



PLANNING COMMISSION STAFF REPORT

APPLICATION: TTM74362/CUP2016-15

AGENDA ITEM: PH-1

PREPARED BY: Teresa Santilena
Assistant Planner

MEETING DATE: September 14, 2016

SUBJECT: Tentative Tract Map No. TTM74362/Conditional Use Permit CUP2016-15
303 South Madison Avenue

REQUEST: Construct a 6-unit, two-story, detached Planned Unit Development (PUD) in the RH (Residential High Density) Zone.

APPLICANT: Bowden Development, Inc.
212 West Foothill Boulevard
Monrovia, CA 91016

ENVIRONMENTAL DETERMINATION: Categorical Exemption (Class 3)

BACKGROUND: The applicant is requesting approval to construct a detached 6-unit, two-story residential Planned Unit Development (PUD). The subdivision of the property requires the approval of a Tentative Tract Map (TTM), which allows for separate ownership of each dwelling unit and common ownership of the common areas. In accordance with Monrovia Municipal Code (MMC) Section 17.44.050, the construction of a PUD requires approval of a Conditional Use Permit (CUP).

SUBJECT PROPERTY: The property is located on the west side of South Madison Avenue between West Foothill Boulevard and West Colorado Boulevard. The lot measures 69.42 feet wide and 291.57 feet deep for a lot area of approximately 20,241 square feet. It is developed with two detached residential units, one built in 1941 and one built in 1958, as well as one detached garage. The zoning for the parcel is RH (Residential High Density), as is the zoning to the north, south and west. Each of those parcels are improved with multifamily developments. Monrovia High School is across the street to the east and is zoned P/QP (Public/Quasi-Public).

DISCUSSION/ANALYSIS:

Site Plan

The development of six (6), detached, two-story units is proposed. The lot will be subdivided into seven parcels, one parcel for each unit, with the seventh parcel consisting of the common area that will be managed by the homeowner's association. The common area includes the front yard, driveway, common recreation space, and the trash enclosure, which is located in the rear of the property at the end of the driveway.

The front unit facing South Madison Avenue is oriented toward the street, while the other five units have entrances facing the driveway, which will be located on the south end of the property. To delineate the pedestrian path to the entrances of each unit, a decorative walkway is proposed along the driveway at the same grade.

The units meet or exceed all zoning code requirements in relation to front, rear, and side yard setbacks, and building separation requirements. The front yard setback requirement is 25'. The proposed front yard setback is 26'. Side yard setbacks required for the units are a minimum 10% of the parcel width. This parcel is approximately 69.4' wide so a minimum 7' side yard setback is required for the first and second stories. The proposed development exceeds the side yard setback for the first floor by one foot. The second story is cantilevered over the first floor along the north side of the property and meets the zoning code requirement of 7'. A 20' wide driveway for vehicular access, as required by the zoning code, is located along the south property line. A 20' rear yard setback is being proposed at the west property line, as required by the Monrovia Municipal Code. The minimum required separation between structures is at least 8' for the first floor and a minimum of 12' for the second floor. The proposed development provides 12' of separation on the first and second floors for each unit.

The proposed development also meets the Monrovia Municipal Code requirements for parking. Each proposed unit will have a 2-car garage. When a multifamily development has six or more units, the Code requires an additional ½ space per unit for guest parking. The proposed PUD meets the Code requirement by providing three guest spaces.

The site has been sensitively designed to minimize impacts upon the neighboring properties. The residential property to the south is approximately one to two feet lower in grade at the front of the parcel than the subject property. The existing dwelling units on the site to the south are located on the north side of that property. The proposed six units are, therefore, located on the north side of the subject property, in order to address privacy and view shed impacts of the properties to the south as much as possible.

Private Open Space

The RH Zone requires that a minimum of 20% of each unit's size be provided in recreational space, up to half of which can be provided in a common area. Each unit within this development provides more than 20% of private recreational space, with the exception of the front unit. That unit has private recreation area totaling approximately 18% of the unit's floor area. However, the front unit complies with the requirements of the MMC because an additional 750 square feet of common recreation space is provided in the rear of the property. The common recreation area will provide bench seating and will be available for the use of all six units.

Building Elevations/Floor Plans

Each unit will have four bedrooms and two and a half bathrooms. The proposed floor plans vary in size from 1,544 to 1,558 square feet. The maximum allowable living space allowed on the parcel is 15,180.75 square feet (75% of the total lot size of 20,241). The project provides for 9,305 total square feet of living area.

The proposed homes will be Craftsman in style with 4" wide lap siding, divided light windows, brick chimneys, and asphalt composition shingle roofing. Two color palettes are proposed that are consistent with the Craftsman style. Ornamental porch columns and chimney caps add visual interest to the design. The site will be upgraded with drought-tolerant plant materials and decorative concrete hardscape.

Tentative Tract Map

The subdivision of the property requires the approval of a TTM, which allows separate ownership of each unit and common ownership of the common areas, which will be managed by the homeowner's association (HOA). The proposed common ownership areas include, but are not limited to, the driveway, common open space, and trash collection area. If the development is approved without the subdivision map, the units could not be sold separately. The TTM is subject to the provisions of the Monrovia Municipal Code (MMC) Title 16. The Planning Commission serves as an advisory body to the City Council for approval of a TTM.

Conclusion

The proposed development will result in six new homes that will be an attractive addition to the neighborhood and community. There are several multifamily structures within this block of South Madison Avenue, many of which are two story structures. The property to the north is developed with five rental units, and the property to the south is developed with six rental units. The new units will offer a Craftsman design and an application of various quality building materials to convey a sense of permanence in an existing multifamily residential neighborhood. The project meets all the development guidelines for this multi-family zoned property and the proposed development is fitting with the character of the neighborhood. Lastly, subdividing the land creates an opportunity for individual home ownership.

RECOMMENDATION: Staff and the Development Review Committee recommend approval of TTM74362/CUP2016-15 for a 6-unit Planned Unit Development. If the Planning Commission concurs with this recommendation then, following the public hearing, the appropriate actions would be:

1. Pursuant to the California Environmental Quality Act ("CEQA") and the City's local CEQA Guidelines, the Planning Commission in the exercise of its independent judgment finds that TTM74362/CUP2016-15 is categorically exempt from CEQA under Class 3.
2. The Planning Commission finds that the custodian of records for all other materials that constitute the record of proceeding upon which this decision is based is the Planning Division Manager. Those documents are available for public review in the Planning Division located at 415 South Ivy Avenue, Monrovia, California, 91016.
3. The Planning Commission in the exercise of its independent judgment hereby makes the findings listed on attached Data Sheet No. 3 for TTM74362/CUP2016-15, which are incorporated herein by this reference.
4. The Planning Commission hereby recommends approval to the City Council of TTM74362/CUP2016-15, subject to the attached Planning Conditions on Data Sheet No. 1, Public Works Conditions on Data Sheet No. 2, and recommendations in the Staff Report, all of which are incorporated herein by this reference.

MOTION:

Recommend approval to the City Council of Tentative Tract Map No. TTM74362/Conditional Use Permit CUP2016-15 as presented in the Staff Report.



Development of the subject property and operations on the site must remain in substantial conformance at all times with the request and application forms and plans for TTM74362/CUP2016-15, a 6-unit Planned Unit Development submitted by the applicant, as approved by the City Council and placed on file in the office of the Planning Division, except as modified by the conditions imposed by the Planning Commission and by subsequent modifications determined by the Planning Division Manager to be in substantial compliance with the conditions of approval. The term "Applicant" as used herein shall include the applicant, the property developer and all successors in interest to this conditional use permit and Tentative Tract Map.

DEVELOPMENT STANDARDS

1. A final materials board shall be submitted to the Planning Division Manager for review and approval prior to building permit issuance. The final materials board shall include a breakdown by unit of materials to be used and samples/examples of siding, stucco, stone veneers, windows, exterior doors, garage doors, roofing, color schemes and exterior light fixtures.
2. A decorative block wall shall be provided by the Applicant adjacent to the rear and side property lines but outside of the front setback area. The property line wall must be a minimum of five feet above the subject property's finished grade and a minimum of five feet and a maximum of six feet above the adjacent property's grade, measured in accordance with the Monrovia Municipal Code. The walls shall be installed before building construction begins.
3. All private recreation areas must be enclosed by 5' to 6' high wood fence or decorative block wall or approved alternative. All proposed fences shall be shown and indicated on the submitted site plan.
4. The Applicant shall make a good faith effort to work with adjacent property owners (that have existing walls/fences) to avoid a double wall condition, and provide a single wall along the project's perimeter. The applicant shall notify by mail all contiguous property owners at least 30 days prior to the removal of any existing walls/fences along the project's perimeter.
5. If a driveway gate is proposed at a later date the Development Review Committee shall consider the request after providing written notification to property owners within a 300' radius of the site. The cost of such notification shall be paid in advance by the Applicant.
6. A decorative trash enclosure shall be constructed per City specifications and shall be shown and indicated on the submitted site plan.
7. The common recreation areas shall provide amenities such as decorative paving, a barbeque and/or benches. The improvements shall be indicated on the final

landscape plan and are subject to the review and approval of the Planning Division Manager.

8. A level concrete patio shall be provided for each unit in the private recreation area and shall be indicated on the grading plan and approved by the Development Review Committee prior to the start of grading.
9. Provide a no build easement (on the final map) to the satisfaction of the City Building Official, acceptable in form and substance to the City Attorney, prior to the City granting approval of the final map.
10. Placement and design of mailboxes shall be reviewed and approved by both the U.S. Postal Service and the Planning Division prior to installation.
11. No roof mounted mechanical equipment shall be permitted.
12. Ground level mechanical equipment shall be placed a minimum of 5' from the interior property lines and shall be completely screened with landscaping. Ground level mechanical equipment shall not be located within the front setback.
13. Electrical power lines, telephone lines, and any other transmission lines (including, without limitation, cable television lines, data transmission lines, communication lines, other utility lines, etc.) to and from the development, and within the development, shall be placed underground and provided to each unit.
14. Placement of the electrical transformer and fire standpipe shall be shown on a site plan and shall be reviewed and approved by the Planning Division Manager.
15. All utilities and structures such as gas meters, electrical meters, telephone pedestal-mounted terminal boxes, surface mounted electrical transformers, or other potential obstructions shall be noted on the plans with provisions for appropriate screening.
16. Plans showing all exterior lighting shall be submitted to the Planning Division for review prior to building permit issuance and no exterior lighting shall be installed without the approval of the Planning Division Manager. All exterior lighting shall be designed, arranged, and installed so as to confine direct rays onto the premises and to direct light away from adjacent structures.

LANDSCAPING

17. A Landscape and Irrigation Plan prepared by a Landscape Architect shall be submitted to the Planning Division for plan check showing the size, type, and location of all planting areas and the following conditions of approval:
 - a. Landscaping shall be a combination of 24" and 36" box trees, shrubs, groundcover, and turf.
 - b. All landscaping shall be maintained by a permanent automatic irrigation sprinkler system.
 - c. Any unimproved City right-of-way contiguous with the property shall be landscaped by the Applicant and incorporated into the required landscape plan.

- d. Hardscape improvements shall be provided in common areas.
18. A landscape documentation package pursuant to the requirements of the State Model Water Efficient Landscape Ordinance shall be submitted to the Planning Division for approval prior to landscape construction. A Landscape Certificate of Completion shall be submitted to the Planning Division at the completion of the installation, prior to request for a final inspection and Certificate of Occupancy.

PARKING

19. All paved parking and driveway areas shall be surfaced with Portland cement concrete (3-1/2" minimum thickness) or approved alternative.
20. All driveway surface areas shall incorporate accent treatment throughout the design. Accent treatment shall include stamped concrete or other approved treatment.
21. Guest parking spaces shall not be assigned and only be used by guests.
22. A continuous concrete curb not less than six inches high shall be installed adjacent to the guest parking spaces.

CONSTRUCTION SITE REQUIREMENTS

23. Provide temporary perimeter fencing with view obscuring material during construction. If graffiti is painted or marked in any way upon the premises or on an adjacent area under the control of the Applicant (including without limitation, any temporary perimeter construction fencing or the permanent wall), the graffiti shall be removed or painted over by Applicant within twenty-four hours, unless any law in effect imposes a shorter time period. Fencing may be removed prior to landscape installation with Planning Division approval.
24. One waterproof sign (36" x 48") in both English and Spanish noting construction hours and a phone number for contact shall be posted at the front of the site prior to grading or construction.

FIRE DEPARTMENT CONDITIONS

25. All structures shall be fully fire sprinklered.
26. A fire lane is required for the first 150 feet of the driveway. The fire lane shall be marked in an approved manner.
27. A fire hydrant shall be provided such that all points of the furthest structure are within 600 feet.

GENERAL REQUIREMENTS

28. A draft copy of the Conditions, Covenants, and Restrictions (CC&R's) shall be provided in electronic form to the Planning Division for review. The CC&R's, acceptable in form and substance to the City Attorney, must meet the approval of the Planning Division Manager and City Engineer, and shall be recorded against

each unit with the Los Angeles County Recorder's Office. No Certificate of Occupancy will be issued by the City until the CC&R's are approved and recorded. The CC&R's shall include that a homeowner's fee be collected by the Board of Governors of the Homeowners Association (HOA) for maintenance of all common areas, including the front yard and common landscaping, walls/fences, and the driveway. Additionally, the CCR's shall incorporate all of the provisions listed in MMC §17.44.050(C)(4)(a) as well as provisions imposing and enforcing the following conditions of approval:

- a. The CC&R's shall not be modified or revoked without the prior written approval of the City of Monrovia.
 - b. All trees indicated on the approved Landscape and Irrigation Plan and/or Tree Retention Plan shall be retained. Removal of any trees requires the approval of the Planning Division Manager.
 - c. Garages shall be used for the storage of vehicles only and shall not be converted for livable, recreational or storage usage in a way that would prohibit its primary use as a two-car garage.
 - d. Maintenance of common landscaping and irrigation includes all areas not in enclosed private yard areas.
29. In addition to Planning (Data Sheet No. 1) and Public Works (Data Sheet No. 2) conditions of approval the Applicant shall also comply with all requirements of the Monrovia Municipal Code, Building Division and Fire Department that are directly applicable to the project.
 30. This project may be subject to the provisions of the City's Public Art Ordinance (MMC §15.44.050).
 31. Any violation of these conditions of approval or the Monrovia Municipal Code may be subject to the Administrative Fine Ordinance, other available remedies and/or revocation or modification of this permit at the discretion of the City Attorney and City Prosecutor.
 32. The Applicant shall, within 30 days after approval by the City Council, submit to the Community Development Department his/her written consent to all of the conditions of approval contained in Data Sheet Numbers 1 and 2. The Conditional Use Permit 2016-15 and Tentative Tract Map no. TTM74362 shall be void and of no force or effect unless such written consent is submitted to the City within the 30 day period.
 33. The Final Map for the proposed subdivision shown on this Tentative Tract Map No. TTM74362 must satisfy the requirements of Section 16.16.010 et seq. of the Monrovia Municipal Code and be filed with and deemed a complete filing by the City Engineer, and the development to which the Conditional Use Permit applies must begin, within twenty-four months after the Tentative Map was conditionally approved, or TTM74362 and CUP2016-15 will expire without further action by the City.
 34. All of the above conditions shall be complied with prior to issuance of the Certificate of Occupancy, unless an earlier compliance period is specified as part of a condition.

35. Indemnification. As a condition of approval, Applicant agrees to defend, indemnify, protect and hold harmless City, its officers, officials, employees, agents and volunteers from and against any and all claims, actions, or proceeding against the City, its officers, officials, employees, agents and/or volunteers to attack, set aside, void or annul, an approval of the City, Planning Commission or City Council concerning this permit and the project. Such indemnification shall include damages, judgments, settlements, penalties, fines, defensive costs or expenses (including, but not limited to, interest, attorneys' fees and expert witness fees), or liability of any kind related to or arising from such claim, action, or proceeding. The City shall promptly notify the Applicant of any claim, action, or proceeding. Nothing contained herein shall prohibit City from participating in a defense of any claim, action or proceeding in accordance with the Subdivision Map Act.



DATA SHEET 2

Public Works Conditions

Tentative Tract Map 74362 (Madison Ave)
Data Sheet

All conditions shall be met prior to the final approval of the project.

Development shall be subject to the conditions of approval listed below, and if so indicated, the condition(s) shall be satisfied before the Final Map is filed in the Department of Public Works for review and approval. The term "Applicant" shall include, without limitation, the applicant, the property developer, the property owner, and all subsequent owners of each parcel.

Engineering Conditions

1. Prior to any development, the Applicant shall provide the following:
 - a. Soils and Geotechnical Report
 - b. Hydrology Report
 - c. LID/SUSMP Plan
 - d. Local SWPPP Plan
 - e. Site Plan
 - f. Grading Plan
 - g. Utility Plan
2. Submit existing site plan, topographic map of the project site, grading, drainage and utility plan to the Community Development Department for review and approval. The plans shall indicate existing and proposed structures, miscellaneous facilities if applicable and all utilities applicable within the project site. The plans shall be prepared on a maximum 24" x 36" sheets with City standard title block stamped and signed by a Registered Professional Civil Engineer in the State of California. The submittal of the plans shall include: a hydrology report, a geotechnical report, required design calculations, a cost estimate, a plan check fee, and an inspection fee. The final submittal for final approval shall include a Mylar of the approved grading, drainage and utility plans. The applicant shall use the assigned drawing number **G-___** for this project. Partial or incomplete submittals will not be accepted.
3. All submitted plans by the Applicant such as but not limited to site plans, grading plans which include drive approach modifications, drainage plans, and utility plans shall be coordinated for consistency and shall be approved by the City Engineer prior to the issuance of any construction permit. Applicant shall pay all fees for Engineering Divisions services such as plan check fee and construction inspection fee as applicable.
4. Applicant shall remove and replace any curb, gutter, sidewalk, driveway approach or street pavement found by the City Engineer to be broken, uplifted or damaged. Applicant shall construct improvements as required to match existing improvements on adjacent properties. All ADA requirements shall be satisfied by

the Applicant. These conditions apply on public right-of-way along property frontage. All work such as, but not limited to demolition, construction and improvements within the public right-of-way shall be subject to review and approval by the City Engineer, and will require construction and encroachment permit from the City's Public Works Department, prior to start of any construction. All work within the public right-of-way shall be in accordance with applicable standards of the City of Monrovia, Standard Specifications for Public Works Construction ("Green Book", latest edition) and the Manual on Uniform Traffic Control Devices (MUTCD, latest edition), and further that construction equipment ingress and egress be controlled by a plan approved by the City Engineer.

5. The City requires the restoration of the existing pavement after utility installation. Restoration is required from the outer limits of the area covering and encompassing all the utility cuts as shown on the plans, but actual limits shall be determined out in the field by City Engineer. Restoration of asphalt pavement may be up to 2-inch pavement grind and 2-inch asphalt overlay, removal and replacement of broken AC or PCC pavement, cape seal, slurry seal Type II, or combination of any of the method of pavement restoration as directed by the City Engineer. The scope of work shall be mutually agreed by the City Engineer and the Applicant prior to approval of any construction plans and/or issuance of any Public Works permits.
6. Prior to start of any construction activity, Applicant shall provide a Transportation Plan to the Public Works Department formalizing the approved truck route, staging areas, radio control points and manpower, street sweeping activities along with loading/unloading of supplies/materials and parking for contractors and employees in/on and around the site prior to issuance of any demolition, grading, construction or encroachment permits for the project. No construction activity will be allowed without first getting approval of all required submittals to the Public Works Department.
7. Applicant shall provide the Engineering Division with a soils and geotechnical report. The soils investigation shall evaluate the soils percolation characteristics for storm drainage considerations. Grading plan shall conform to MMC Chapter 15.28 and be prepared on a maximum 24" x 36" sheets with City title block. Required improvements may be shown on the grading plan along with site drainage.
8. All grading is to be done under the supervision of a licensed engineer qualified in soils field. Upon completion of the grading, the Soils Engineer shall file a certification with the Community Development Department that he/she supervised the grading and that the grading was done pursuant to the City of Monrovia Municipal Code, Chapter 15.28, and the grading plan approved by the City.
9. Applicant shall provide an analysis and construct required infiltration and/or treatment of storm water from impervious surfaces prior to reaching direct connections leading to the main storm drainage system or the street.

10. All required mitigation measures identified in the soils engineer's and geologist's reports shall be incorporated into the grading/drainage plans and made a part thereof. Drainage devices shall be designed to handle and prevent erosion from damaging the proposed structure and surrounding neighborhood.
11. The project shall handle its own drainage on site in compliance with Municipal Code Section 15.28.200. On site infiltration or percolation may be used if quantified by a Soils engineer, thereby not impacting off site drainage systems. Site drainage discharge shall be subject to the requirements of the City of Monrovia Storm Water Management and Discharge Control Ordinance. Plans shall include the existing catch basins/parkway drains.
12. With the submittal of a grading plan for plan check, Applicant shall provide geotechnical report that addresses earthwork and foundation recommendations, including but not limited to, earthwork, retaining walls and foundation construction adjacent to the existing structures located on the property. The geotechnical report shall include data regarding the nature, distribution and strengths of existing soils, conclusions and recommendations for grading procedures, design criteria for and identified corrective measures, and opinions and recommendations regarding existing conditions and proposed grading. The report shall also include subsurface geology of the site, degree of seismic hazard, if any, conclusions and recommendations regarding the effect of geologic conditions on the proposed development, opinions and recommended design criteria to mitigate any identified geologic hazards including locations of surface and subsurface fault lines in the area as applicable.
13. Applicant shall submit a utility plan showing all proposed utility cuts for services such as Water, Sewer, Fire Department Stand Pipe, Gas, Edison, Telephone, Cable TV, etc. The Utility plan shall be submitted and approved prior to issuance of grading permits. Private utility plans including sewer, water, gas, including all abandoned, or to be removed facilities, etc. for the proposed development shall be submitted for review and approval by the City Engineer.
14. This project shall obtain water service from the City of Monrovia. Apply to the City's Utilities Division for new water services and for removal of all unused meters by the City. Deposit fee will be required, construction costs will be based on actual time and material incurred by the City.
15. Applicant shall install sanitary sewers to connect to Monrovia's sewer system to serve the entire development in accordance with all applicable standard sewer drawings such as but not limited to new minimum 6 inch lateral(s) with clean-out(s) at property line per City standard drawing S-215 and S-225 requirements and to the specifications of the City Engineer. The Applicant shall connect all buildings to Monrovia's sewer system. Cap off all abandoned laterals at the connection point from the main line to the satisfaction of the City Engineer. Indicate on the Site/Grading/Utility plan the work to be done by the Applicant.
16. The Applicant shall comply with the requirements of MMC Section 13.12.015 Non- Storm Water Discharges, Section 13.12.02 Deposit or Discharge of

Specified Substances Prohibited, Section 13.12.030 Grease Traps Required and Section 13.12.040 Maintenance of Sewer Laterals. All sewer laterals shall be maintained by the owner of the property served by such lateral in safe and sanitary operating condition so that there is no seepage of waste at any point up to and including the junction of the sewer lateral and sewer main so that passage of all waste through the lateral to the sewer main is free from stoppage and obstruction; all devices and safeguards required for the operation of the sewer laterals shall be maintained in a good working order. The Applicant shall provide the Department of Public Works a copy of a closed circuit television inspection video report of the condition of the existing sewer lateral if being used as part of the project and any newly installed sewer lateral. A City Public Works Inspector must be present on-site to witness all CCTV video inspections. Prior to CCTV inspection, the Applicant shall notify the Department of Public Works at least 24-hours in advance, requesting to have the Public Works Inspector on site to witness the CCTV inspection. Payment of applicable fee is required on all CCTV inspection request. Public Works will review the CCTV report, and if the sewer lateral needs repair, it shall be completed to the satisfaction of the City Engineer prior to commencement of the applicant's operation or prior to issuance of certificate of occupancy.

Environmental Conditions

Based upon the requirements of the City's Stormwater Management Ordinance, MMC 12.36 and the Los Angeles County Municipal Storm Water National Pollutant Discharge Elimination System (MS4 NPDES) Permit issued by California Regional Water Quality Control Board, Los Angeles Region, the following shall be incorporated into the project application:

The Applicant shall be responsible for the following:

- Minimize impacts from storm water runoff on the biological integrity of natural drainage systems and water bodies in accordance with requirements under the California Environmental Quality Act (California Public Resources Code Section 21100), Section 13369 of the California Water Code, Sections 319, 402(p), and 404 of the Clean Water Act, Section 6217(g) of the Coastal Zone Act Reauthorization Amendments, Section 7 of the Environmental Protection Act, and local governmental ordinances.
 - Maximize the percentage of permeable surfaces to allow more percolation of storm water into the ground.
 - Minimize the amount of storm water directed to impermeable surfaces.
 - Minimize pollution emanating from parking lots through the use of appropriate treatment control using best management and good housekeeping practices.
17. This project is subject to the MS4 NPDES' Standard Urban Stormwater Mitigation Plan (SUSMP) regulations. The Applicant must submit a site-specific drainage concept and stormwater quality plan to mitigate post-development stormwater.

18. The Applicant shall integrate Best Management Practices to ensure compliance with NPDES guidelines and the City's Stormwater Management Ordinance, MMC 12.36 to the satisfaction of the City Engineer, prior to the issuance of the grading permit. The design, implementation, construction activities and maintenance of the management devices shall mitigate and reduce pollutants in storm water discharges to the maximum extent practicable and shall be identified on a "site specific mitigation plan". Site Specific Mitigation Plan must specifically address and provide best management practices (BMPs) either structural or non-structural to mitigate pollutants.
19. The Applicant shall obtain approval of a Drainage BMP plan (which can also be included as part of the grading and drainage plan). The BMP must address run-off and pollutants of concern including, but not limited to trash/litter, fossil fuels, metals, bacteria, toxics, nutrients, and sediment. The Drainage BMP plan shall be reviewed and approved to the satisfaction of the City Engineer prior to the issuance of grading permit. The plans shall be prepared on a maximum 24" x 36" sheets with City title block. The submittal of the plans shall include: a cost estimate for the installation of structural BMP's, a plan check fee, and an inspection fee. The final submittal shall include a Mylar of the approved Drainage BMP plan. Partial or incomplete submittals will not be accepted.
20. The Applicant shall comply with NPDES guidelines and the City's Stormwater Management Ordinance, MMC 12.36 to the satisfaction of the City Engineer, prior to the commencement of the applicant's operation. The design, implementation, construction activities and maintenance of the management devices shall mitigate and reduce pollutants in storm water discharges to the maximum extent practicable and shall be identified on a "site specific mitigation plan". Site Specific Mitigation Plan must specifically address and provide best management practices (BMPs) to mitigate pollutants.
21. In compliance with AB 939, any waste and recyclables that are generated must be reported. The applicant must work with the hauler to fulfill this on-going condition. The report must provide the following information: the total tonnage collected, total tonnage diverted, total tonnage disposed, and disposal sites used and tonnages delivered to each.
22. Roof down spouts should be discharged to gravel or heavily vegetated areas whenever possible.
23. Storm drains must be stenciled. All yard drains and catch basins to the street or storm drain system must be stenciled or labeled with the "No Dumping – Drains to Ocean" logo or equivalent.
24. The Applicant shall maintain the drainage devices such as paved swales, inlets, catch basins, pipes, and water quality devices as applicable that have been constructed within said areas according to BMP plans permitted by the City of Monrovia, in a good and functional condition to safeguard all lots within the development and the adjoining properties from damage and pollution.

25. The Applicant shall conduct annual maintenance inspections by the manufacturer or by a City approved inspector of all structural and/or treatment control storm water devices by following best management practices which shall also verify the legibility of all required stencils and signs which shall be repainted and labeled as necessary. Proof of such inspection shall be retained by the Applicant and a copy submitted to the City of Monrovia on a yearly basis.
26. The Applicant shall record a maintenance covenant with the L.A. County Registrar/Recorder and submitted to the City for the Standard Urban Stormwater Mitigations Plan and other Municipal NPDES Requirements to the satisfaction of the City Engineer prior to the issuance of Certificate of Occupancy.
27. For projects which disturb soil during wet season (October 1- April 15), Applicant must submit a signed certification statement declaring that contractor will comply with Minimum Best Management Practices (BMPs) required by the National Pollutant Discharge Elimination System (NPDES), and also submit a Local Storm Water Pollution Prevention Plan/Wet Weather Erosion Control Plan.
28. The project demolition activities shall comply with the City's Construction and Demolition Recycling Program (C&D Recycling Program) by filing an application and submitting a deposit to Public Works Environmental Services prior to issuance of permits. The C&D Recycling Program requirements are enclosed as an attachment and made part of the Conditions of Approval.
29. Building, demolition, and grading permits will not be issued until the applicant provides the City with the required forms and the waste management plan has been reviewed and approved by the Environmental Services. If the Applicant chooses not to participate in the C&D Recycling Program, then the hauler must be identified on the demolition, building and grading plans. The C&D Recycling Program requirements are enclosed as an attachment and made part of the conditions of approval.



DATA SHEET 3

Findings

Tentative Tract Map No. 74362
Conditional Use Permit CUP2016-15

303 South Madison Avenue

TENTATIVE TRACT MAP

As required by Sections 66473.5 & 66474 of the California Government Code, the decision for approving Tentative Tract Map No. TTM74362 for a 6-unit Planned Unit Development located at 303 South Madison Avenue is based on the following findings:

- A. That the tentative tract map subdividing the existing 20,241 square feet of land area for the development of six detached units, together with the provisions for the subdivision's design and improvement, are consistent with the General Plan and satisfy the requirements of the Map Act and of the Municipal Code. *This project will be consistent with the General Plan in that it meets the requirements of the current General Plan land use designation for the property. The RH (Residential High Density) zoning allows for up to 75% of the square footage of the lot to be developed as residential square footage. The property's zoning would allow for up to 12 detached units, and applicant is proposing six units that meet all the Zoning Code development guidelines. It is also consistent with Policy 1.6 of the Land Use Element that promotes a variety of housing types ranging in size, density, and price. The increase in the intensity of the land use from its current use will not be significant; thus it is compatible with the objective policies, general land uses and the programs specified in the General Plan. This plan will conform to the Municipal Code standards for multifamily residential developments.*
- B. That the site is physically suitable for this type of development. *The size of the subject lot allows for the lot to be subdivided and developed with a new residential planned unit development project without creating detrimental visual or privacy impacts. The parcel is able to accommodate six new units because is relatively flat and regularly shaped. It has a lot width of 69.42 feet and a lot depth of 291.57 feet and meets the minimum lot area required by the Monrovia Municipal Code and is consistent with the density of 54 dwelling units per acre allowed in the RH zone. The parcel will allow for the development of six houses with attached garages.*
- C. That the site is physically suitable for the proposed density of development, specifically the 20,241 square foot parcel is zoned RH (Residential High Density), and is being developed below the permitted density and floor area ratio requirements of the Zoning Ordinance. *The proposed development will meet or exceed all of the development standards of the Zoning Ordinance and no variances are requested for the proposed improvements.*
- D. That the design of the subdivision and the proposed improvements are not likely to cause substantial environmental damage or substantially and avoidably injure fish or wildlife or their habitat *in that the site has previously been developed with two dwelling units and is surrounded by developed lots. The subject site has been occupied with*

residential structures since 1941. The land surrounding the site has been developed with a variety of residential uses ranging from single-family units to multifamily units. Therefore, the proposed subdivision and the proposed site improvements are not likely to cause substantial damage to the environment.

- E. The design of the subdivision and the type of improvements are not likely to cause serious public health problems, *as it will comply with all City design and safety standards, including fire suppression requirements. The City Engineer has reviewed this proposed subdivision relative to the adjacent right-of-way. Access to the site is proposed to be taken from Madison Avenue. Based on the City Engineer's review, it is determined that the design and construction of the project would preserve public safety and provide adequate access and circulation for vehicular and pedestrian traffic. All necessary public improvements will be made prior to the proposed construction.*
- F. The design of the subdivision and the type of improvements will not conflict with easements, acquired by the public at large, for access through or use of, property within the proposed subdivision, *as the public sidewalk incorporated into the design will continue to provide access to the public along that right-of-way, and the City is unaware of any other such easements that exist on the property.*
- G. The City has considered the effect of the subdivision on the housing needs of the region in which the City is situated, and balanced those needs against the public service needs of its residents and available fiscal and environmental resources. *The proposed development will not significantly increase the demands on available fiscal and environmental resources. The housing needs will be improved in the region by the addition of four more units. Lastly, by subdividing the land, the opportunity for individual home ownership becomes a possibility.*
- H. The discharge of waste from the proposed subdivision into an existing community sewer system will not result in violation of existing requirements of the Regional Water Quality Control Board. *The City Engineer has reviewed the proposed subdivision. All necessary public improvements will be made prior to the proposed construction.*

CONDITIONAL USE PERMIT

As required by Section 17.52.290 of the Monrovia Municipal Code, the decision for granting Conditional Use Permit No. CUP2016-15 for the development of a 6-unit Planned Unit Development (PUD) located at 303 South Madison Avenue is based on the following findings:

- A. The project site is adequate in size, shape and topography for the development of 6 units. *The site has sufficient width, depth and lot area to accommodate this type of development. The site is rectangular and relatively flat and of sufficient size to accommodate the proposed six unit PUD.*
- B. The project site has sufficient access to streets and highways, adequate in width and pavement type to carry the quantity and quality of traffic generated by this 6-unit development. *The project will be accessed by one ingress and egress access*

onto South Madison Avenue. The project provides the required residential and guest parking spaces.

- C. The six-unit PUD will be compatible with the General Plan and will not adversely impact the objectives of the General Plan, *specifically the RH (Residential High Density) designation allows a density of 12 detached units on this 20,624 square foot site.*
- D. The 6-unit PUD will comply with the applicable provisions of the Zoning Ordinance. *The projected is zoned RH (Residential High Density) and is being developed at less than the maximum 75% Floor Area Ratio that is permitted by the Monrovia Municipal Code. All development guidelines including setbacks, recreation space, walls, and parking requirements are being met.*
- E. The proposed location of the 6-unit PUD and the conditions under which it will be operated or maintained will not be detrimental to the public health, safety or welfare, nor will it be materially injurious to properties or improvements in the vicinity, *as the site will be upgraded to include new landscaping, perimeter walls, and architectural amenities. It is on a residential block developed with both single and multi-family residences. The development is consistent with the existing development patterns in the vicinity. There are several multifamily structures within this block of South Madison Avenue, many of which are two story structures. The new units will offer a Craftsman design and an application of various quality building materials to convey a sense of permanence in an existing multifamily residential neighborhood.*
- F. The proposed project will not result in the demolition of a residential structure built prior to January 1, 1940, with architectural or know historic value. *The existing structures that will be demolished were constructed in 1941 and 1958, and are thus not covered by the moratorium (Ordinance No. 2014-13U) that prohibits demolition of any main building constructed in a residential zone prior to January 1, 1940.*

PLANNED UNIT DEVELOPMENT

As required by Section 17.44.050 of the Monrovia Municipal Code, the approval of the 6-unit PUD located at 303 South Madison Avenue is based upon the following findings:

- A. The plan provides as well, or better, for light and air, for public safety and convenience, the protection of property values and the preservation of the general welfare of the community, than if developed in other permitted uses, *because the design of the Planned Unit Development has taken into consideration all of those concerns on a parcel that is regular in shape. Furthermore, by subdividing the land, the opportunity for individual home ownership becomes a possibility.*



DATA SHEET 4

Surrounding Land Uses

TTM74362/CUP2016-15

303 South Madison Avenue

Property Description:

Located on the west side of South Madison Avenue between West Foothill Boulevard and West Colorado Boulevard. The lot measures 69.42 feet wide and approximately 291.57 feet deep for a lot area of approximately 20,241 square feet and is developed with two detached units and one detached garage.

Zoning

Subject site: RH (Residential High) Density

Surrounding pattern:

north: RH (Residential High Density)

south: RH (Residential High Density)

east: P/QP (Public/Quasi-Public)

west: RH (Residential High Density)

Land Use

Subject site: Multi-Family Residential

Surrounding pattern:

north: Multi-Family Residential

south: Multi-Family Residential

east: Monrovia High School

west: Multi-Family Residential

Environmental Determination: Categorical Exemption Class 3

Applicable Ordinance Regulations: MMC 17.52.020 Planning Commission Authority for CUP

OWNER/SUBDIVIDER:
BOWDEN DEVELOPMENT
212 W. FOOTHILL BLVD
MONROVIA, CA 91016
TEL: 626-303-7917
FAX: 626-358-1930

PREPARED BY:
HANK JONG, PE
EGL ASSOCIATES, INC.
11819 GOLDRING ROAD, UNIT A
ARCADIA, CA 91006
TEL: 626-263-3588
FAX: 626-263-3599

NOTES:
ZONING: RH (PRESENT)
ZONING: RH (PROPOSED)
APN: 8505-029-008
NO. OF EX. LOT: 1
NO. OF PROP. LOT: 7
NO. OF EX. UNITS: 2
NO. OF PROP. UNITS: 6
NO. OF PROP. PARKING: 12 (GARAGE) + 3 GUEST PARKING
NO. OF PROP. FLOORS: 2 STORIES (NO BASEMENT)
AREA OF LOT: 20,241 SQ. FT. (0.46 ACRE)

UTILITY SERVICES:
WATER ----- CITY OF MONROVIA
SEWER ----- COUNTY OF LOS ANGELES SANITATION DISTRICT
GAS ----- SOUTHERN CALIFORNIA GAS CO.
ELECTRICAL ----- SOUTHERN CALIFORNIA EDISON
TELEPHONE ----- AT&T
SCHOOL ----- MONROVIA UNIFIED SCHOOL DISTRICT
FIRE ----- CITY OF MONROVIA FIRE DEPARTMENT
POLICE ----- CITY OF MONROVIA POLICE DEPARTMENT

EASEMENT NOTES:
PER PRELIMINARY TITLE REPORT DATED JUNE 01, 2016,
PREPARED BY FIRST AMERICAN TITLE COMPANY
A EXISTING EASEMENT FOR CONDUIT PURPOSES,
RECORDED IN BOOK 141, PAGE 463.
EASEMENT IS INDETERMINATE BY NATURE.

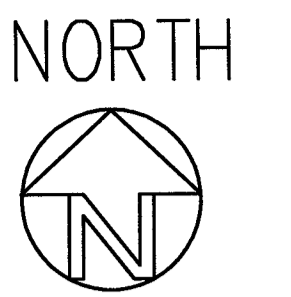
- CONSTRUCTION NOTES:
- 1 EX. STRUCTURE TO BE REMOVED
 - 2 EX. TREE TO BE REMOVED
 - 3 PROP. DRIVEWAY APPROACH
 - 4 PROP. DRIVEWAY
 - 5 PROP. WALKWAY
 - 6 PROP. CATCH BASIN
 - 7 TRASH ENCLOSURE
 - 8 PROP. MAILBOX
 - 9 REMOVE EX. DRIVEWAY APPROACH AND
PROP. NEW CURB & GUTTER, SIDEWALK,
AND LANDSCAPED PARKWAY.
 - 10 PROP. PARKWAY DRAIN.
 - 11 PROP. DOMESTIC WATER METER AND SERVICES.
 - 12 PROP. IRRIGATION WATER METER AND SERVICES.
 - 13 PROP. BACKFLOW DEVICE.
 - 14 PROP. SEWER LATERAL.
 - 15 PROP. SEWER CLEANOUT.
 - 16 PROP. STORMDRAIN PIPE.
 - 17 PROP. UNDERGROUND INFILTRATION BASIN.
 - 18 PROP. 6' HI. BLOCKWALL.

TENTATIVE TRACT MAP NO. 74362

IN THE CITY OF MONROVIA, COUNTY OF LOS ANGELES, STATE OF CALIFORNIA

BEING A SUBDIVISION OF A PORTION OF LOT 39 OF TRACT NUMBER 8715, AS PER MAP RECORDED IN BOOK 105,
PAGES 24 AND 25 OF MAPS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY .

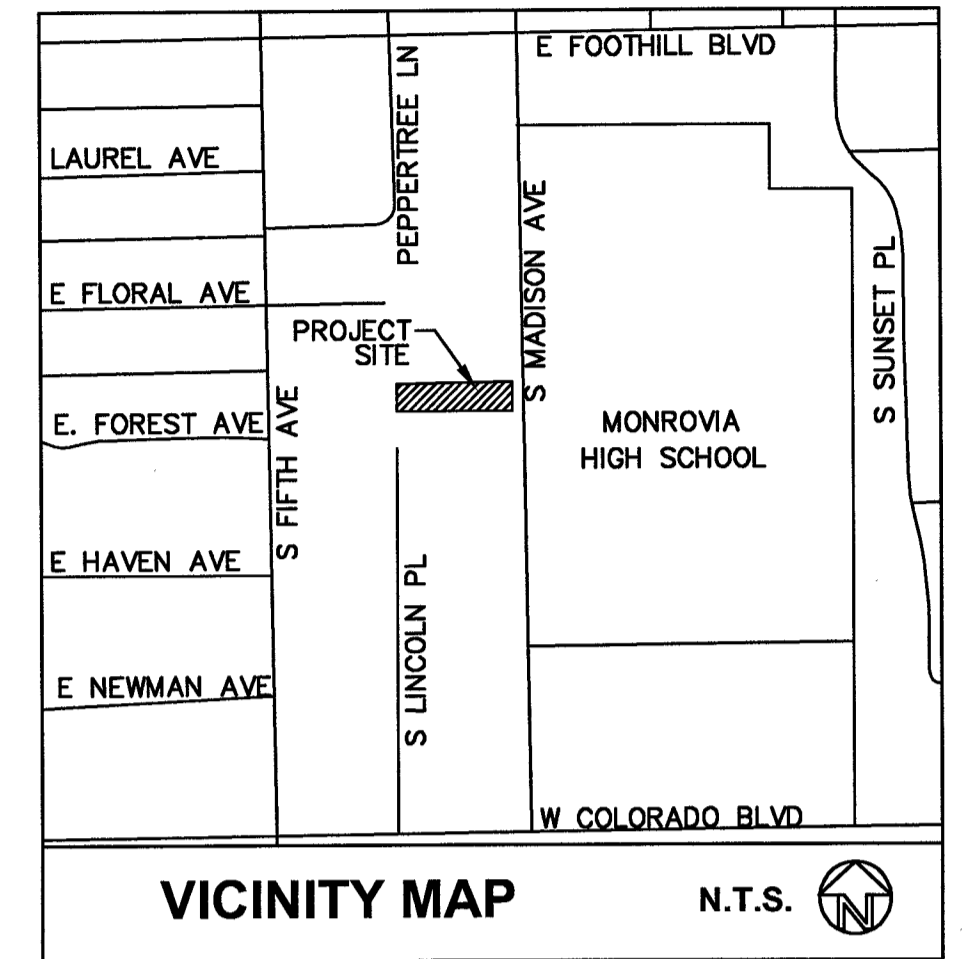
FOR PUD PURPOSES



SCALE : 1"=10'

LEGEND:

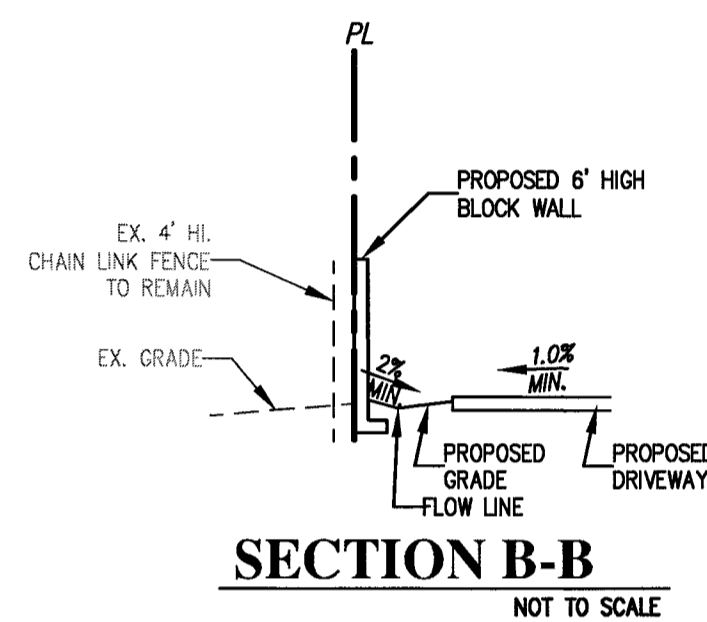
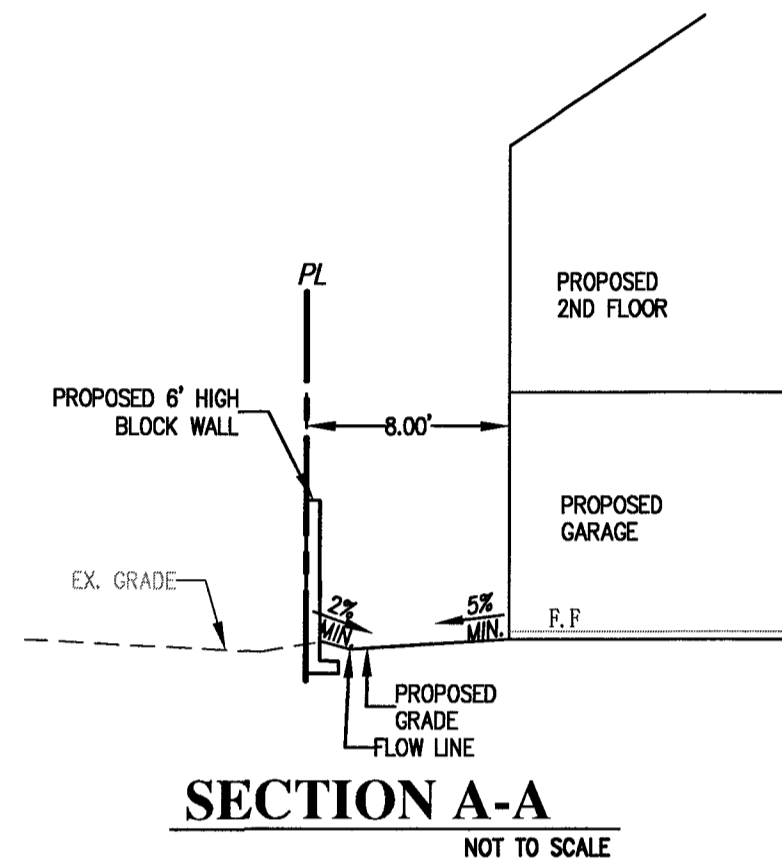
- (414.53).....EXISTING ELEVATION
- 520.00.....PROPOSED ELEVATION
- (530).....EXISTING CONTOUR
-DRAINAGE PATTERN
-EXISTING STRUCTURE
-PROPERTY LINE
-EXISTING SEWER LINE
-EXISTING WATER LINE
-EXISTING STORMWATER MAIN
-EXISTING GAS MAIN
-EXISTING BLOCK WALL
- EX.....EXISTING
- TC.....TOP OF CURB
- FF.....FINISH FLOOR
- HP.....HIGH POINT
- FL.....FLOW LINE
- TF.....TOP OF FOOTING
- R/W.....RIGHT OF WAY
-WATER METER
-FIRE HYDRANT
- (S).....SEWER MANHOLE
- (D).....STORMDRAIN MANHOLE
-CATCH BASIN
-STORM DRAIN PIPE



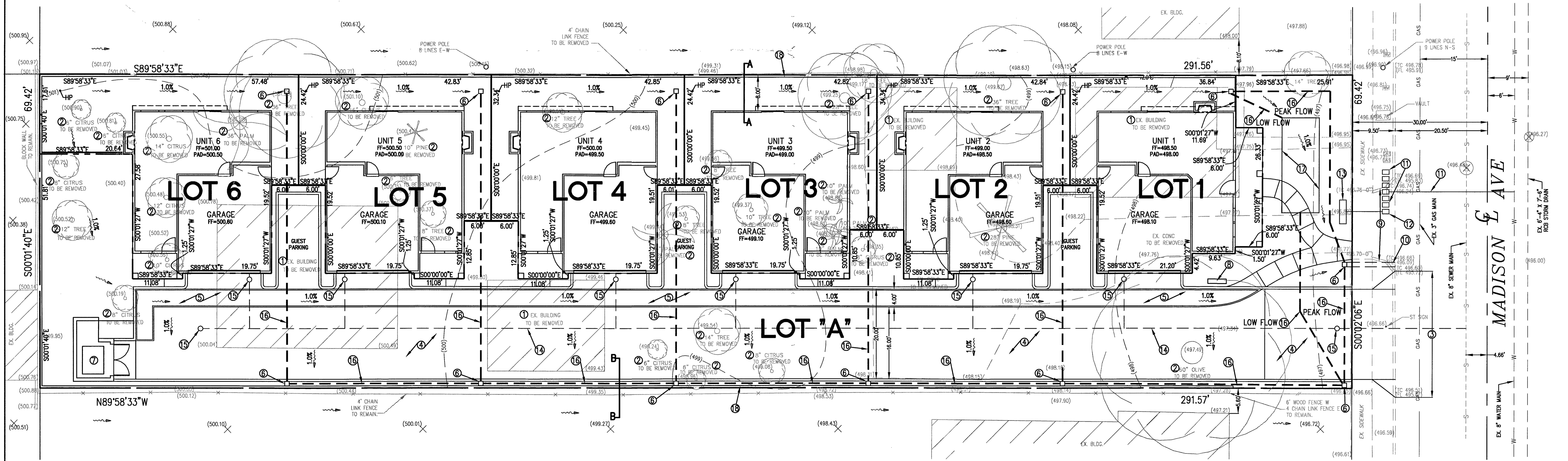
BENCHMARK:
COUNTY BENCHMARK 1G4723
CSBM MON E END C.B. 33 FT W/O BCR
@ SW COR FOOTHILL BLVD & FIFTH
ST MKD (BM 11-3A 1977 RE 22726)
ELEV: 514.03'

SURVEY WAS CONDUCTED BY ALFRED J. THELWELL, LS 6999
ON APRIL 14, 2016, MANAGED BY HANK JONG.

LOT	AREA
1	1,616 SQ. FT. (0.03 AC)
2	1,721 SQ. FT. (0.04 AC)
3	1,721 SQ. FT. (0.04 AC)
4	1,709 SQ. FT. (0.04 AC)
5	1,709 SQ. FT. (0.04 AC)
6	1,817 SQ. FT. (0.04 AC)
"A"	9,948 SQ. FT. (0.23 AC)
TOTAL	20,241 SQ. FT. (0.46 AC)



NOTES:
-NO OAK TREES ON SITE.
-ALL PUBLIC UTILITIES SHOULD BE FIELD VERIFIED.



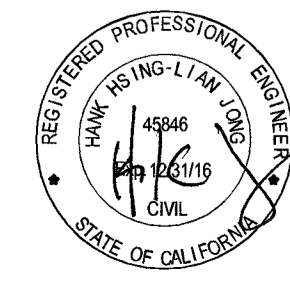
PROJECT LOCATION:
6 UNIT PUD
303 S. MADISON AVE
MONROVIA, CA 91016
APN: 8505-029-008

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REVISIONS	BY	REVISIONS	BY	RELEASED DATE

PREPARED FOR:
BOWDEN DEVELOPMENT
212 W. FOOTHILL BLVD
MONROVIA, CA 91016

EGL Associates, Inc.
11819 GOLDRING ROAD, Unit A
ARCADIA, CA 91006
Tel: (626)263-3588
Fax: (562)263-3599



NO.	EA
REVISION	HJ
DATE	06/15/2016
NO. OF SHEETS	16-241-002
SCALE	1"=10'
FILE	16241002T.DWG

T-1



SAITO DESIGN GROUP
 3001 VALLEY BOULEVARD, 11th
 WILMINGTON, CALIFORNIA 91791
 PHONE: 951-261-1111 FAX: 951-261-1112

NO.	REVISION	DATE



6-UNIT DEVELOPMENT
 303 S. MADISON AVENUE
 MONROVIA, CALIFORNIA

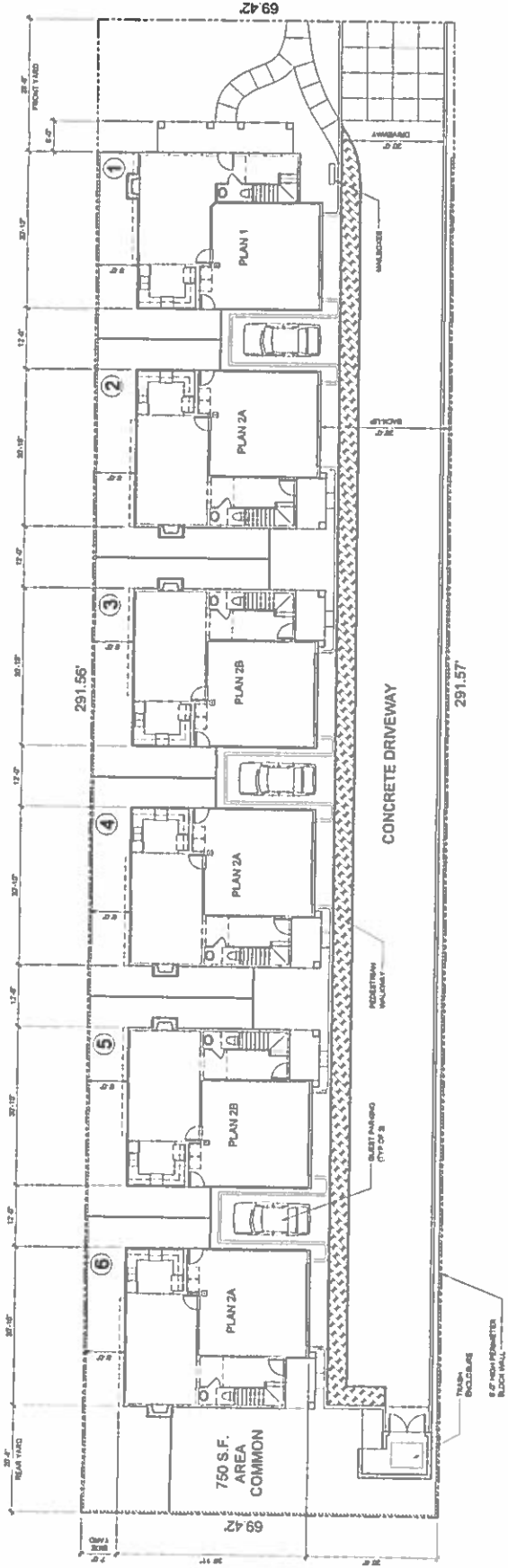
SITE PLAN

PROJECT: 6-UNIT DEVELOPMENT
 DRAWN BY: [Name]

OWNER / APPLICANT:
 BOWDEN DEVELOPMENT, INC.
 212 W. FOOTHILL BOULEVARD
 MONROVIA, CALIFORNIA 91016
 (626) 203-7917

DRAWN BY: [Name]
 JOB NO: [Number]
 SHEET NUMBER: [Number]

MADISON



SITE PLAN

SCALE: 1" = 10'-0"

PROJECT DATA

LOT AREA:	20,241 SQ. FT.
ZONING:	RH
MAXIMUM F.A.R.:	75%
MAXIMUM ALLOWED FLOOR AREA:	15,181 SQ. FT.
PROPOSED F.A.R.:	48%
PROPOSED FLOOR AREA:	9,308 SQ. FT.
PARKING REQUIRED:	25 UNIT X 8 = 15
PARKING PROVIDED:	2-CAR GARAGE X 6 = 12 GUEST PARKING = 3 SPACES PROVIDED = 15

UNIT MIX TABLE

LOT	UNIT TYPE		NUMBER OF BEDROOMS	UNIT AREA	TOTAL REQ. SPACE		PRIVATE REQ. SPACE		COMMON REQ. SPACE	
	2A	2B			REQ. SPACE	PROVIDED	REQ. SPACE	PROVIDED	REQ. SPACE	PROVIDED
1	X		4	1,287 SQ. FT.	312 SQ. FT.	284 SQ. FT.	128 SQ. FT.			
2		X	4	1,244 SQ. FT.	314 SQ. FT.	343 SQ. FT.	128 SQ. FT.			
3		X	4	1,244 SQ. FT.	314 SQ. FT.	343 SQ. FT.	128 SQ. FT.			
4	X		4	1,244 SQ. FT.	314 SQ. FT.	343 SQ. FT.	128 SQ. FT.			
5		X	4	1,244 SQ. FT.	314 SQ. FT.	343 SQ. FT.	128 SQ. FT.			
6		X	4	1,244 SQ. FT.	314 SQ. FT.	343 SQ. FT.	128 SQ. FT.			
TOTAL	1	3	2	TOTAL	6,208 SQ. FT.					

SDG

SATIO DESIGN GROUP
3001 VALLEY BELLEVUE, 1100
CANTON, CA 94709
TEL: (925) 303-7917
WWW.SATIODESIGN.COM

NO.	REVISION	DATE



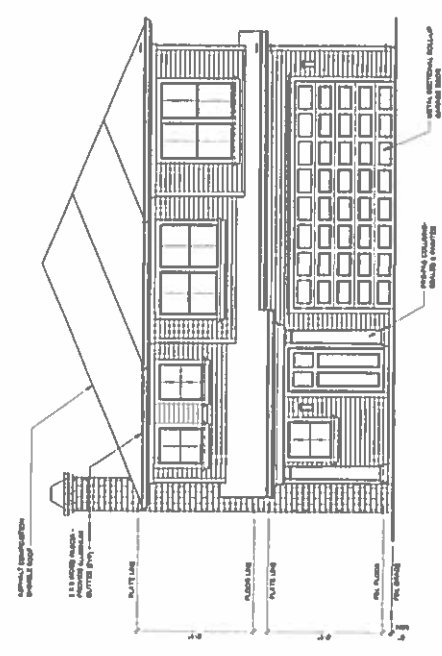
PROJECT: 6-UNIT DEVELOPMENT
303 S. MADISON AVENUE
MONROVIA, CA

DRAWING: ELEVATIONS

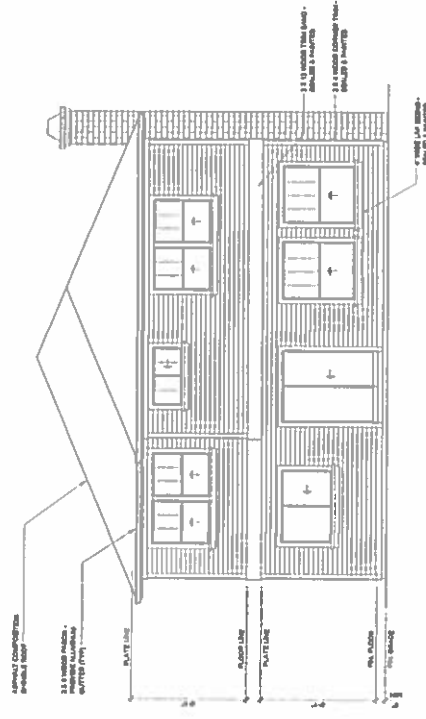
OWNER / APPLICANT:
BOWDEN DEVELOPMENT, INC.
212 W. FOOTHILL BLVD.
MONROVIA, CA 91016
(925) 303-7917

DRAWN BY:
PDS NO:
SHEET NUMBER:

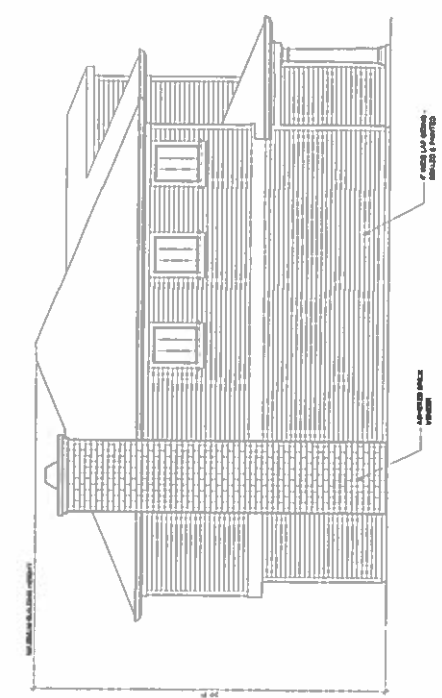
PLAN 2A



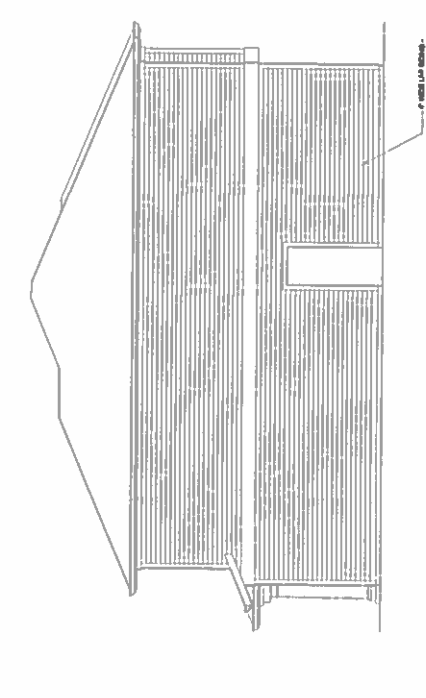
SOUTH (DRIVEWAY) ELEVATION
SCALE: 1/4" = 1'-0"



NORTH ELEVATION
SCALE: 1/4" = 1'-0"



WEST ELEVATION
SCALE: 1/4" = 1'-0"



EAST ELEVATION
SCALE: 1/4" = 1'-0"

SDG

SANITO DESIGN GROUP
3881 VALLEY BOULEVARD, SUITE 110
SAN DIEGO, CALIFORNIA 92109
PH: 619-444-1111 FAX: 619-444-1111

NO.	DATE	REVISION



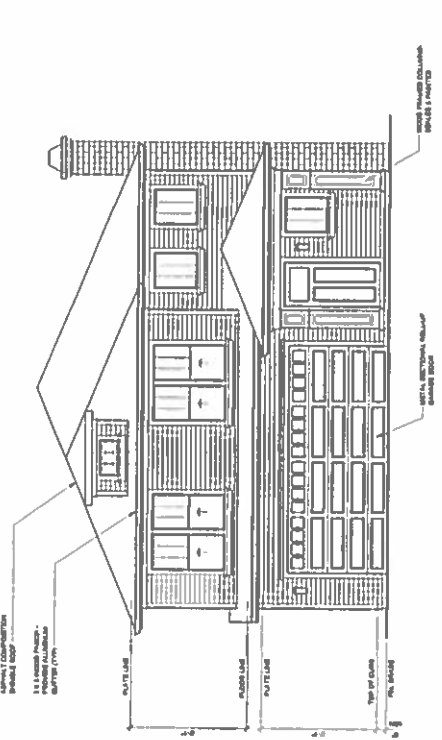
PROJECT: 6-UNIT DEVELOPMENT
303 S. MADISON AVENUE
MONROVIA, CA
ELEVATIONS

DRAWN:
PROJECT: 6-UNIT DEVELOPMENT
303 S. MADISON AVENUE
MONROVIA, CA
ELEVATIONS

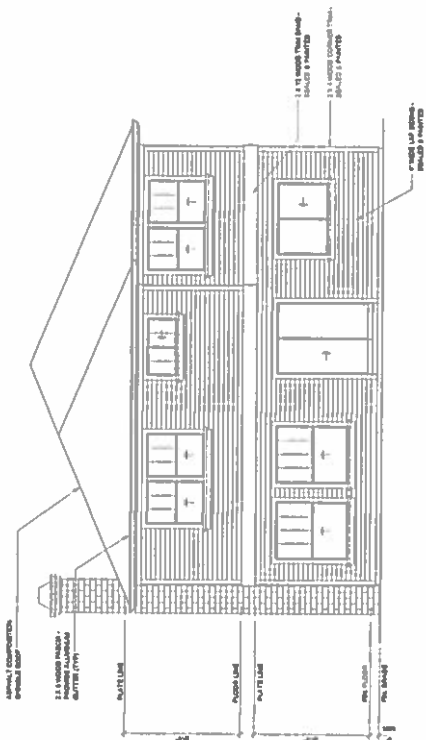
OWNER / APPLICANT:
BOWDEN DEVELOPMENT, INC.
213 W. FOOTHILL BLVD
MONROVIA, CA 91016
(626) 303-7917

DRAWN BY:
JOB NO:
SHEET NUMBER:

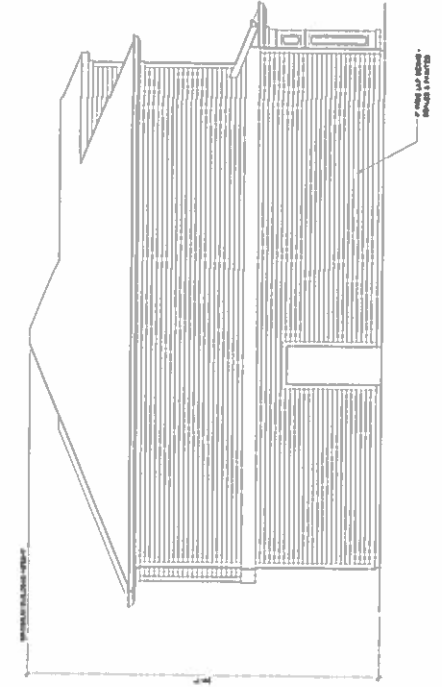
PLAN 2B



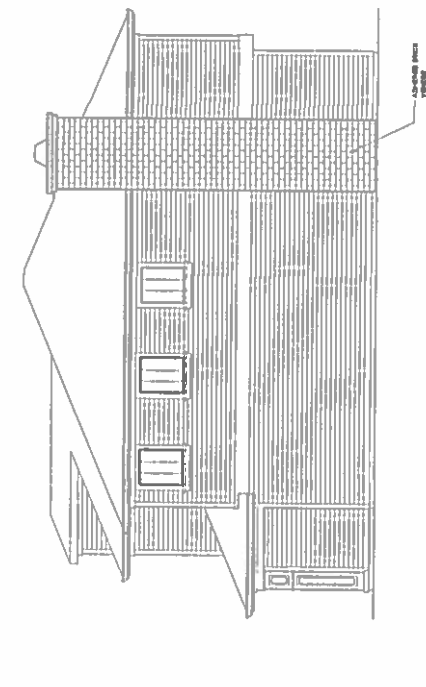
SOUTH (DRIVEWAY) ELEVATION
SCALE 1/4" = 1'-0"



NORTH ELEVATION
SCALE 1/4" = 1'-0"



WEST ELEVATION
SCALE 1/4" = 1'-0"



EAST ELEVATION
SCALE 1/4" = 1'-0"