



PLANNING COMMISSION STAFF REPORT

APPLICATION: CUP2020-0009

AGENDA ITEM: PH-1

PREPARED BY: Vincent Gillespie,
Planning Technician

MEETING DATE: December 9, 2020

SUBJECT: Conditional Use Permit CUP2020-0009
230 West Cherry Avenue

REQUEST: Construct a new two-story dwelling unit with an attached two-car garage behind the main unit in the RM3500 zone.

APPLICANT: Benjamin Zhu (Project Designer)
111 South Walnut Avenue
San Gabriel, CA 91776

ENVIRONMENTAL DETERMINATION: Categorical Exemption (Class 3 – New Construction)

BACKGROUND: The applicant is proposing a new two-story rear unit behind a single-story dwelling unit on an 8,950 square foot lot in the RM 3500 (Residential Medium 3500) zone. Monrovia Municipal Code (MMC) Section 17.12.030(B)(1)(a) requires the approval of a Conditional Use Permit for multi-family development proposals that result in a two-story, rear unit behind a front dwelling. The applicant is also proposes to remodel the front unit and construct a new attached two garage, as the existing garage will be demolished to make room for the new dwelling.

SUBJECT PROPERTY: The property is located on the south side of West Cherry Avenue between South Primrose Avenue and South Magnolia Avenue. The lot measures 50 feet wide and 179 feet deep, resulting in a lot area of 8,950 square feet. The subject site abuts a five foot wide unimproved alley that was part of a ten foot wide alleyway connecting Primrose Avenue and Magnolia Avenue; this alley was partially vacated by the City in the past. There are one-story single-family homes to the east and west of the subject site and a one-story duplex located to the south.

Site and Surrounding Land Uses

The project site is designated Residential Medium Density (maximum 5.8-17.4 du/acre) in the General Plan and is zoned RM3500

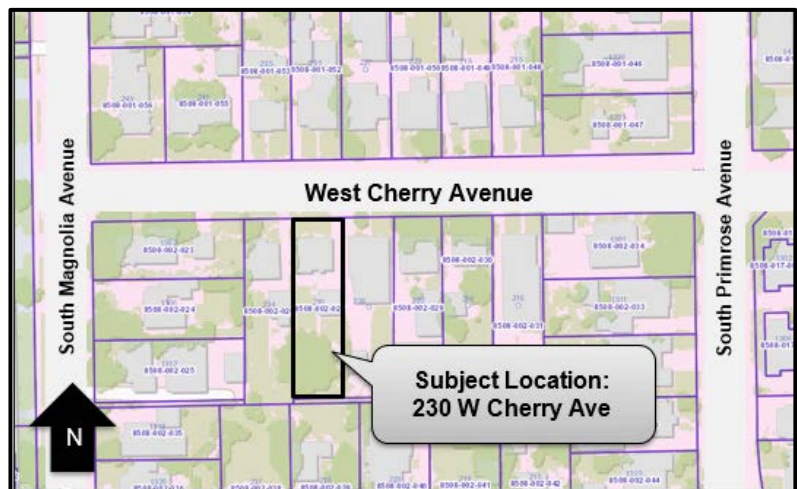


Figure 1. The subject site abuts a five foot wide vacant unimproved alley to the south.

(Residential Medium 3500). The site is surrounded by the following land uses:

North:

General Plan: Residential Medium Density (5.8-17.4 du/acre)
Zoning: RM 3500 (Residential Medium 3500)
Land Use: Single-family Residential

South:

General Plan: Residential Medium Density (5.8-17.4 du/acre)
Zoning: RM 3500 (Residential Medium 3500)
Land Use: Multi-family Residential (Two Units)

East:

General Plan: Residential Medium Density (5.8-17.4 du/acre)
Zoning: RM 3500 (Residential Medium 3500)
Land Use: Single-family Residential

West:

General Plan: Residential Medium Density (5.8-17.4 du/acre)
Zoning: RM 3500 (Residential Medium 3500)
Land Use: Single-family Residential

DISCUSSION/ANALYSIS: The applicant is proposing the development of a new two-story detached rear dwelling unit behind the existing one-story front dwelling. The existing 992 square foot house will be remodeled to include a 755 square foot addition to the rear, and a remodeled (east) elevation in order to widen the driveway.

Site Plan

The property is currently developed with a main dwelling and a detached two-car garage that were built in 1950. The dwelling has 992 square feet of floor area, which will be expanded to 1,747 square feet with an addition to the rear. The applicant has chosen to remodel the side (east) elevation to facilitate the expansion of the existing driveway along the east side of the property from 10'-11" to 12'-0" in width. The driveway will extend further south to provide vehicular access to the garages for each unit.

The front dwelling will have two private yard spaces totaling 711 square feet which are directly accessible from the dwelling; a small outdoor space is located on the west side of the structure and a larger area is located at the rear.

The new detached 1,789 square foot, rear unit will be at the rear side of the lot and is oriented towards the street. This dwelling will also have an attached two-car garage. The private yard space is 50 feet wide by 20 feet deep behind of the house.

The subject property is located in the RM3500 (Residential Medium 3500) zone which allows one dwelling unit per 3,500 square feet of lot area. As shown in Table 1.0, the new development meets or exceeds all Zoning Code requirements, in relation to density, building setbacks, building height, recreation space, and parking.

TABLE 1.0 DEVELOPMENT STANDARD COMPLIANCE REVIEW

Development Standard	Required/Allowed	Proposed
Density (1 du/3,500SF)	Maximum: 2 units	2 units
Floor Area Ratio (FAR) (40% Dwelling Unit / 20% Accessory Structure)	Maximum: 40% / 20%	39.5% / 9.5%
Front Setback (25 FT or Average Setback, whichever is greater)	25'-0"	23'-7" (Existing Setback)
Side Setback – First Story 10% of lot width (5ft min. – 15ft max.)	5'-0"	12'-0" (Main Dwelling East Side) 5'-0" (Main Dwelling West Side) 5'-0" (Second Dwelling)
Side Setback – Second Story	8'-0"	8'-0" (Second Dwelling)
Rear Setback	20'-0"	20'-0"
Building Height	27'-0"	15'-4" (Main Dwelling) 24'-8" (Second Dwelling)
Private Recreation Space 40% of gross dwelling unit floor area	Minimum: 699 SF (Main Dwelling) 716 SF (Second Dwelling)	711 SF (Main Dwelling) 1,000SF (Second Dwelling)
Parking	2-car garage/dwelling	2-car garage/dwelling

Floor Plans/Building Elevations

The existing dwelling will be modified so that the property will meet the Zoning Code requirements. The east elevation of front dwelling will be cut back towards the west by 1'-1" allowing for the expansion of the driveway width from 10'-11" to 12'-0" as required by the Code. Although the alteration will remove the existing brick chimney and the east-facing wall, the front façade will remain relatively unchanged. Given that the amount of building alteration is less than 50% of the total roof area, 50% of the total wall area, and 25% of the front façade, the proposal is not subject to a determination of historic significance by the Historic Preservation Commission outlined in MMC Chapter 17.10.

The front dwelling will also feature an addition to the south and a new attached two-car garage. The 755 square foot addition will add two new bedrooms, a bathroom, and family room. The additional rooms will provide for more living space for a larger household. The addition will also have a laundry closet accessible from the outside patio area. The proposed alterations result in a total floor area of 1,747 square feet for the front dwelling.

The new rear dwelling unit is 1,789 square feet in size. The first floor has a bedroom, a bathroom, the dining room, living room, kitchen, and an attached two-car garage. The second floor has three additional bedrooms, two bathrooms, and a laundry room.

The architectural style of the rear unit complements the Minimal Traditional style of the front dwelling and other homes within the neighborhood. It incorporates matching design elements, such as roof pitch, stucco and Hardie Board siding, shutters, and porch details.

Neighborhood Context

The surrounding neighborhood is primarily developed with one-story Minimal Traditional style, single-family homes built in the 1940's and 1950's. There are a few multi-family developments on the block including a recently approved project at 235 West Cherry Avenue. There are several multi-family dwellings located on the cross streets of Primrose Avenue and Magnolia Avenue. The neighborhood's development pattern is transitioning from single-family to multi-family.

The site has been sensitively designed to minimize impacts on the neighboring properties. All windows on the second story of the new house are placed carefully to address privacy and view shed impacts on the neighboring properties. On the side elevations (east and west), the windows have raised sill heights to help ensure privacy to the adjacent neighbors. Larger egress windows were placed on the front and rear (north and south) elevations. There is only one large window facing a neighboring structure to the south, which is 65 feet away from the back side of the new house.

Landscaping in the rear yard setback includes a mix of trees and shrubs to further reduce privacy impacts to neighbors. The project includes a condition (Condition #14 on Data Sheet No. 1) to provide a landscape plan that incorporates quality landscape materials proportionate to the size of the development. The plan will need to incorporate appropriate trees in addition to a variety of plants, shrubs, and groundcover to be planted throughout the site.

Several design techniques were incorporated into the new home design to ensure the massing fits within the character of the neighborhood. These include stepping back the second floor rear elevation from the ground floor as well as articulating the second floor wall planes. The second floor also features different exterior wall material from the first floor to break-up the overall massing. The front façade is well-balanced, featuring two prominent second-story windows with shutters flanking each window. When combined with the Hardie Plank siding and the hip roof system, the second unit has a low-profile design that is complementary to the property's Minimal Traditional architectural style.

Development Review Committee Advisory Review

The DRC meeting format changed temporarily due to the COVID-19 pandemic. Although DRC project reviews and determinations are normally conducted during open public meetings, due to the COVID-19 pandemic the arrangement has been temporarily modified to protect residents, property owners, applicants, staff, and elected officials. This change is in accordance with the "Safer at Home" orders, Executive Order N-29-20, and guidance from the California Department of Public Health on gatherings. To further reduce the spread of COVID-19, all DRC review and determination authority was temporarily delegated to the Community Development Director pursuant to City Council Urgency Ordinance (Ordinance No. 2020-06U).

The City's Community Development Director, on behalf of the City's DRC, conducted an "Advisory Review" of the project and made a formal recommendation to the Planning Commission on November 18, 2020.

As part of this advisory review, Staff sent out a courtesy notice to property owners within 300 feet of the subject property. The courtesy notice was provided to further encourage and allow

for public input regarding the project prior to the public hearing. Staff did not receive any inquiries or comments regarding the proposed development prior to the meeting held on November 18, 2020.

The Community Development Director recommended approval of the project on behalf of the DRC. It should be noted here that other departments were given the opportunity to provide feedback on this project during the pre-application review phase.

Conclusion

The proposed development will result in a development that meets all the objective Zoning Code requirements. This area is zoned for multi-family development and there are several multi-family structures within this block of West Cherry Avenue which are two-story. In addition, the construction of the second unit in the Minimal Traditional style is compatible with the architectural style of the primary house and character of the neighborhood.

RECOMMENDATION: Staff recommends approval of the Conditional Use Permit CUP2020-0009. If the Planning Commission concurs with this recommendation then, following the public hearing, the appropriate actions would be:

1. Pursuant to the California Environmental Quality Act (“CEQA”) and the City’s local CEQA Guidelines, the Planning Commission in the exercise of its independent judgment finds that CUP2020-0009 are categorically exempt from CEQA under Class 3.
2. The Planning Commission finds that the custodian of records for all other materials that constitute the record of proceeding upon which this decision is based is the Planning Division Manager. Those documents are available for public review in the Planning Division located at 415 South Ivy Avenue, Monrovia, California, 91016.
3. The Planning Commission in the exercise of its independent judgment hereby makes the findings listed on attached Data Sheet No. 3 for CUP2020-0009, which are incorporated herein by this reference.
4. The Planning Commission approves CUP2020-0009, subject to the attached Planning Conditions on Data Sheet No. 1, Public Works Conditions on Data Sheet No. 2, and recommendations in the Staff Report, all of which are incorporated herein by this reference.

MOTION:

Close the public hearing and approve CUP2020-0009 pursuant to the recommendations in the Staff Report.



STANDARD CONDITIONS FOR MULTIPLE RESIDENTIAL DEVELOPMENT

Development of the subject property and operations on the site must remain in substantial conformance at all times with the request and application forms and plans submitted by the applicant, as approved by the Planning Commission and placed on file in the office of the Planning Division, except as modified by the conditions imposed by the Planning Commission and by subsequent modifications determined by the Planning Division Manager to be in substantial compliance with the conditions of approval. The term "Applicant" as used herein shall include the applicant, the property developer and all successors in interest to this conditional use permit.

DEVELOPMENT STANDARDS

1. A final materials board shall be submitted to the Planning Division Manager for review and approval prior to building permit issuance. The final materials board shall include a breakdown by unit of materials to be used and samples/examples of siding, stucco, stone veneers, windows, exterior doors, garage doors, roofing, color schemes and exterior light fixtures.
2. A decorative block wall shall be provided by the Applicant adjacent to the side property lines but outside of the front setback area. The property line wall must be a minimum of five feet above the subject property's finished grade and a minimum of five feet and a maximum of six feet above the adjacent property's grade, measured in accordance with the Monrovia Municipal Code. The walls shall be installed before building construction begins.
3. All private recreation areas must be enclosed by 5' to 6' high wood fence or decorative block wall or approved alternative. All proposed fences shall be shown and indicated on the submitted site plan.
4. "The Applicant shall make a good faith effort to work with adjacent property owners (that have existing walls/fences) to avoid a double wall condition, to provide a single wall along the project's perimeter. The applicant shall notify by certified mail all contiguous property owners at least 30 days prior to the removal of any existing walls/fences along the project's perimeter and shall provide proof of mailing to the contiguous property owners to the City prior to the issuance of any demolition or building permits."
5. If a driveway gate is proposed at a later date the Development Review Committee shall consider the request after providing written notification to property owners within a 300' radius of the site. The cost of such notification shall be paid in advance by the Applicant.
6. An area for storage of individual trashcans shall be provided on a paved surface and screened and shall be shown and indicated on the submitted site plan.

7. A level concrete patio shall be provided for each unit in the private recreation area and shall be indicated on the grading plan and approved by the Development Review Committee prior to the start of grading.
8. Placement and design of mailboxes shall be reviewed and approved by both the U.S. Postal Service and the Planning Division prior to installation.
9. No roof mounted mechanical equipment shall be permitted.
10. Ground level mechanical equipment shall be placed a minimum of 5' from the interior property lines and shall be completely screened with landscaping. Ground level mechanical equipment shall not be located within the front setback.
11. Electrical power lines, telephone lines, and any other transmission lines (including, without limitation, cable television lines, data transmission lines, communication lines, other utility lines, etc.) to and from the development, and within the development, shall be placed underground and provided to each unit.
12. All utilities and structures such as gas meters, electrical meters, and telephone pedestal-mounted terminal boxes, surface mounted electrical transformers, or other potential obstructions shall be noted on the plans with provisions for appropriate screening.
13. Plans showing all exterior lighting shall be submitted to the Planning Division for review prior to building permit issuance and no exterior lighting shall be installed without the approval of the Planning Division Manager. All exterior lighting shall be designed, arranged, and installed so as to confine direct rays onto the premises and to direct light away from adjacent structures.

LANDSCAPING

14. A Landscape and Irrigation Plan prepared by a Landscape Architect shall be submitted to the Planning Division for plan check showing the size, type, and location of all planting areas and shall incorporate the Tree Retention Plan and the following conditions of approval:
 - a. Landscaping shall be a combination of 24" and 36" box trees, shrubs, groundcover, and turf. Retention of existing mature trees is encouraged.
 - b. All landscaping shall be maintained by a permanent automatic irrigation sprinkler system.
 - c. Any unimproved City right-of-way contiguous with the property shall be landscaped by the Applicant and incorporated into the required landscape plan.
 - d. Hardscape improvements shall be provided in common areas.
 - e. Landscape shall be designed to minimize privacy impacts to the neighbors.
15. A landscape documentation package pursuant to the requirements of the State Model Water Efficient Landscape Ordinance shall be submitted to the Planning Division for approval prior to landscape construction. A Landscape Certificate of Completion shall be submitted to the Planning Division at the completion of the installation, prior to request for a final inspection and Certificate of Occupancy.

PARKING

16. All paved parking and driveway areas shall be surfaced with Portland cement concrete (3-1/2" minimum thickness) or approved alternative.
17. All driveway surface areas shall incorporate accent treatment throughout the design. Accent treatment shall include stamped concrete or other approved treatment.

CONSTRUCTION SITE REQUIREMENTS

18. Provide temporary perimeter fencing with view obscuring material during construction. If graffiti is painted or marked in any way upon the premises or on an adjacent area under the control of the Applicant (including without limitation, any temporary perimeter construction fencing or the permanent wall), the graffiti shall be removed or painted over by Applicant within twenty-four hours, unless any law in effect imposes a shorter time period. Fencing may be removed prior to landscape installation with Planning Division approval.
19. One waterproof sign (36" x 48") in both English and Spanish noting construction hours and a phone number for contact shall be posted at the front of the site prior to grading or construction.

GENERAL REQUIREMENTS

20. In addition to Planning (Data Sheet No. 1) and Public Works (Data Sheet No. 2) conditions of approval, the Applicant shall also comply with all requirements of the Monrovia Municipal Code, Building Division and Fire Department that are directly applicable to the project.
21. Any violation of these conditions of approval or the Monrovia Municipal Code may be subject to the Administrative Fine Ordinance, other available remedies and/or revocation or modification of this permit at the discretion of the City Attorney and City Prosecutor.
22. The Applicant shall, within 30 days after approval by the Planning Commission, submit to the Community Development Department his/her written consent to all of the conditions of approval contained in Data Sheet Numbers 1 and 2. The Conditional Use Permit 2020-0009 shall be void and of no force or effect unless such written consent is submitted to the City within the 30 day period.
23. All of the above conditions shall be complied with prior to issuance of the Certificate of Occupancy, unless an earlier compliance period is specified as part of a condition. These conditions shall be printed on all grading and construction documents for Building Plan Check.
24. Indemnification. As a condition of approval, Applicant agrees to defend, indemnify, protect and hold harmless City, its officers, officials, employees, agents and volunteers from and against any and all claims, actions, or proceeding against the City, its officers, officials, employees, agents and/or volunteers to attack, set aside, void or annul, an approval of the City, Planning Commission or City Council concerning this permit and the project. Such indemnification shall include damages, judgments, settlements, penalties, fines, defensive costs or expenses,

including, but not limited to, interest, attorneys' fees and expert witness fees, or liability of any kind related to or arising from such claim, action, or proceeding. The City shall promptly notify the Applicant of any claim, action, or proceeding. Nothing contained herein shall prohibit City from participating in a defense of any claim, action or proceeding. The City shall have the option of coordinating the defense, including, but not limited to, choosing counsel for the defense at Applicant's expense.



Development shall be subject to the conditions of approval listed below. The term "Applicant" shall include, without limitation, the applicant, the property developer, the property owner, and all subsequent owners.

Engineering Conditions

- a) Site Plan showing; survey monuments, boundaries, easements and right-of-ways
 - i) Submit existing site plan, topographic map of the project site, grading, drainage and utility plan to Public Works Department for review and approval. The plans shall indicate existing and proposed structures, miscellaneous facilities if applicable and all utilities applicable within the project site. The plans shall be prepared on a 24" x 36" sheets with City standard title block stamped and signed by a Registered Professional Civil Engineer in the State of California.
 - ii) All site plans, grading plans, drainage plans and street improvement plans shall be coordinated for consistency prior to the issuance of any permits.
- b) Water Improvements
 - i) The Applicant shall install additional water service to Monrovia's water system to serve the new unit for domestic and fire usage within the City of Monrovia to the specifications of the City Engineer **or provide calculations to justify the added capacity to the existing water service.**
 - ii) All water lines within the project site shall be a private system maintained by the project and not the City of Monrovia's responsibility. The project shall provide adequate backflow at the transition from right of way to the private/public utility easement. The City of Monrovia shall not be responsible for the any utility after the backflow and meters.
 - iii) All backflow devices will be reduced pressure double check valves from the state approved list. Developer/owner will provide testing of all state approved devices prior to operation and on an annual basis. If testing is not provided, city has the right to test at the owner's expense for said testing. If test fails owner shall replace approved device at their cost with approval from city water personnel.
 - iv) The applicant will be responsible for all costs to connect to the City water system and installation of all new fire hydrants off the City system, if required by the Fire Department. The developer shall prepare engineered plans, approved by the City Engineer, and pay for all construction, equipment, testing and inspection for the connections, hydrants and services. These plans to be on separate improvement plans and submitted to Public Works for approval and construction/encroachment permits.
- c) Waste Water Improvements
 - i) If the applicant installs an additional sanitary sewer to serve the development, it shall be at

the applicant's expense and to the specifications of the City Engineer. If the applicant is to use the existing lateral to the sewer system, the applicant shall CCTV the existing lateral (from the property line to the sewer main connection) for the condition of the lateral and the connection to the main system. If the CCTV indicates that the lateral or the connection need improvements, the applicant shall make the needed improvements at the applicant's cost to the specification of the city engineers.

ii) The applicant shall provide evidence of payment and approval for connection of sewer units to LA County Wastewater System.

d) Geotechnical Investigation and Report

- i) Prior to issuance of a grading permit or encroachment permit, Applicant shall provide geotechnical report that addresses earthwork and foundation recommendations, including but not limited to, earthwork, retaining walls and foundation construction adjacent to the existing structures located on the property, pavement structural sections and recommendations. The geotechnical report shall include data regarding the nature, distribution and strengths of existing soils, conclusions and recommendations for grading procedures, design criteria for and identified corrective measures, and opinions and recommendations regarding existing conditions and proposed grading. The report shall also include subsurface geology of the site, degree of seismic hazard if any, conclusions and recommendations regarding the effect of geologic conditions on the proposed development, opinions and recommended design criteria to mitigate any identified geologic hazards including locations of surface and subsurface fault lines in the area as applicable.

e) Hydrology Report and Hydraulic Calculations

None required, based on lot size and location.

f) Grading Plan

- i) Grading plan shall conform to MMC Chapter 15.28 and be prepared on a 24" x 36" sheets with City title block. Required improvements may be shown on the grading plan along with site drainage.
- ii) Applicant shall provide an analysis and construct required infiltration and/or treatment of storm water from impervious surfaces prior to reaching direct connections leading to the main storm drainage system or street.
- iii) All required mitigation measures identified in the soils engineer's and geologist's reports shall be incorporated into the grading/drainage plans and a made a part thereof.
- iv) Grading plan to provide a scaled detail section at each property line where the project is in cut or fill greater than 0.5 feet. Provide in relation to the adjacent property existing conditions: set back dimensions, retaining wall dimensions and encroachments, ground and finish surface elevations, cut and fill slopes including code setbacks, and direction of flow indicators.
- v) All site drainage shall flow away from the proposed development and existing structures and shall have positive drainage to the street. Drainage onto neighboring lots (cross lot drainage) is not allowed.
- vi) Owner/Developer to submit a pad certification for the earthwork compaction prior to foundation inspection approval. Pad certification shall be stamped from a professional engineer who is approved for this type of work.

vii) ***Site drainage shall be mitigated with gravity drainage systems. The use of sump pumps and pressure systems is highly discouraged. If a sump pump/pressure system is proposed, a backup underground storage and percolation system is required to hold the one-hour point rainfall of a 100 year storm event times the entire surface area draining to the sump location.***

g) Composite Utility Plan

- i) Applicant shall submit a Composite Utility Plan showing all proposed utility cuts for services for Water and Sewer. The Composite Utility Plan shall be submitted for approval using the City's template and approved notes prior to issuance of encroachment permits.
- ii) Owner/Developer shall be responsible for all water and sewer utilities to this additional unit. All costs for any additional water services/meters or sewer lateral connections will be paid and constructed by the owner/developer with approved plans and an encroachment permits obtained from Public Work Department.
- iii) Utility plans including sewer, water, gas, including all abandoned, or to be removed facilities, etc. for the proposed development shall be submitted for review and approval by the City Engineer. Pay all applicable fees for Engineering Division services for issuance of Public Works permits.
- iv) Applicant shall connect all buildings to the public sewer. All new sewer connections are to be constructed through new or existing lateral(s) (sized per the current plumbing code and engineered calculations, minimum 6 inches) with clean-out(s) at property line per City standard drawing S-215 and S-225. Cap off all abandoned laterals at the connection point from the main line to the satisfaction of the City Engineer. Indicate on the Site/Utility Plan the work to be done by the Applicant.
- v) A CCTV video of the existing/proposed sewer lateral connecting to the City mainline is required for the project; a copy of the video shall be submitted to Public Works. Prior to CCTV please notify the Department of Public Works requesting to have the Public Works Inspector on-site to witness the inspection.
- vi) Applicant shall underground all electrical and communication service lines to the new buildings.

h) Off-site Street Improvement Plans

- i) Remove and replace any curb, gutter, sidewalk, driveway approach or street pavement found by the City Engineer to be broken, uplifted, damaged or not meeting current ADA standards. Construct improvements as required, per City standard drawings to match existing improvements on adjacent properties. All ADA requirements shall be satisfied by the Applicant. These conditions apply on public right-of-way along property frontage.
- ii) All work such as but not limited to demolition, construction and improvements within the public right-of-way shall be subject to review and approval of the Public Works Department, and will require construction and encroachment permit from the City's Public Works Department, prior to start of any construction. All work within the public right-of-way shall be in accordance with applicable standards of the City of Monrovia, Standard Specifications for Public Works Construction ("Green Book", latest edition) and the Manual on Uniform Traffic Control Devices (MUTCD, latest edition), and further that construction equipment ingress and egress be controlled by a plan approved by the City Engineer.

iii) The City requires the restoration of the existing pavement after utility installation. Restoration is required from the outer limits of the area covering and encompassing all the utility cuts as shown on the plans, but actual limits shall be determined out in the field by City Engineer. Restoration of asphalt pavement may be up to 2-inch pavement grind and 2-inch asphalt overlay.

i) Traffic Engineering Conditions

i) None required, based on size of project and trip generation.

j) Environmental Conditions

i) Project is under 10,000 impervious Square feet and should meet the minimum standards as outlined on the attached City of Monrovia LOW IMPACT DEVELOPMENT STANDARDS.

k) Demolition of Existing Structures

i) The project demolition activities shall comply with the City's Construction and Demolition Recycling Program (C&D Recycling Program) by filing an application and submitting a deposit to Public Works Environmental Services prior to issuance of permits. Building, demolition, and grading permits will not be issued until the applicant provides the City with the required forms and the waste management plan has been reviewed and approved by the Environmental Services. If the Applicant chooses not to participate in the C&D Recycling Program, then the hauler must be identified on the demolition, building and grading plans.

ii) Building demolition permit will not be issued until the applicant provides copy of Air Quality Management District (AQMD) permit.

l) As-built Plans

i) Applicant shall provide to the City of Monrovia revised plans of the original size, on mylar, showing all as-built conditions for the off-site and on-site improvements prior to the final Certificate of Occupancy

Questions or comments: Brad S. Merrell, P E
City Engineer
Cell # 760-900-7526
bmerrell@ci.monrovia.ca.us



CONDITIONAL USE PERMIT

As required by Section 17.52.290 of the Monrovia Municipal Code, the decision for granting Conditional Use Permit No. CUP2020-0009 to construct a new two-story rear dwelling unit behind an existing front dwelling unit located at 230 West Cherry Avenue is based on the following findings:

- A. The project site is adequate in size, shape and topography for the proposed development. *The site has sufficient width, depth and lot area to accommodate this type of development. The site is rectangular in shape and relatively flat and of sufficient size to accommodate the new rear unit. The proposed development meets or exceeds all objective development standards including density, setbacks, height, parking, and recreation space for the RM3500 zone.*
- B. The project site has sufficient access to streets and highways, adequate in width and pavement type to carry the quantity and quality of traffic generated by the proposed development. *The project provides the required number of enclosed residential parking spaces of two garage spaces per dwelling unit. The proposed development has access to West Cherry Avenue through the existing driveway that will be widened to a width of 12'-0". The property is located in close proximity to South Myrtle Avenue and West Huntington Drive, two major thoroughfares.*
- C. The proposed development will be compatible with the General Plan and will not adversely impact the objectives of the General Plan. *This development works towards achieving Goal 4 of the Land Use Element by maintaining the established architectural style, development pattern, building materials, and scale of buildings within the vicinity of the proposed project. Specifically, the new rear unit will have similar building mass and materials as other two-story developments in the vicinity. The construction materials are appropriate in quality and design for the Minimal Traditional architectural style of the existing home and the neighborhood.*
- D. The proposed development will comply with the applicable provisions of the Zoning Ordinance. *The property is zoned RM3500 (Residential Medium 3500) and the proposed second dwelling unit meets or exceeds all development standards, including density, setbacks, height, parking, and recreation space. The lot is 8,950 square feet, which is large enough to accommodate two units. The new dwelling complies with the minimum setback requirements, and is below the maximum height and Floor Area Ratio (FAR) limits for the property.*
- E. The location of the proposed development and the conditions under which it will be operated or maintained will not be detrimental to the public health, safety or welfare, nor will it be materially injurious to properties or improvements in the

vicinity, as the site will be upgraded to include new landscaping, perimeter walls, and architectural amenities. It is in a residential neighborhood transitioning from a single-family development pattern to a multi-family development pattern. The retention of the existing front dwelling unit will retain the traditional post-war era character of the neighborhood. Other two-story dwelling units in the vicinity are similar in massing, height, and scale as the proposed development. The new rear unit will incorporate Minimal Traditional architectural elements to match the prominent style of homes in the neighborhood.

- F. The proposed project will not result in the demolition of a residential structure built prior to January 1, 1940, with architectural or known historic value. *The front dwelling unit was built in 1950. Although an alteration will remove an existing brick chimney and the east-facing wall to accommodate a 12-foot wide driveway, the front façade will remain relatively unchanged. The alterations are considered minor in nature because they will affect less than 50% of the total exterior wall area, less than 50% of the total roof area, and less than 25% of the front façade. The main dwelling will retain a majority of its character defining features including its siding, windows, shutters, and roof pitch.*

HOUSING ACCOUNTABILITY ACT

The proposed development is subject to the approval requirements of the state Housing Accountability Act because the development meets or exceeds all of the applicable objective development standards contained within the Monrovia General Plan and the Monrovia Zoning Ordinance, including the density requirements, lot coverage requirements, setback requirements, and the Floor Area Ratio (FAR) requirements.

STRUCTURE ADDITION

230 W CHERRY AVE. MONROVIA , CA 91016

CIVIL ENGINEER:
CALLAND ENGINEERING,
INC.
576 E LAMBERT RD
BREA, CA 92821
714/671-1050

TITLE- 24 ENGINEER:
PERFECT DESIGN &
ENGINEERING, INC.
2416 W. VALLEY BLVD.
ALHAMBRA, CA 91803
626/289-8808

CONSULTANTS

- A-1 SITE PLAN
- A-2 UNIT 1 FLOOR PLAN
- A-3 UNIT 2 FLOOR PLANS
- A-4 ROOF PLANS
- A-5 UNIT 1 ELEVATIONS
- A-6 UNIT 2 ELEVATIONS

JOB ADDRESS: 230 W CHERRY AVE.
MONROVIA , CA 91016

OWNER: YING ZHUANG
230 W CHERRY AVE. MONROVIA , CA 91016

LOT SIZE: 8,950 SQ.FT.
APN #: 8508-002-027

JOB DESCRIPTION: EX. ONE STORY HOUSE STRUCTURE ADDITION
AND ADD A TWO STORY UNIT.

ZONING: RM

EX. HOUSE (UNIT 1)	
FLOOR AREA:	992 SQ.FT.
FRONT PORCH:	65 SQ.FT.
UNIT 1 ADDITION	
FLOOR AREA:	755 SQ.FT.
2-CAR GARAGE:	415 SQ.FT.
NEW UNIT 2	
FIRST FLOOR AREA:	880 SQ.FT.
SECOND FLOOR AREA:	909 SQ.FT.
2-CAR GARAGE:	432 SQ.FT.
FRONT PORCH:	32 SQ.FT.

TOTAL PERMITTED FLOOR AREA: 8950x40%=3580 SQ.FT. PROPOSED RECREATION SPACE : UNIT 1 REAR YARD 11X18+15X21=513 SQ.FT.

TOTAL PROPOSED FLOOR AREA: 992+755+880+909=3536 SQ.FT. UNIT 1 SIDE YARD 9X22=198 SQ.FT.

UNIT2 PERMITTED FLOOR AREA: 8950x20%=1790 SQ.FT. UNIT 1 TOTAL 198+513=711 SQ.FT.

UNIT2 PROPOSED FLOOR AREA: 886+903=1789 SQ.FT. UNIT 2 REAR YARD 20X50=1000 SQ.FT.

PERMITTED LOT COVERAGE: 8950x40%=3580 SQ.FT.

PROPOSED LOT COVERAGE: 992+65+755+415+886+432+32=3577 SQ.FT.

PERMITTED RECREATION SPACE : UNIT 1 (992+755)x40%=699 SQ.FT.

UNIT 2 (886+903)x40%=716 SQ.FT.

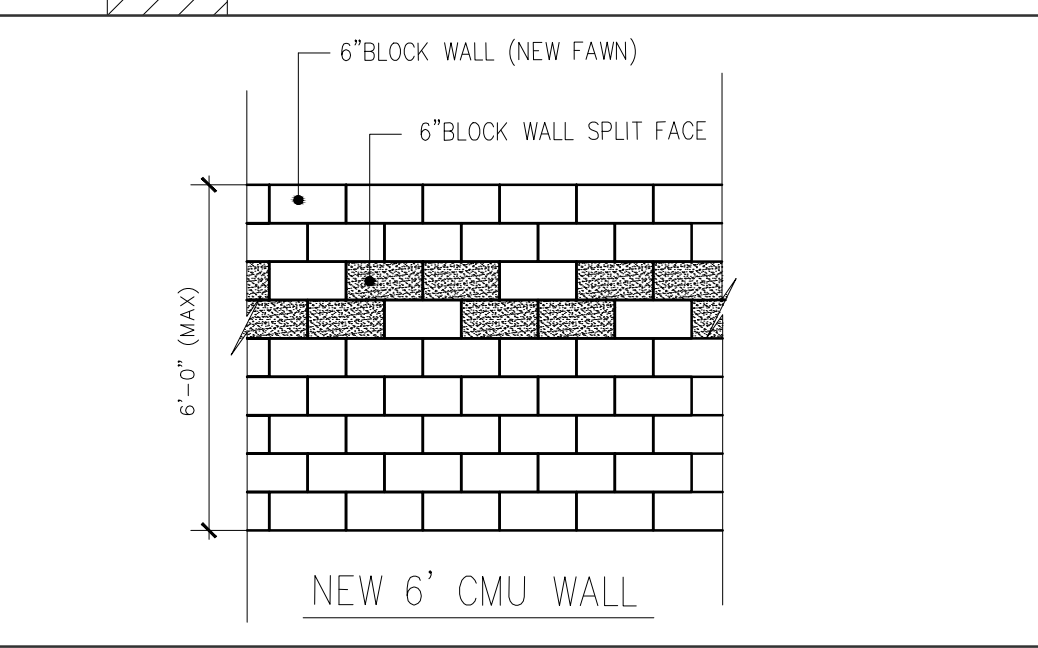
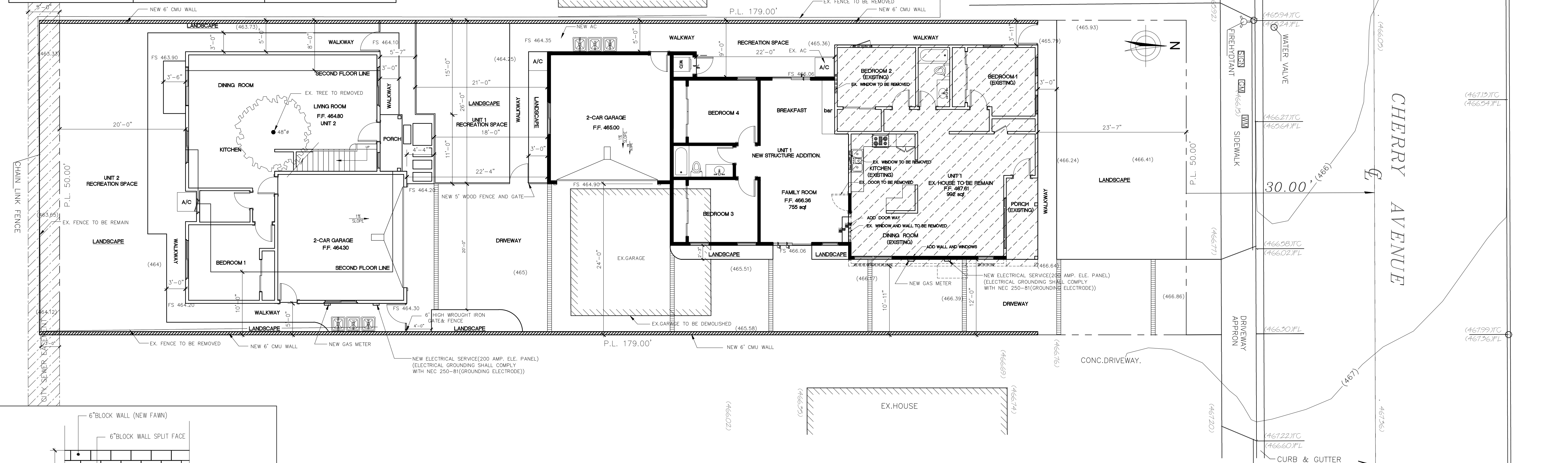
TYPE OF CONSTRUCTION: V-B W/ SPRINKLERED

OCCUPANCY GROUP: R3 / U

INDEX

ZONING COMPLIANCE		
	EXISTING	PROPOSED
LOT SIZE:	8950 SQUARE FEET	8950 SQUARE FEET
WIDTH	50 FEET	50 FEET
DEPTH	179 FEET	179 FEET
DWELLING SIZE:		
UNIT 1	992 SQUARE FEET	1747 SQUARE FEET
UNIT 2	0 SQUARE FEET	1789 SQUARE FEET
DWELLING SETBACKS:		
UNIT 1 FRONT	23.58 FEET	23.58 FEET
UNIT 1 REAR	123.17 FEET	77.5 FEET
UNIT 1 RIGHT SIDE (1ST/2ND)	3.92 FEET	3.92 FEET
UNIT 1 LEFT SIDE (1ST/2ND)	10.92 FEET	12 FEET
UNIT 2 FRONT	0 FEET	123.83 FEET
UNIT 2 REAR	0 FEET	20 FEET
UNIT 2 RIGHT SIDE (1ST/2ND)	0 FEET	5 FEET/ 5 FEET
UNIT 2 LEFT SIDE (1ST/2ND)	0 FEET	8 FEET/ 10 FEET
DWELLING HEIGHT:		
UNIT 1	15.33 FEET	15.33 FEET
UNIT 2	0 FEET	24.67 FEET

SQUARE FOOTAGE BREAKDOWN		
	EXISTING	PROPOSED
HABITABLE LIVING AREA:	992 SQUARE FEET	3571 SQUARE FEET
* measured to the outside surfaces of exterior walls;	(11.10 %)	(39.90 %)
<ul style="list-style-type: none"> • ALTERATION OR DEMOLITION OF 50% OR MORE OF A MAIN BUILDING'S ROOF AREA: EX. ROOF TOTAL AREA: 1193 SQ.FT. DEMOLISHED ROOF TOTAL AREA: 485 SQ.FT. 485/1193=40.7% < 50% NEW ROOF TOTAL AREA: 1818 SQ.FT. • ALTERATION OR DEMOLITION OF 50% OR MORE OF A MAIN BUILDING'S TOTAL EXTERIOR WALL AREA: EX. EXTERIOR WALL TOTAL AREA: 134.5' X 8'=1076 SQ.FT. DEMOLISHED EXTERIOR WALL TOTAL AREA: 58.5' X 8'=468 SQ.FT. 468/1076=43.5% < 50% • ALTERATION OR DEMOLITION OF 25% OR MORE OF ANY EXTERIOR WALL FACING A PUBLIC STREET EX. FRONT FACING WALL TOTAL AREA: 35.1' X 8'=280.8 SQ.FT. DEMOLISHED EXTERIOR WALL TOTAL AREA: 1.1' X 8'=8.8 SQ.FT. 8.8/280.8=3.1% < 25% 		



SITE PLAN SCALE 1/8"=1'-0"

APEC GROUP INC
111. S WALNUT GROVE AVE, SUITE 201
SAN GABRIEL, CA 91776
TEL: (626)294-9638 FAX: (626)698-0593

STRUCTURE ADDITION
230 W CHERRY AVE.
MONROVIA , CA 91016

Date 3/30/2020

Scale

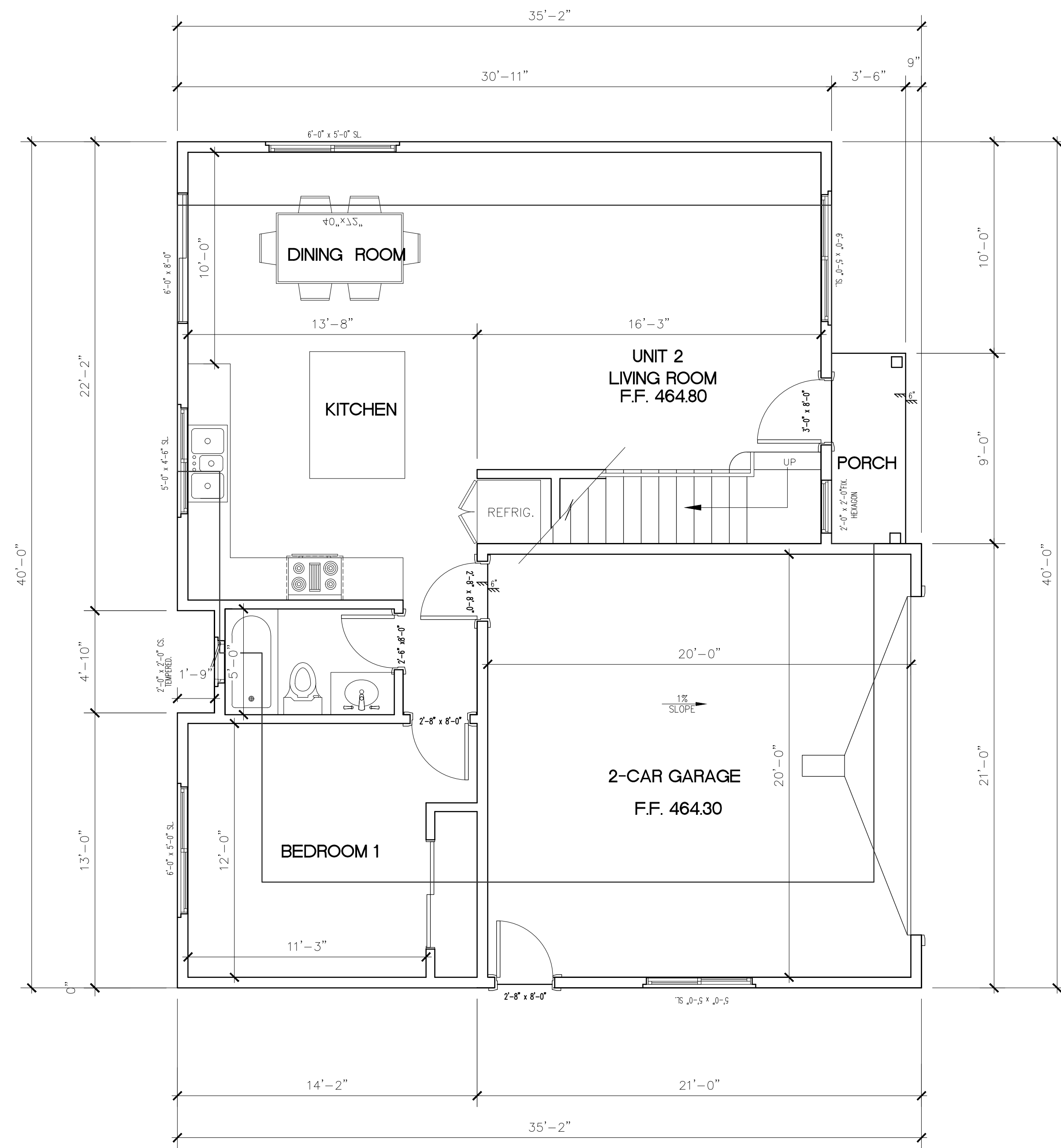
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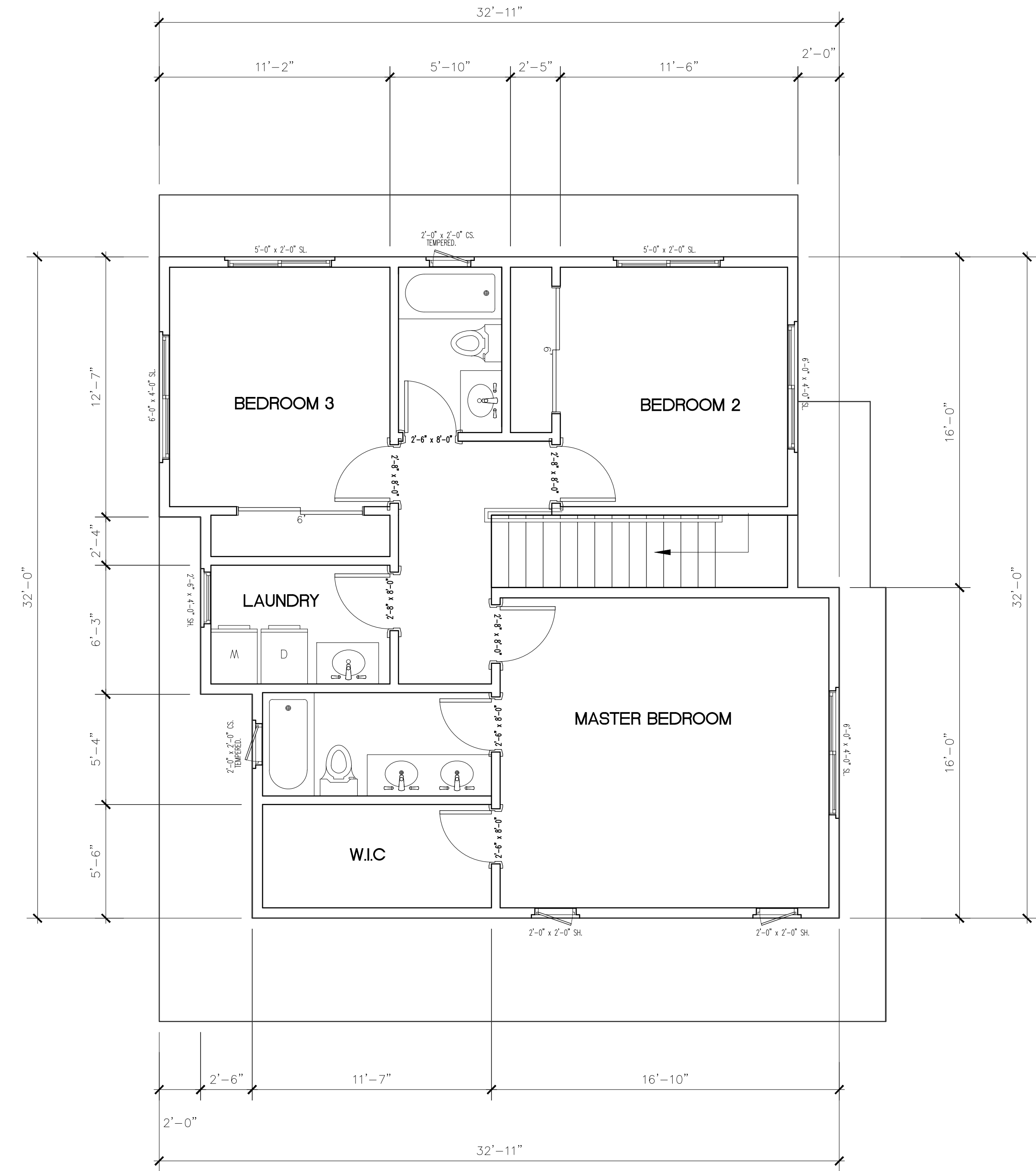
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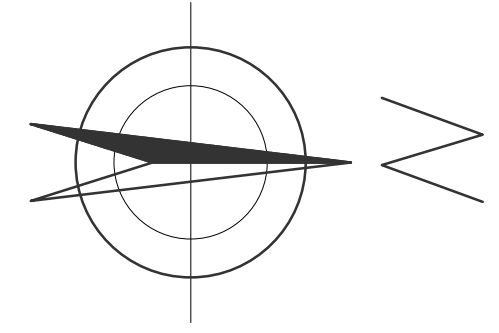
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FIRST FLOOR PLAN (UNIT 2) SCALE 1/4"=1'-0"



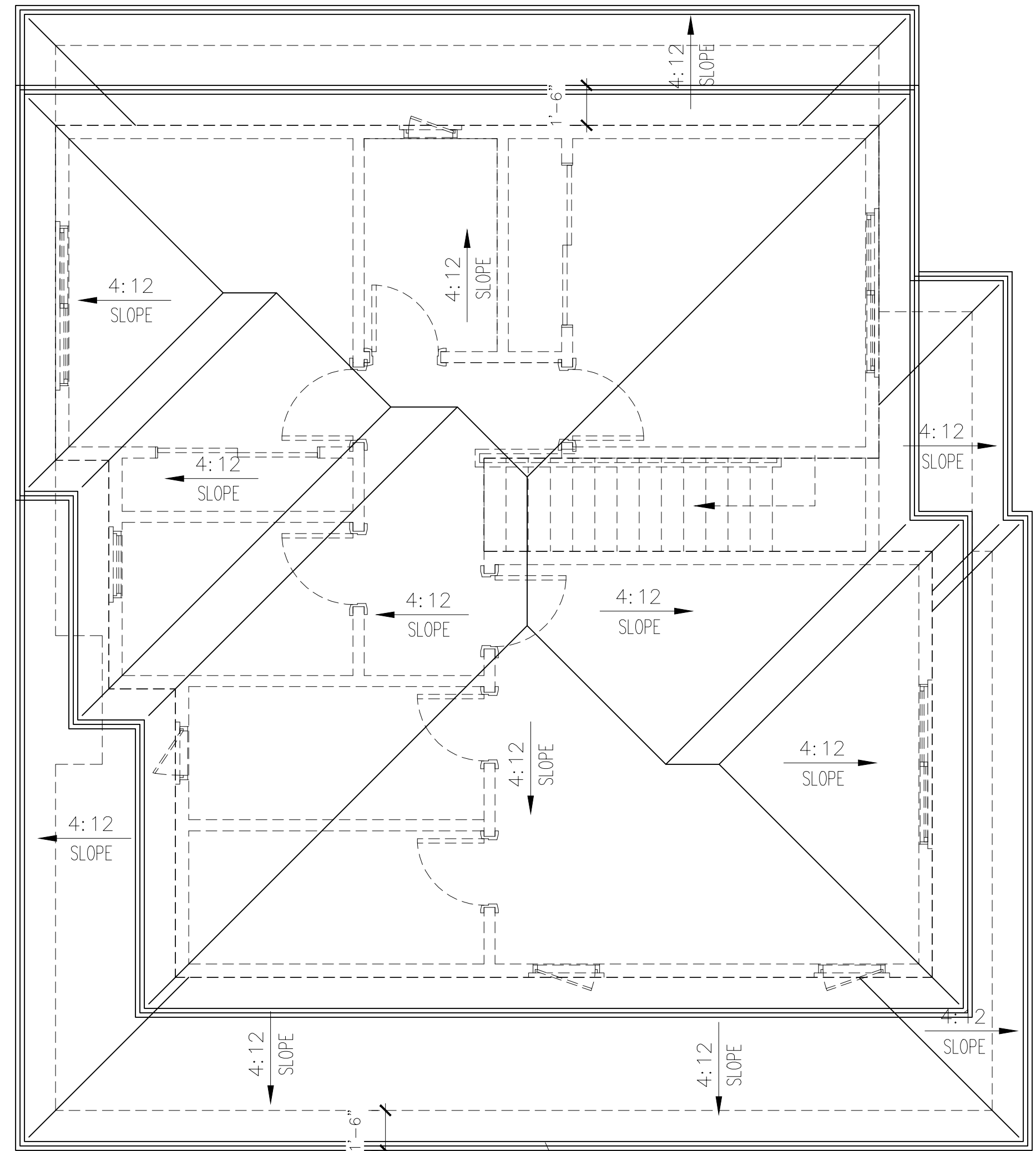
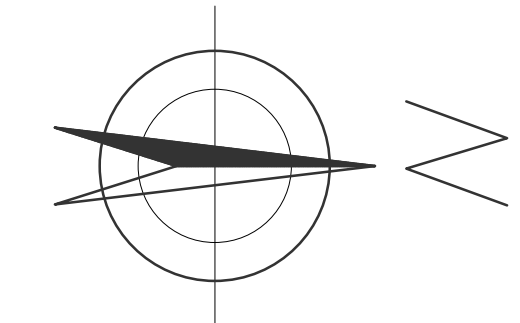
SECOND FLOOR PLAN (UNIT 2) SCALE 1/4"=1'-0"



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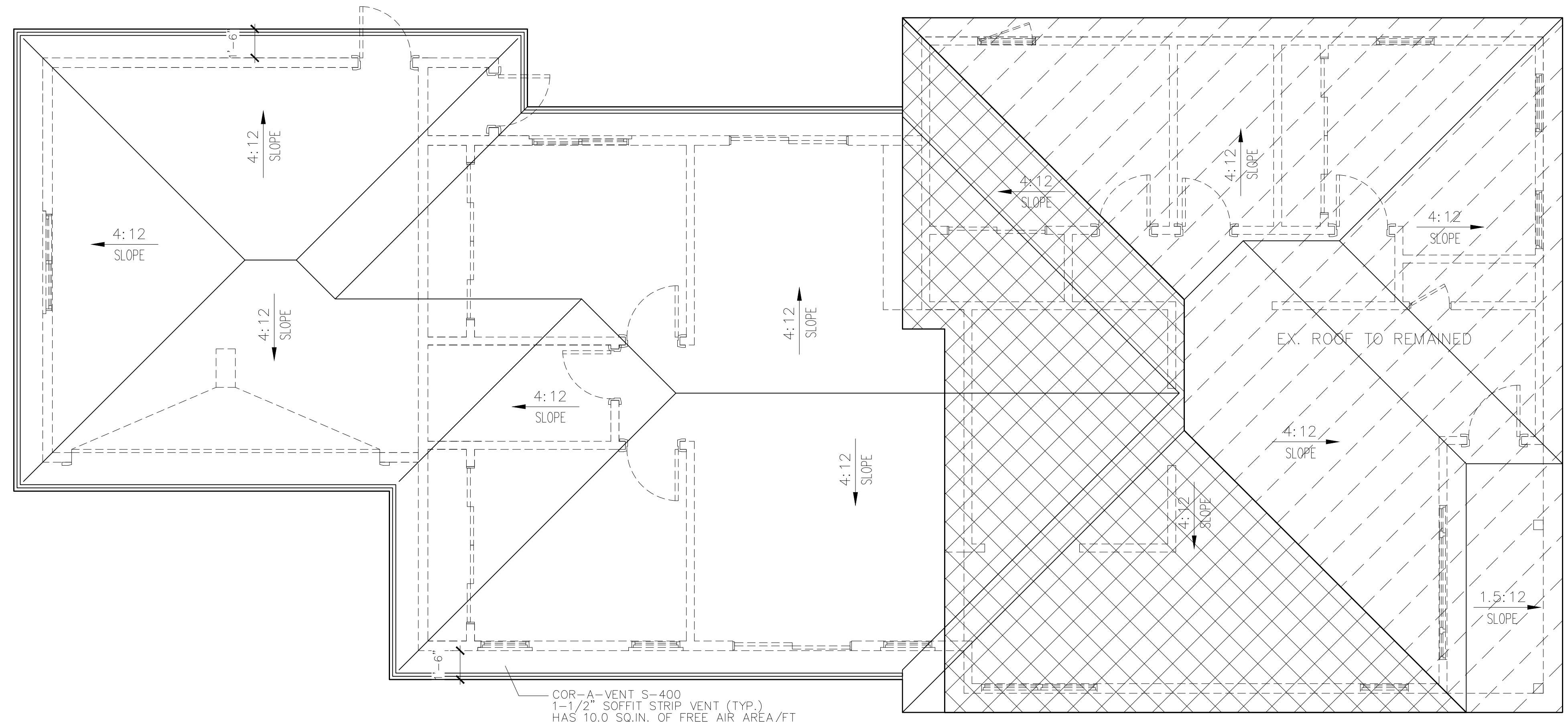
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COR-A-VENT S-400
1-1/2" SOFFIT STRIP VENT (TYP.)
HAS 10.0 SQ.IN. OF FREE AIR AREA/FT

ROOF : 637+1159=1796 SQ.FT.

ROOF PLAN (UNIT 2) SCALE 1/4"=1'-0"



COR-A-VENT S-400
1-1/2" SOFFIT STRIP VENT (TYP.)
HAS 10.0 SQ.IN. OF FREE AIR AREA/FT

EX. ROOF TOTAL AREA: 1193 SQ.FT.
DEMOLISHED ROOF TOTAL AREA: 485 SQ.FT. 485/1193=40.7% < 50%
NEW ROOF TOTAL AREA: 1818 SQ.FT.

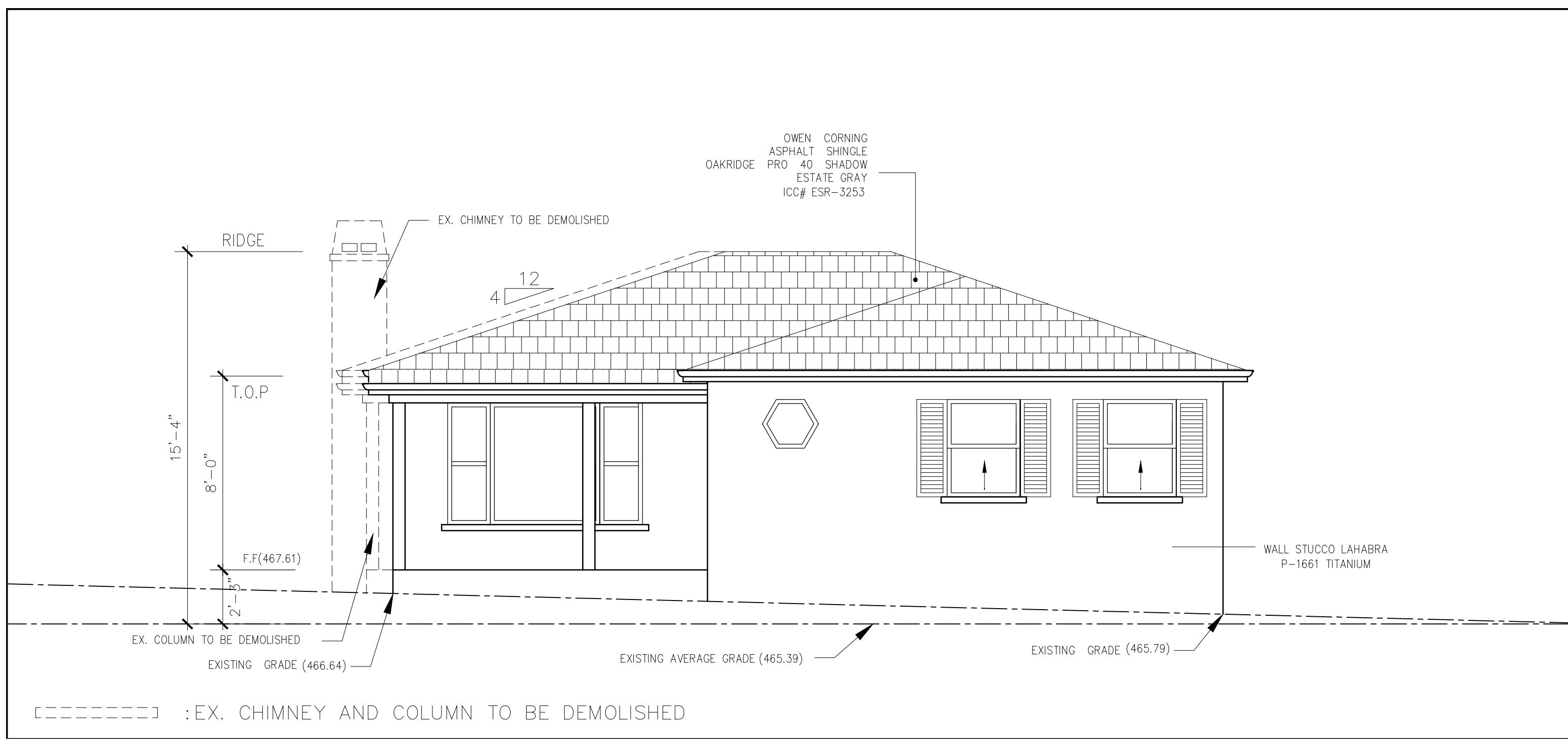


ROOF PLAN (UNIT 1) SCALE 1/4"=1'-0"

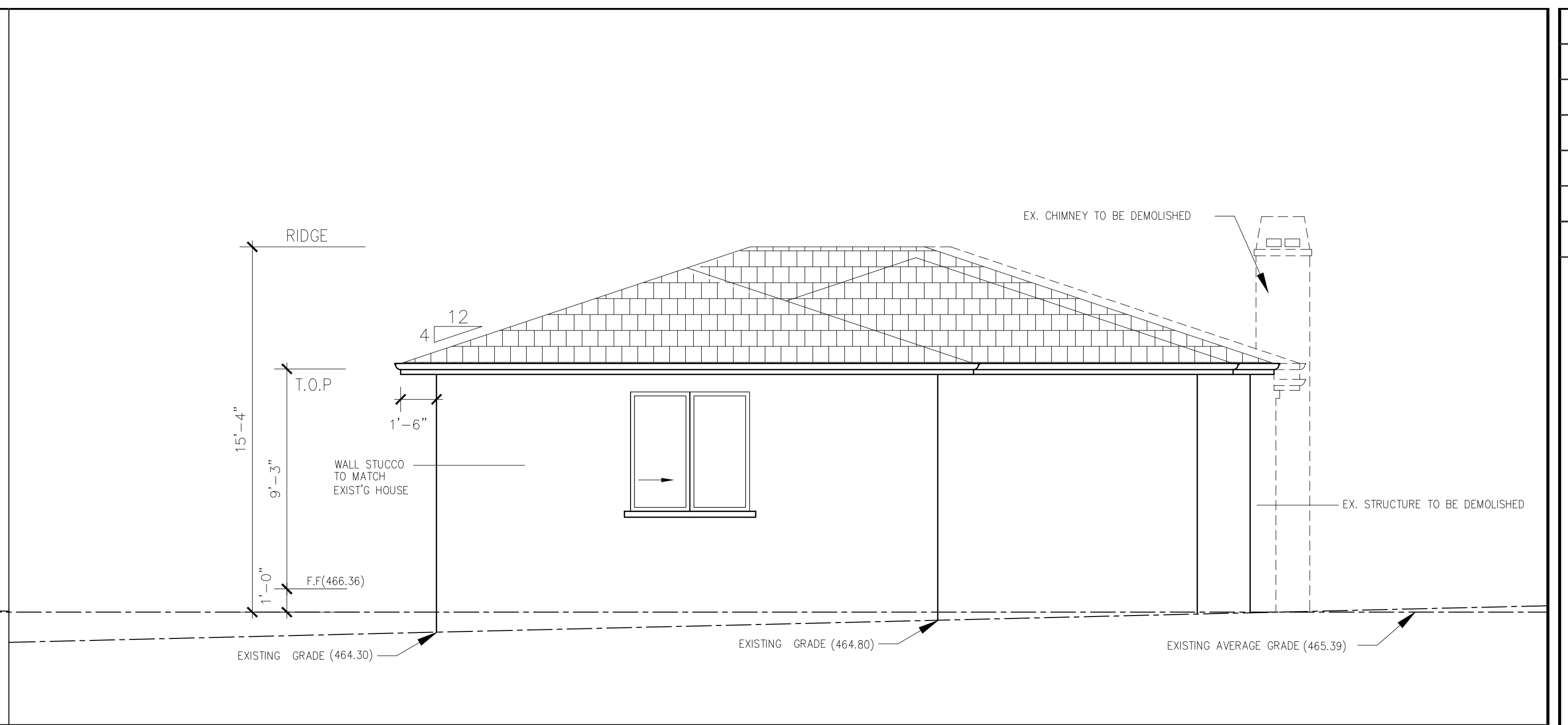
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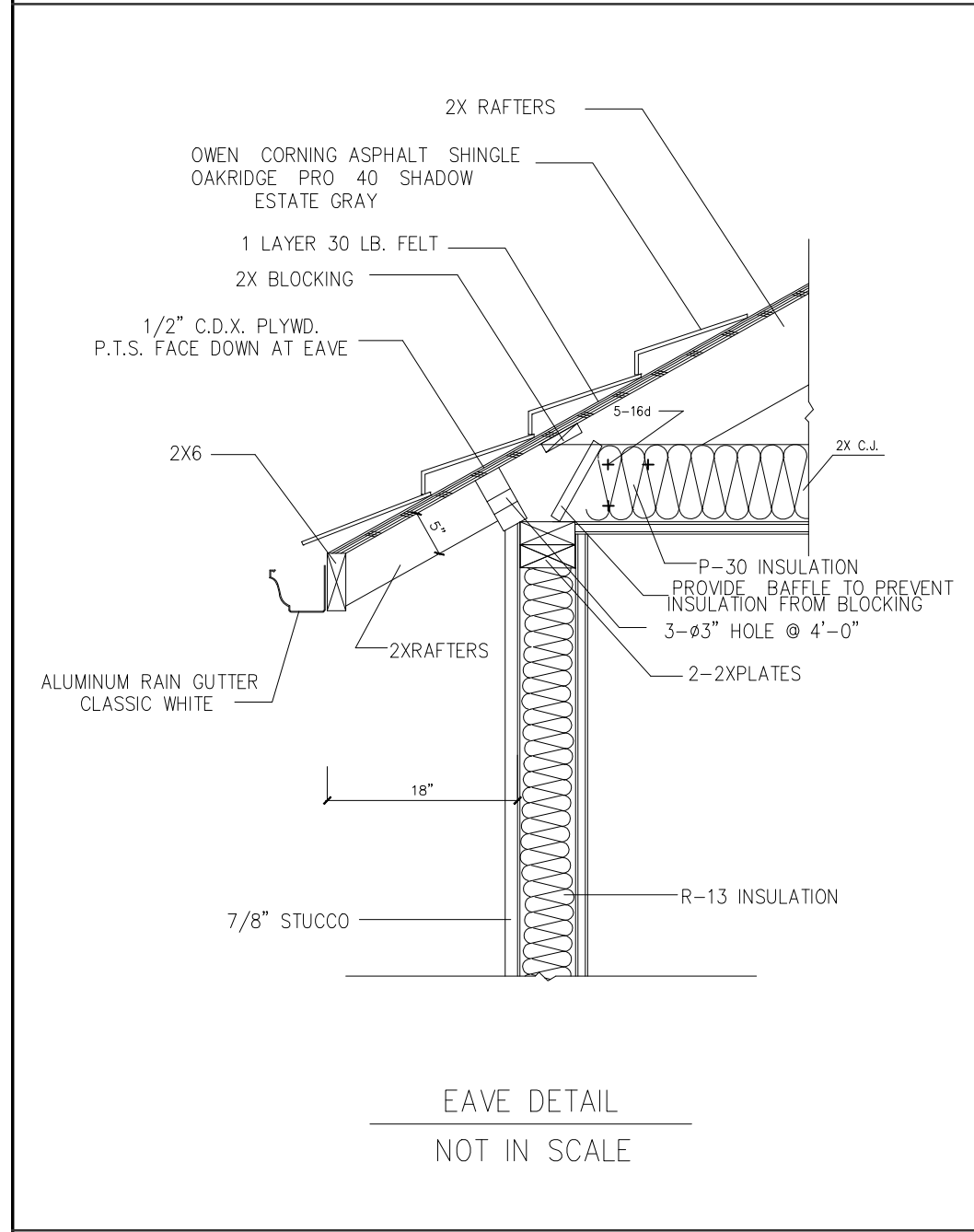
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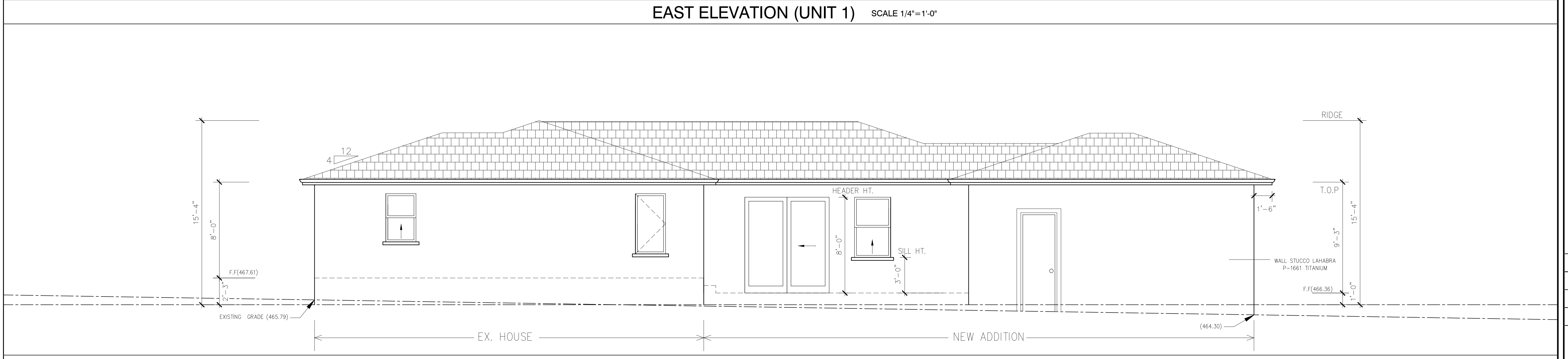
NORTH ELEVATION (UNIT 1) SCALE 1/4"=1'-0"



SOUTH ELEVATION (UNIT 1) SCALE 1/4"=1'-0"



EAST ELEVATION (UNIT 1) SCALE 1/4"=1'-0"

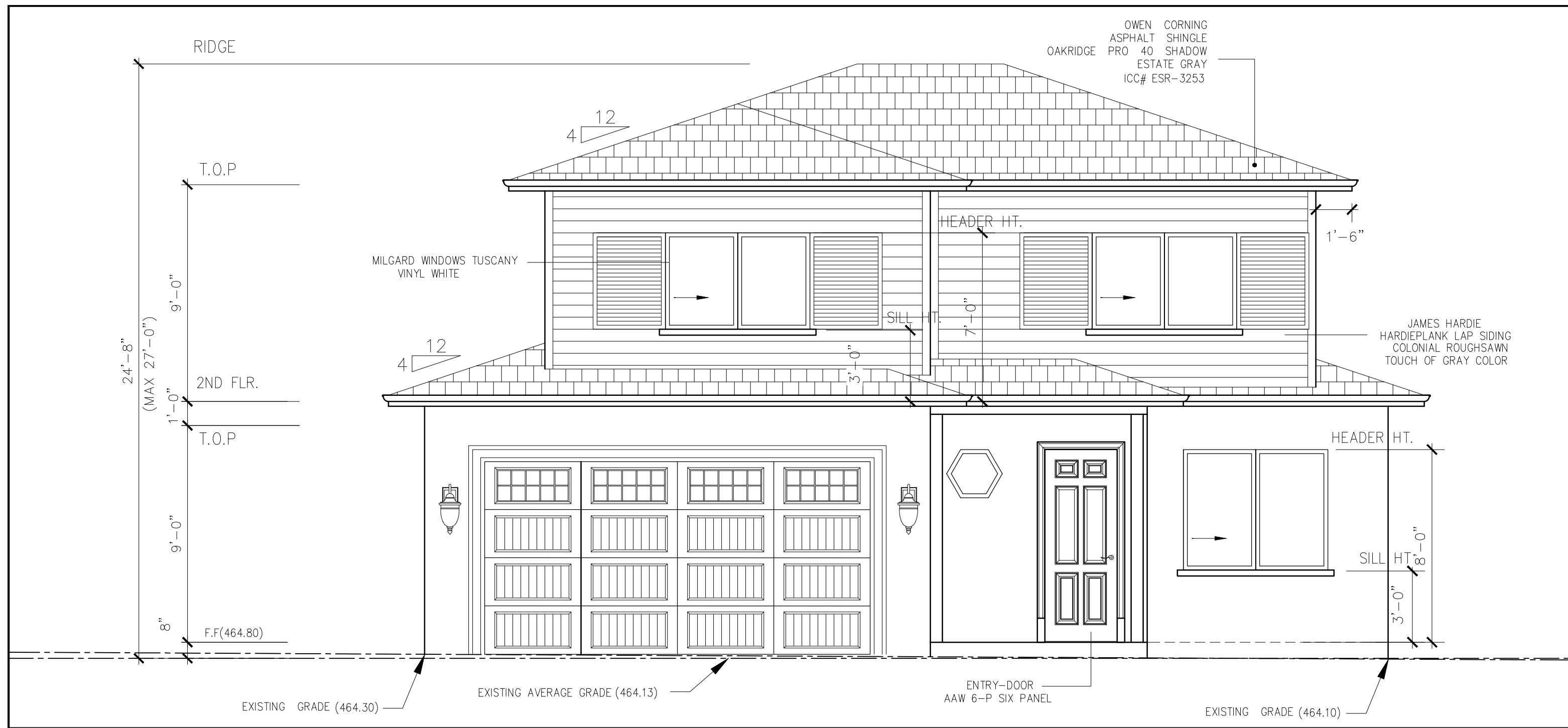


WEST ELEVATION (UNIT 2) SCALE 1/4"=1'-0"

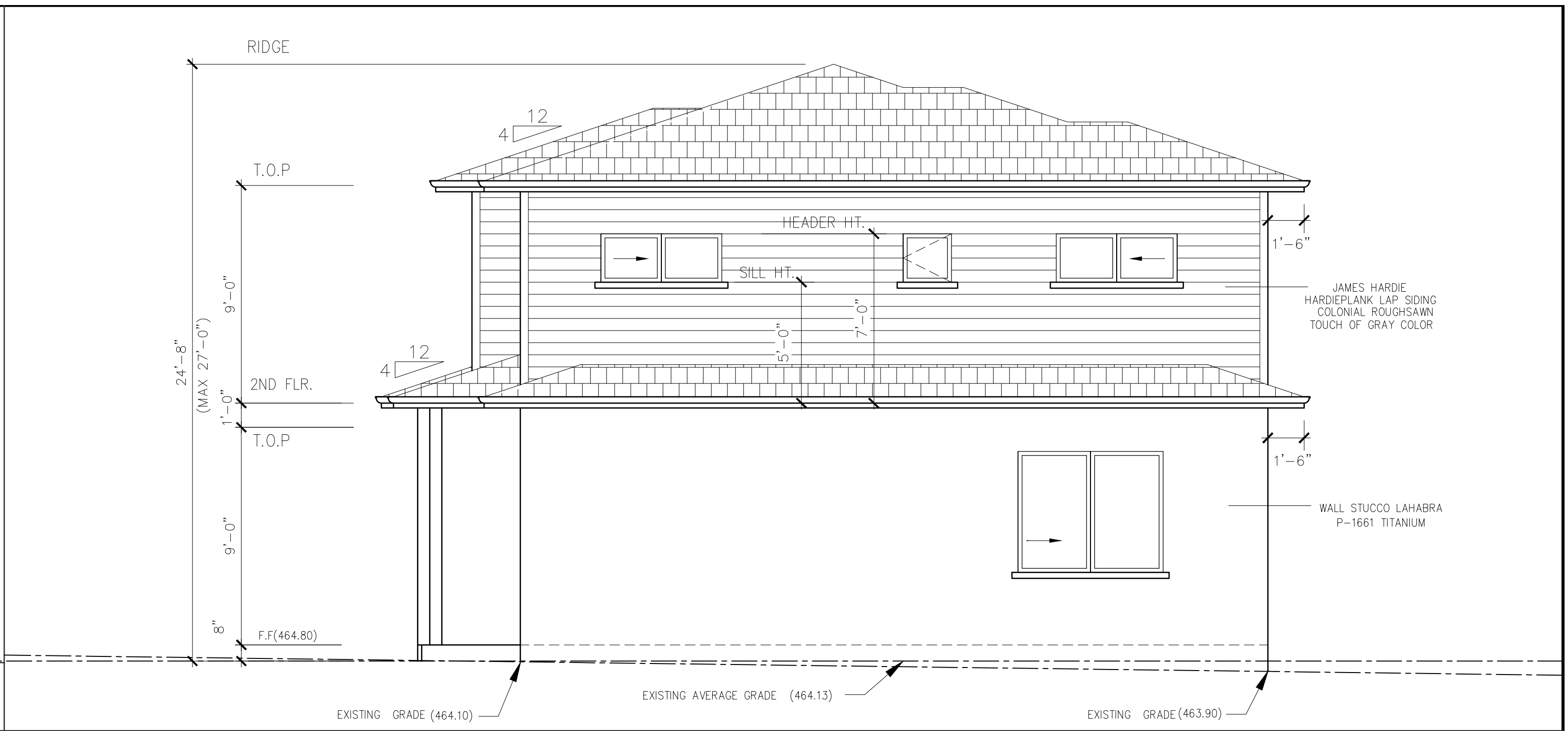
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STRUCTURE ADDITION
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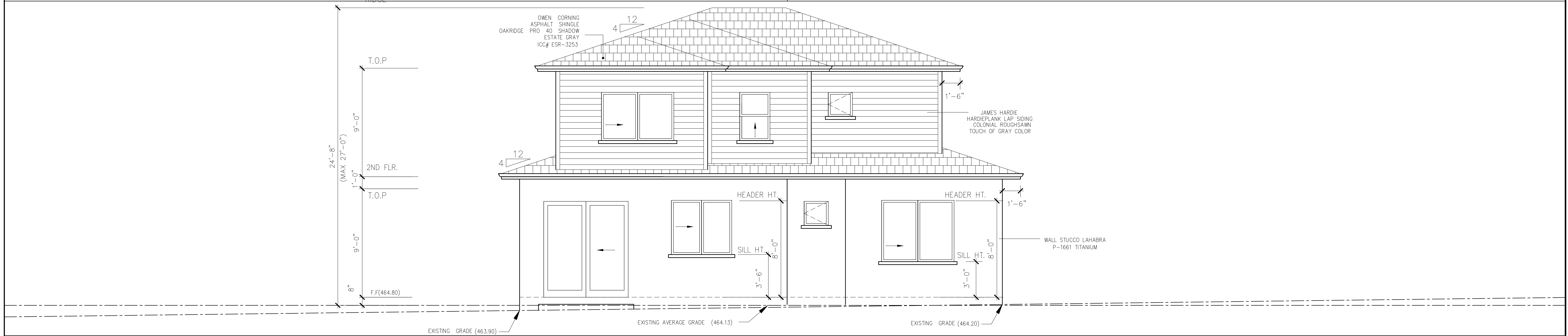
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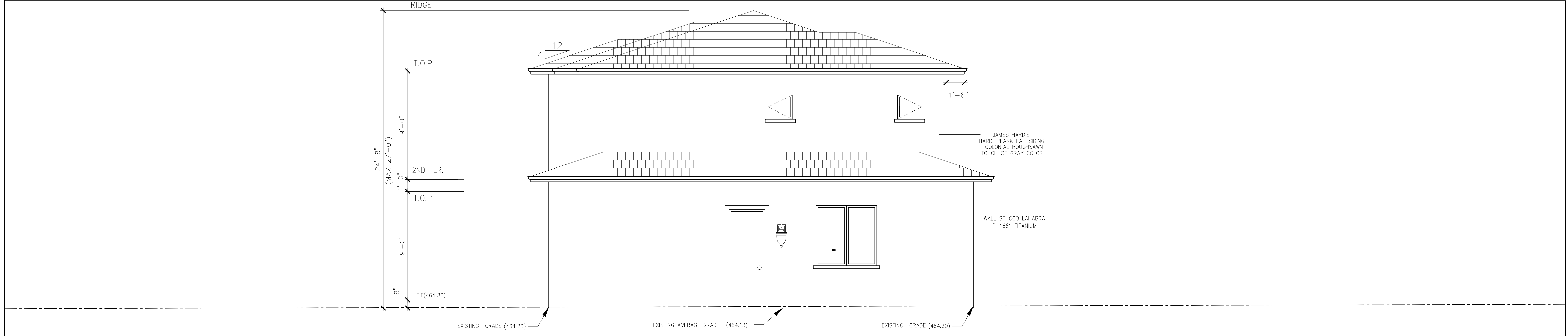
NORTH ELEVATION (UNIT 2) SCALE 1/4"=1'-0"



WEST ELEVATION (UNIT 2) SCALE 1/4"=1'-0"



SOUTH ELEVATION (UNIT 2) SCALE 1/4"=1'-0"



EAST ELEVATION (UNIT 2) SCALE 1/4"=1'-0"

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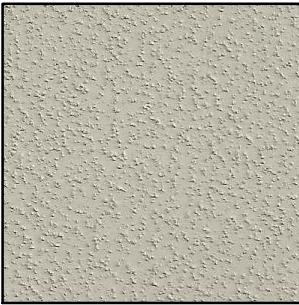
230 W CHERRY AVE MONROVIA

**230 W CHERRY AVE.
MONROVIA , CA 91016**

1 OWEN CORNING ASPHALT SHINGLE
OAKRIDGE PRO 40 SHADOW ESTATE GRAY



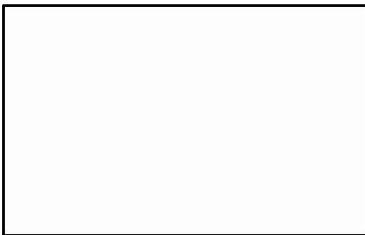
2 WALL STUCCO LAHABRA
P-1661 TITANIUM



3 MILGARD WINDOWS TUSCANY
VINYL WHITE



4 ALUMINUM RAIN GUTTER
CLASSIC WHITE



5 ENTRY-DOOR
AAW 6-P SIX PANEL



6 GARAGE DOOR
AMARR OAK SUMMIT
(WHITE)

