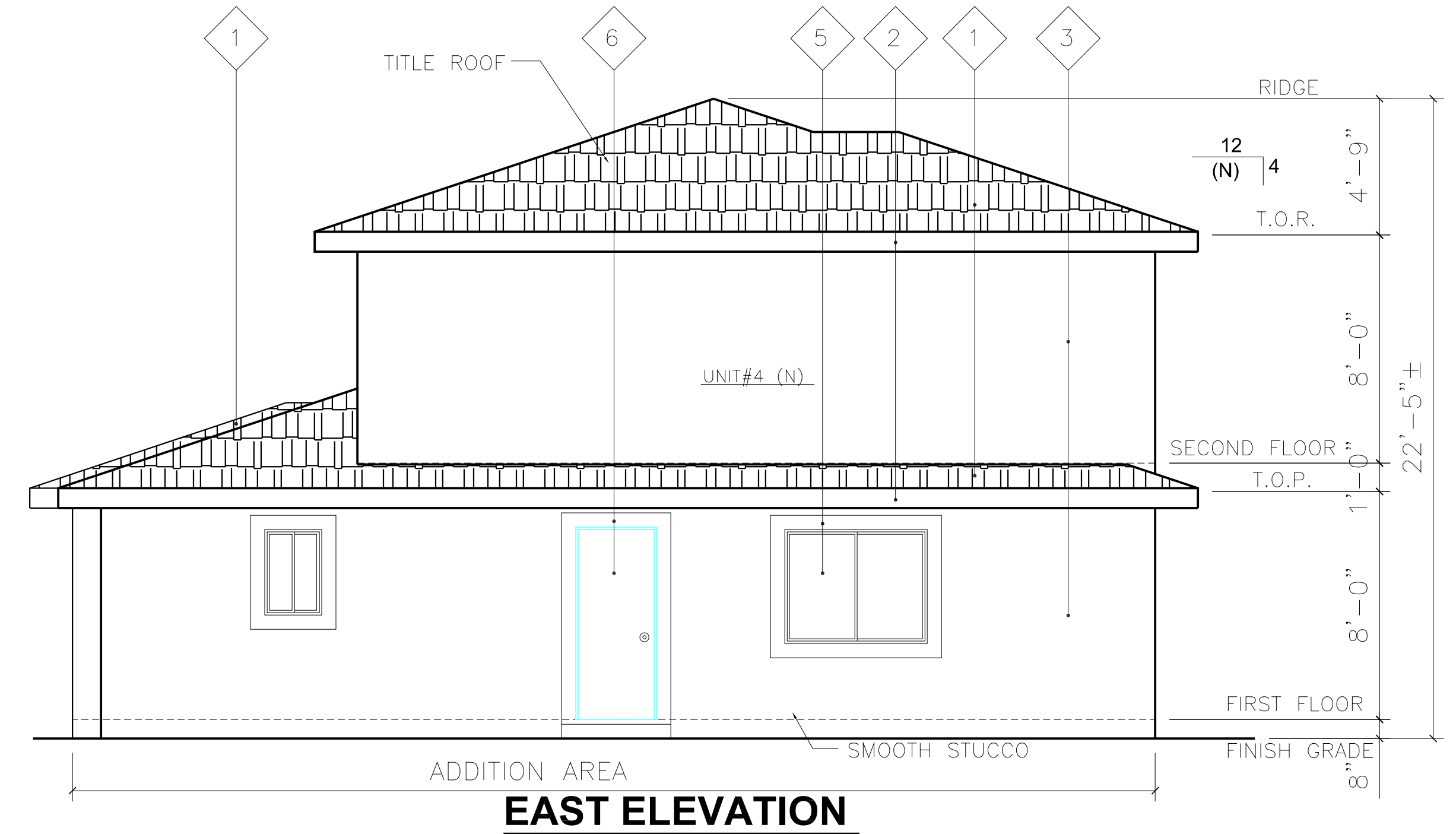
A-4

EXTERIOR FINISH SCHEDULE

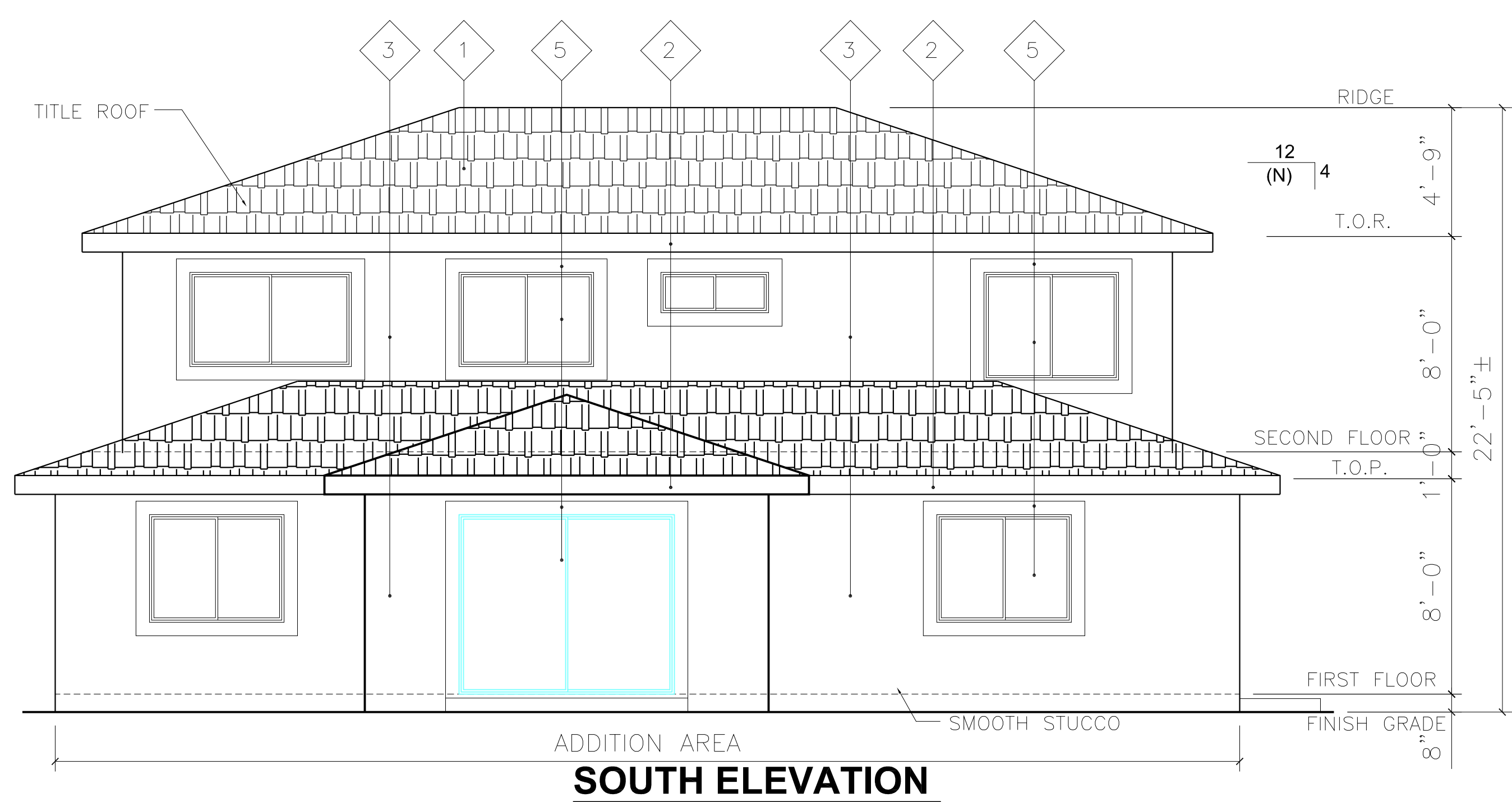
	MATERIAL	FINISH	COLOR	MANUF.
1	TITLE ROOF	8704 SLATE RANGE	GRAY	EAGLE ROOFING
2	2X8/2X10 FASCIA BOARD	PAINTED	WHITE	DUNN-EDWARDS
3	CEMENT PLASTER	COLOR COAT BASE 200	SILVER GREY 16 (57)	LAHABRA STUCCO
4	BALCONY RAILING	STEEL & GLASS	CLEAR	LA RAILING
5	WINDOWS / TRIM	VINYL / WOOD	WHITE / BROWN	JELD WEN WINDOW & DOOR
6	DOOR / TRIM	FIBERGLASS	BROWN	JELD WEN WINDOW & DOOR
7	GARAGE DOOR	STEEL / GLASS	SILVER / WHITE	CLOPAY GARAGE DOORS
8	COLUMN	WOOD	BROWN	NICHOLS LUMBER & HARDWARE



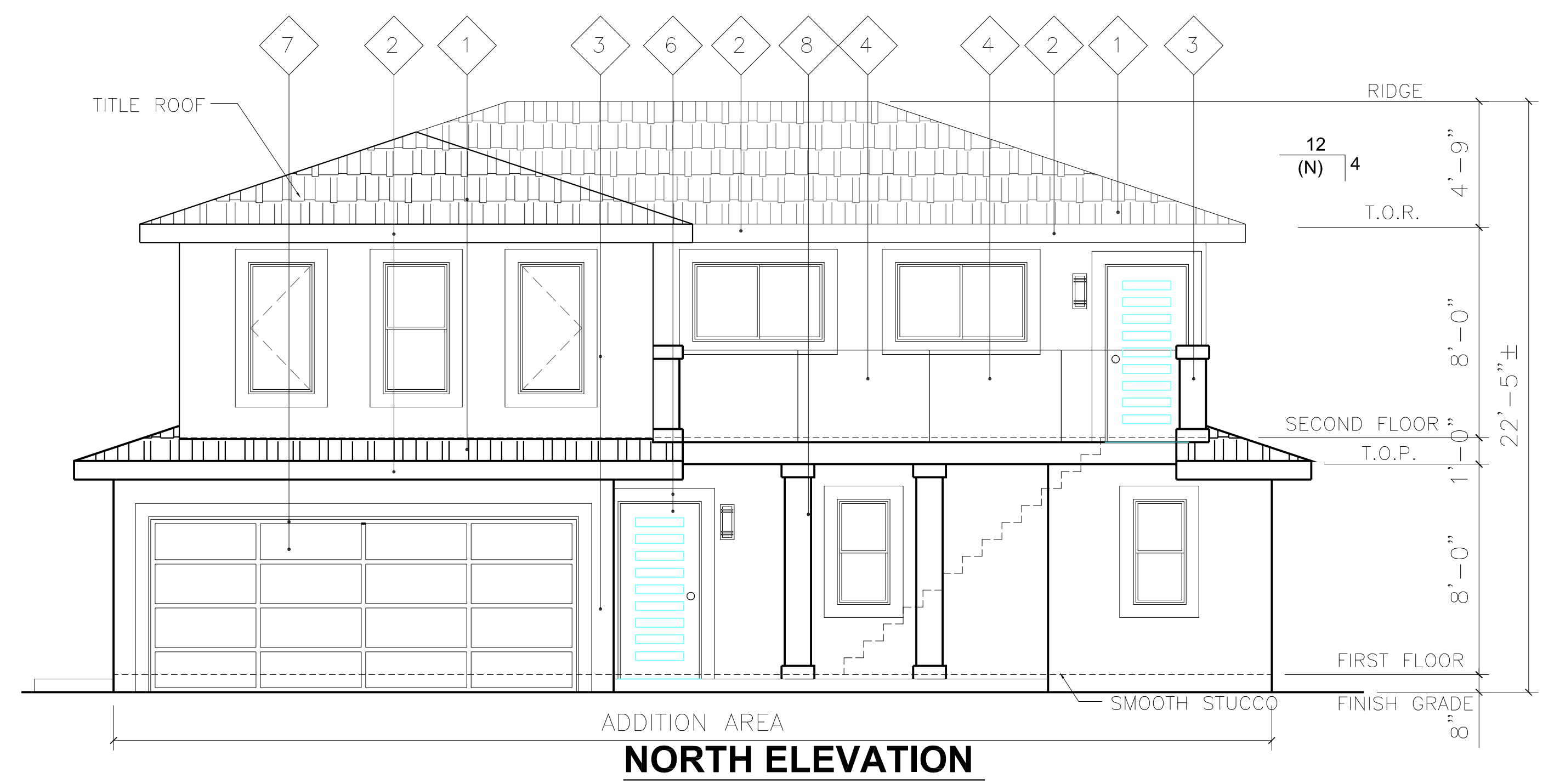
WEST ELEVATION



EAST ELEVATION



SOUTH ELEVATION



NORTH ELEVATION

ELEVATIONS (UNIT #4)

SCALE: 1/4" = 1'-0" 1

REVISIONS	
DATE	NO
08-07-2019	△
06-02-2020	△
10-07-2020	△
10-28-2020	△

DESIGNER: GREEN H CONSTRUCTION CORP.
21308 FAIRFINDER RD., #204
DAMOND BAR, CA 91765
TEL: (626) 288-1475
greenhconstruction@yahoo.com

JOB ADDRESS: CHENG RESIDENCE
518 FANO ST.,
MONROVIA, CA 91016

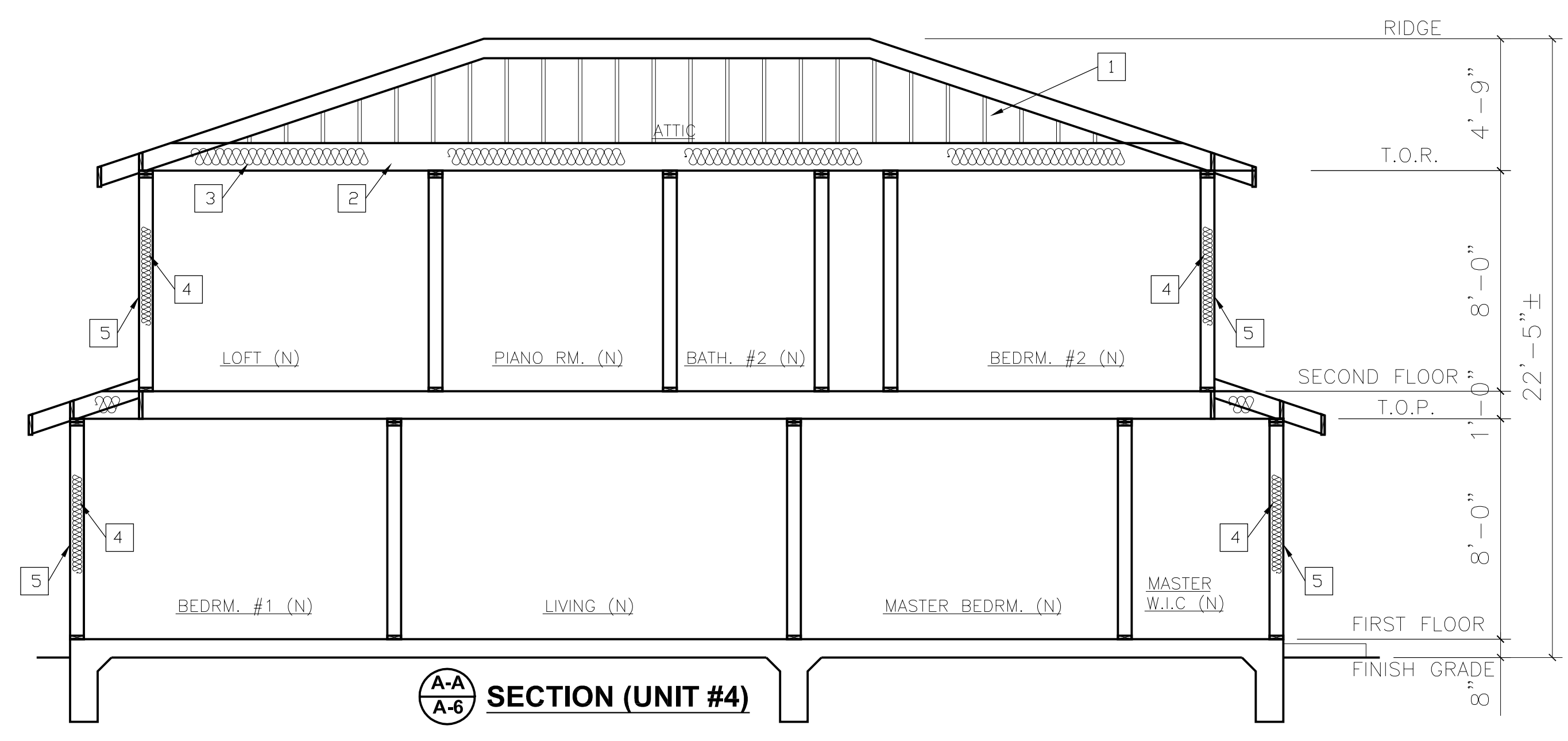
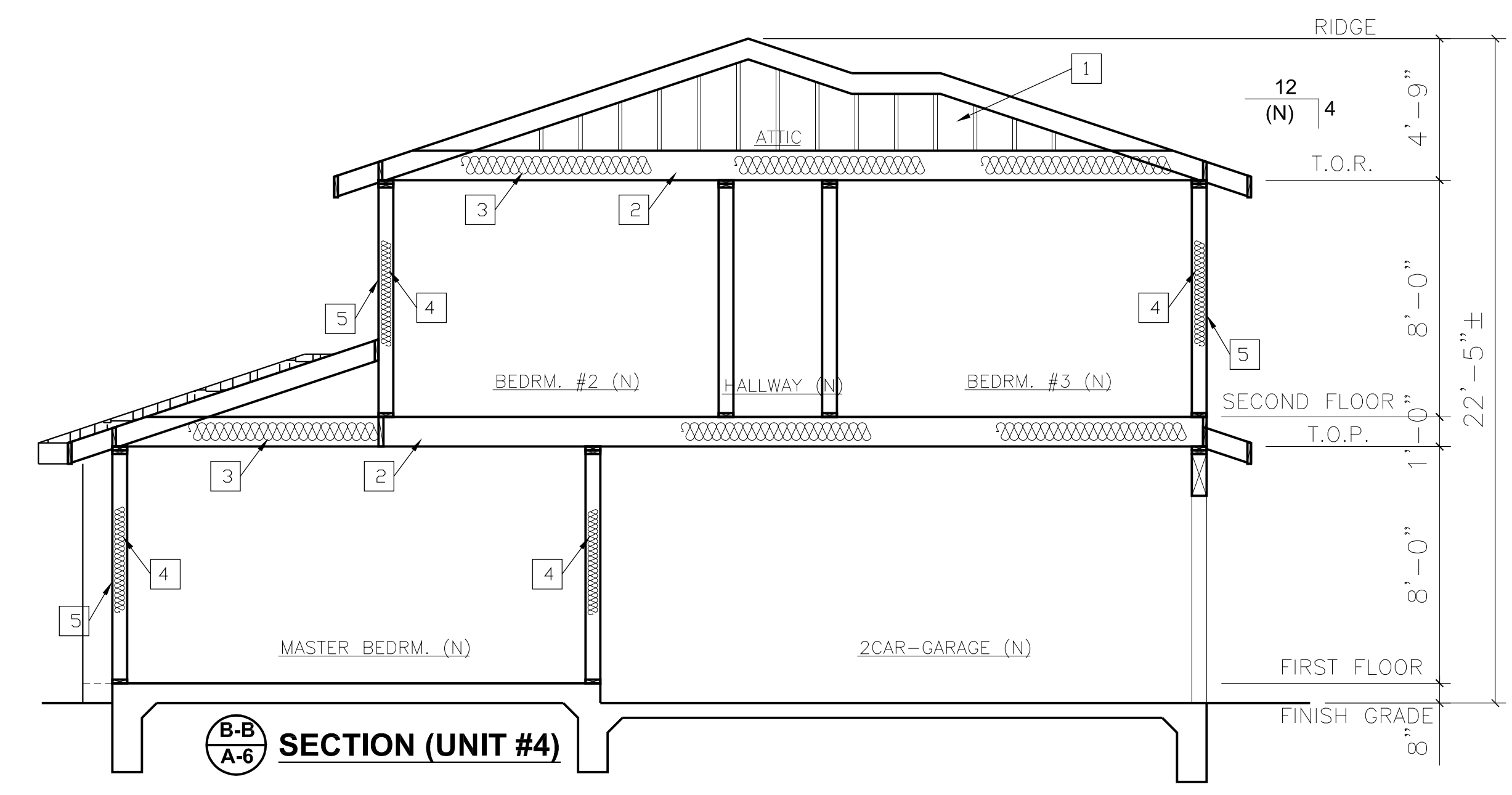
SHEET TITLE: ELEVATIONS (UNIT #4)

STAMP: LICENSED GENERAL CONTRACTOR
CHEN KUN LEE
No. 998187
Exp. 10-31-20
DESIGN-BUILD
STATE OF CALIFORNIA

Date: 10-22-2020
Scale: AS SHOWN
Drawn: LH
Job: 1834
Sheet: A-5

07/14/2020 10:45 AM

- SECTION KEY NOTES:**
- 2 X ROOF RAFTER (SEE ROOFING PLAN)
 - 2 X CEILING JOIST (SEE ROOFING PLAN)
 - R-30 INSULATION @ R.R. OR C.J. (TYP.)
 - R-13 INSULATION @ 2 X STUDS (TYP.)
 - STUCCO OVER WIRE MESH



REVISIONS	
DATE	NO
06-07-2019	REVISION COVERED PORCH
06-02-2020	REVISION COVERED PORCH

DESIGNER:	GREEN H CONSTRUCTION CORP. 21308 PANTFINGER RD., #204 DAMOND BAR, CA 91765 TEL: (626) 298-1475 greenhconstruction@yahoo.com
JOB ADDRESS:	CHENG RESIDENCE 518 FANO ST., MONROVIA, CA 91016
JOB ADDRESS:	SECTION (UNIT #4)
STAMP:	Date: 06-2-2020 Scale: AS SHOWN Drawn: SF Job: 1834 Sheet: A-6

Color Sample and Material Board

Roof: Color-Natural gray / light gray, Material-SHE 8704 State Range concrete tile, Manufactory- Eagle roofing



Cement Plaster:Color-Silver Gray 16 (57), Material-Stucco, Manufactory-LaHabra Stucco



Silver Gray
16 (57)
Base 200

Window: Material-Vinyl & Wood, Color-White/Brown, Manufactory-Jeld Wen Windows & Doors



Glass railing: Color-Silver/Clear, Material-Steel & glass, Manufactory- La Railing Inc.











