

# City Council Agenda Item: PH-1

## Public Hearing for 619 E Walnut Ave:

- CUP - New Construction (4 two-story homes)
- Tentative Tract Map for a Planned Unit Development

**Applicant:** Bowden Development, Inc. (Richard Piña)

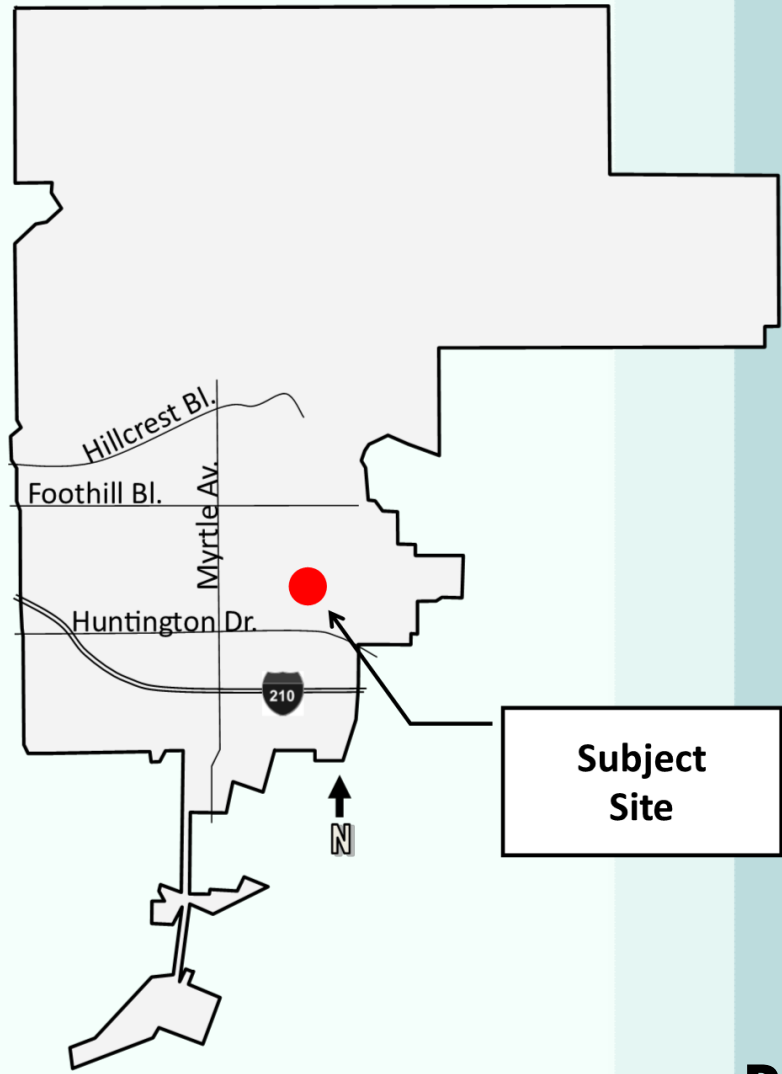
City Council Meeting

March 19, 2024

Planning Division

Community Development





# PH:1 (619 E Walnut Ave.)

Proposed Four-Unit Planned Unit Development



**Project Location**



**Zoning:**

RM3000/PUD (Residential Medium Density)

**Neighborhood:**

Multi-family

**Site Characteristics**

Two adjoining lots, one ownership  
13,080 square feet (0.30 Acre)

**Status:**

Developed w/ two units  
619 (front) and 619<sup>1/2</sup> (back)

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**First Residence**  
Built in 1923

**Second Residence**  
Built in 1940

**Project Site**





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**Figure 11. Primary/Southern Façade, 619½ E Walnut Avenue**  
SOURCE: Sapphos Environmental, Inc., 2023



**Figure 7B. Primary/Southern Façade, 619 E Walnut Avenue (right portion; garage)**  
SOURCE: Sapphos Environmental, Inc., 2023

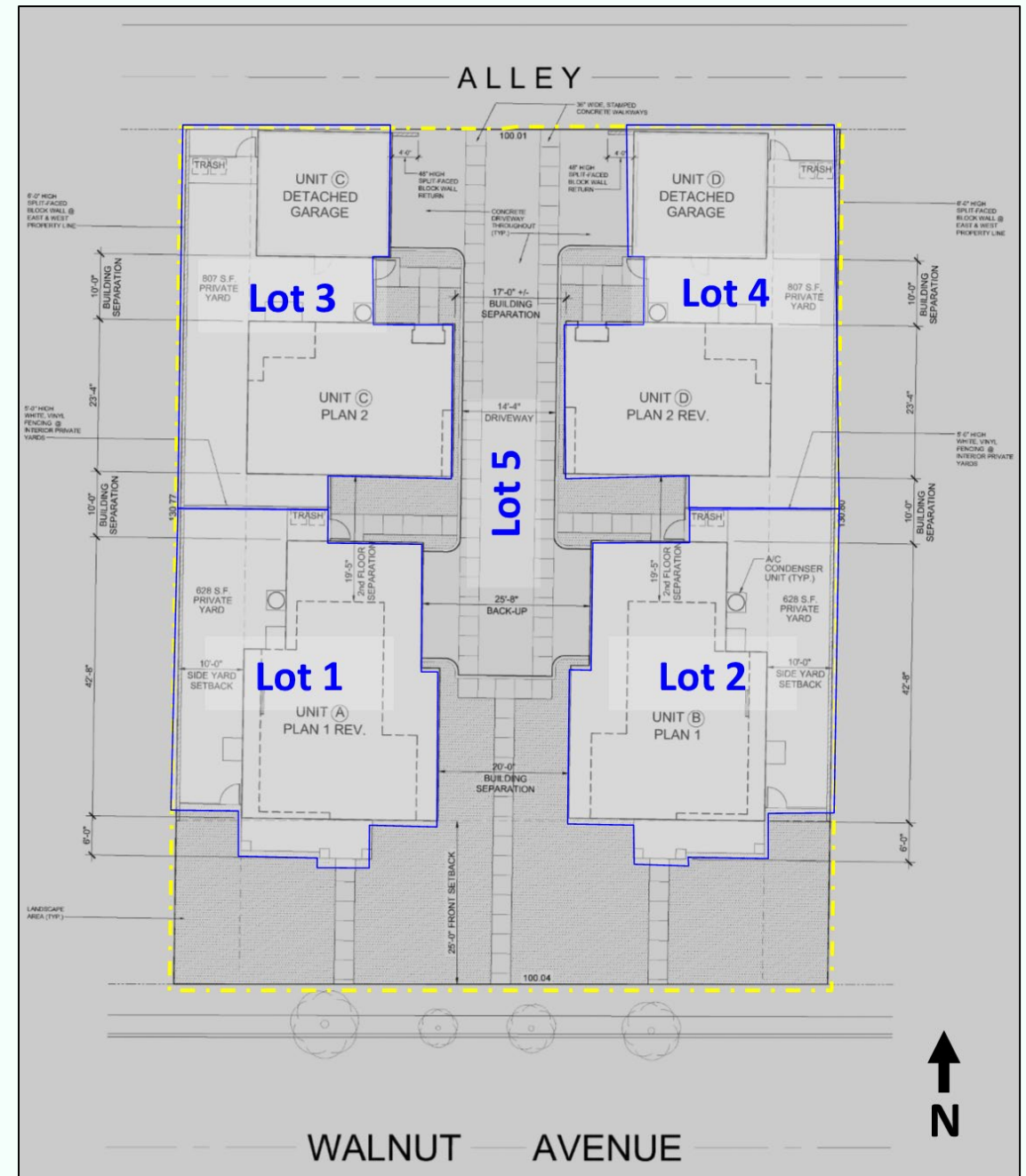
**Project Site**



## Proposal:

### Planned Unit Development

- Four individual lots under private ownerships
- Fifth lot contains common space owned by HOA



**Proposed Project**



**Proposal:**

Planned Unit Development

**Dwelling Units:**

4 Units, All Three-Bedroom Units

Each Unit Averages 1,300 s.f.

**Total Lot Size:**

13,080 Square Feet

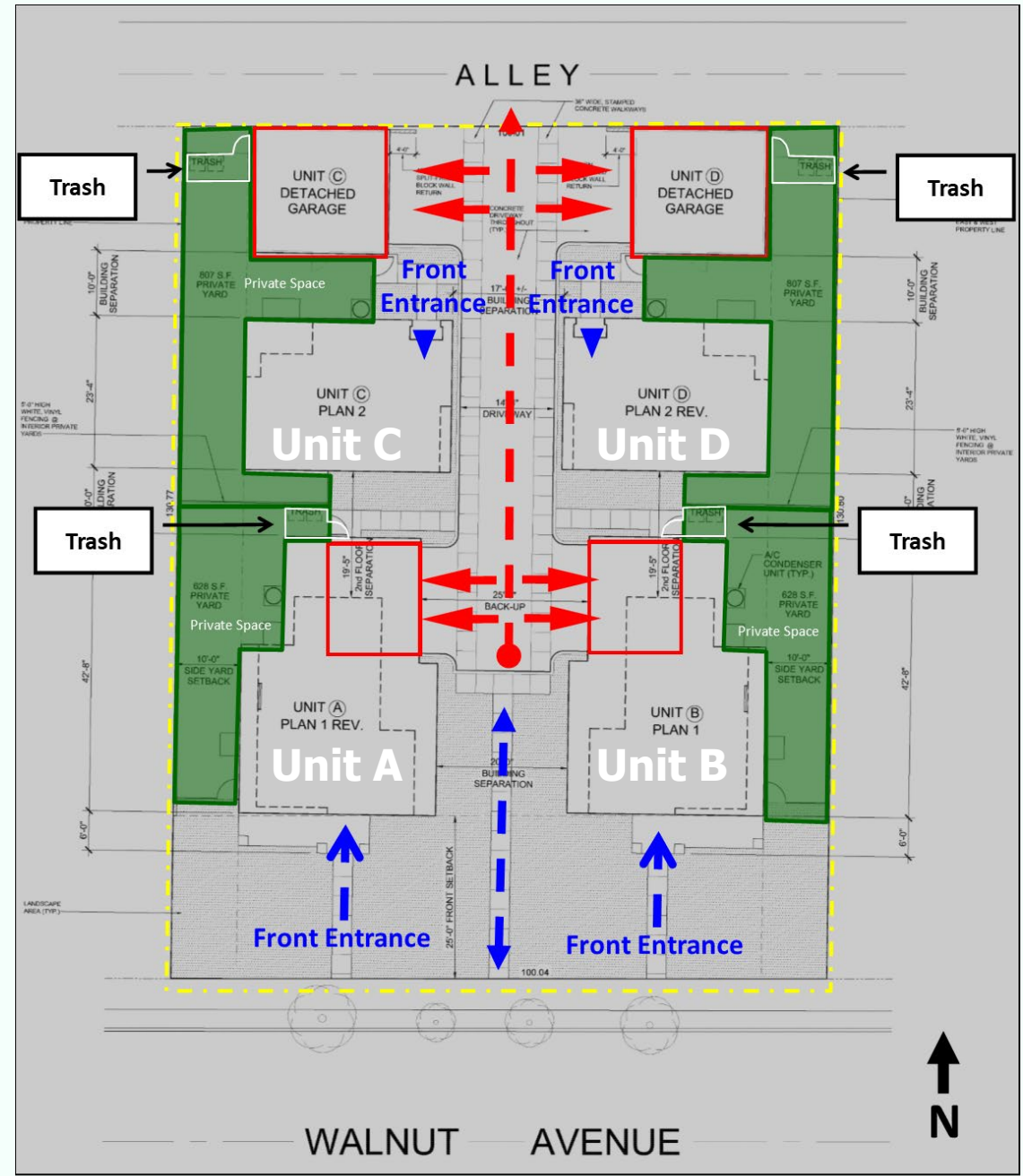
40% Floor Area Ratio (FAR)

**Parking:**

2-Car Garage, each unit

**Private Outdoor Space:**

628 s.f. to 807 s.f. per unit



**Legend**  
[Red Box] Parking [Blue Box] Main Entrances [Green Box] Recreation Areas





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UNIT A - PLAN 1 REVERSE

UNIT B - PLAN 1

SOUTH (WALNUT AVE.) STREETSCAPE ELEVATION

**Color Renderings**





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UNIT D - DETACHED GARAGE

UNIT D - PLAN 2 REVERSE

UNIT B - PLAN 1

## Color Renderings





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**CEQA:** Categorically Exempt (Class 32) the construction of an infill residential project on a small lot (less than five acres) in a developed urban setting.

**Conditions of Approval:**

- Performance standards
- Fire sprinklers and alert systems
- Conditions, covenants, and restrictions

**Findings to Approve:**

- Consistency with General Plan & Map Act
- Compliance with Zoning standards
- Neighborhood compatibility
- Expands opportunities for homeownership



# City Council

## **Planning Commission Recommendation:**

Approve Tentative Tract Map No. 084341 and CUP2024-0001

Adopt Resolution 2024-15

Planning

**Community Development**







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**Questions**