



HISTORIC PRESERVATION COMMISSION STAFF REPORT

APPLICATION: Special Review

AGENDA ITEM: AR-4

PREPARED BY: Sheri Bermejo
Planning Division Manager

MEETING DATE: November 30, 2016

SUBJECT: Special Review
209 West Scenic Drive

APPLICANTS: Kent and Sharon Morgan, Property Owners
209 West Scenic Drive
Monrovia, CA 91016

REQUEST: Review of rehabilitation plan for a proposed addition consisting of an attached 475 SF single-story second residential unit, a 217 SF second story master bathroom addition and a detached 1,280 SF three-car garage

BACKGROUND: On August 4, 2016 the City Building and Safety Division received an inquiry regarding demolition activities occurring at 209 West Scenic Drive. The City Senior Building Inspector immediately reported to the property and upon inspection discovered significant demolition activities were occurring without permits. Two rear portions of the existing residential structure (approximately 690 square feet) were demolished, all windows and doors were removed, all existing roof tiles were removed, and interior demolition work was done without required demolition permits and zoning approvals. Underground trenching for electrical and plumbing improvements, as well as grading work, had also been completed without proper approvals and permits. The City issued a Stop Work Notice that same day.

The subject single-family residential property is located on the north side of West Scenic Drive between Patterson Drive and North Primrose Avenue. The property is developed with a two-story, 4,263 square foot, Spanish Revival house that contains Moorish inspired decorative detailing. According to the Los Angeles County Assessor's records the residence was built in 1930. City of Monrovia building permit records indicate that additions to the rear of the residence were completed in approximately 1950.



South Elevation (Front) – Pre-Demolition

Although the residence is not listed on a City adopted potential historic resource list, based on preliminary review the main residential structure may meet the level of significance for historic local landmark status given its distinctive Spanish Revival architectural characteristics, design, materials and detailing.

As soon as the City put all unpermitted work at the subject property to a halt, the construction company hired an architect to prepare demolition and construction plans for the project. The complete scope of work includes the addition of an attached 475 square foot single-story second residential unit, a 217 square foot second-story master bathroom, a detached 1,280 square foot three-car garage, hardscape/landscape site improvements, the remodeling of an existing basement, as well as the reconstruction of original doors, windows and roofing materials.



The scope of work would normally require review and approval by the Development Review Committee under the new Neighborhood Compatibility Ordinance. However, given the presumed potential historic status, the project review authority has been deferred to the Historic Preservation Commission by the Community Development Director in accordance with Monrovia Municipal Code Section 2.56.050 (Appeals and Discretion to Decline Jurisdiction). Therefore, for this Special Review application the applicant is seeking feedback from the Historic Preservation Commission as to whether the proposal has the potential to maintain the integrity of the structure and whether the proposed additions could impact its historic significance.

DISCUSSION: Over the last two months the construction company, with the aid of their architect, has cooperated with the City to correct this matter. The ownership group has also expressed that they are committed to investing the time and funds necessary to perform a proper restoration of the property at 209 West Scenic Avenue.



A color coded demolition plan is included in this report as Exhibit “A,” which clearly documents the building area and architectural design elements that were removed. A total of 690 square feet was removed from the main residential structure, consisting of an attached single-story, 475 square foot guesthouse on the northeast side of the structure and a 215 square foot bonus room located on the second floor at the northwest side of the structure. A 220 square foot detached accessory shed structure that was located

within the rear yard was also removed. The demolition plan further documents that a chimney flue box located at the rear of the structure and all existing exterior doors, windows, and roofing materials were also removed. Photos submitted by the applicant indicate that the original doors were predominantly made of wood and several were French doors. The original windows were predominantly multi-pane casement windows. The original roof material consisted of regularly laid barrel mission tiles.

Separate architectural plans were submitted for the single-family home addition and garage, Exhibit “B” and Exhibit “C” respectively. As shown in the architectural drawings, the construction of an attached 475 square foot single story second residential unit is proposed

where the original guest house was located, a new master bathroom and closet is proposed on the second floor where the bonus room was located, and a new 1,280 square foot three-car garage is proposed at the northeast corner of the property. The new second residential unit will comply with zoning code requirements outlined in Monrovia Municipal Code 17.44.160. Its floor plan includes a kitchen surrounded by an open living room, one bedroom, a bathroom, and closet. The plans also propose to recondition 768 square feet of existing basement area which is currently accessed from the interior of the structure. A new exterior basement access is proposed where an existing casement window was located on the east side of the structure.



The new additions will match in colors, materials, shape and form. Color and material samples, as well photo documentation of the original main residential building, will be available for the Commission's review during the November 30th meeting. New tile roofing (Boral "Romano Pan" Tuscan Color) is proposed for both the main dwelling and new garage. The

garage roof structure will closely match the existing pitch and decorative wood rafter detailing. All new windows and existing window openings will be improved with new iron-clad wood windows (Sierra Pacific Sedona Series – color Light Blue 046). The non-original existing texture coat on all exterior walls and columns will be removed and all exterior walls will be plastered with a period appropriate hand troweled finish as a restoration improvement for the overall property. The copper shed roof overhangs above the south facing windows will be restored, as will the exterior balconies and their decorative brackets.



The exterior of the proposed second residential unit will also match in color, materials, shape, form and character of the main house. The proposed new columns adjacent to the parking area will match the existing columns. To create an exact match the applicant proposes to cast the existing columns so that new ones can be replicated. Furthermore, the applicant proposes to restore and repair the terra cotta vents at the base of the dwelling as well as the new entry steps. A new front door will be installed to match the original door in-kind.

Several hardscape and landscape improvements are also proposed. As shown in the picture on page one of this report, the main dwelling is surrounded by a decorative river rock wall which could be considered a contributing feature to the property. The applicant proposes to maintain this wall and improve it with a new concrete cap. Additionally, the existing slump stone wall along the front property line (adjacent to the sidewalk) will be removed and replaced with a river rock faced wall to match the existing stone wall onsite. Since the site is accessed by two driveway approaches on the east side of the property, the applicant proposes to eliminate the approach closest to the east property line. This area will be replaced with drought tolerant landscaping. The remaining driveway will be extended and provide access to a screened parking area and driveway access to the new garage.

RECOMMENDATION: Staff's determination is that the proposed residential project satisfies the development standards pursuant to Monrovia Municipal Code Section 17.12.005 (Neighborhood Compatibility Review) with respect to site planning/site design, building form, architectural features/design, neighbor impact review, and neighborhood compatibility design

review criteria. If the Historic Preservation Commission concurs, then the appropriate action would be a motion to:

Approve the project subject to the conditions of approval outlined in Exhibit “D.”

As mentioned at the beginning of this report, the applicant is also seeking feedback from the Historic Preservation Commission to rehabilitate and/or restore the property to maintain its historic integrity. The Commission can therefore “assist and guide” the property owner with proposed alterations on an advisory basis to find solutions, as well as have open discussion regarding appropriate changes that will safeguard the character of the structure. The information as to whether the proposal has the potential to maintain the integrity of the structure and whether the proposed additions could impact its historic significance will become part of the public record.

Staff Report Exhibits

- A. Demolition Plans
- B. Architectural Plans (Site Plan, Floor Plan, and Elevations) for Single-Family Addition
- C. Architectural Plans (Site Plan, Floor Plan, and Elevations) for Garage
- D. Planning Division Conditions of Approval



PLANNING DIVISION CONDITIONS

209 West Scenic Drive

Kent and Sharon Morgan, Property Owners

PLANNING DIVISION STANDARD CONDITIONS

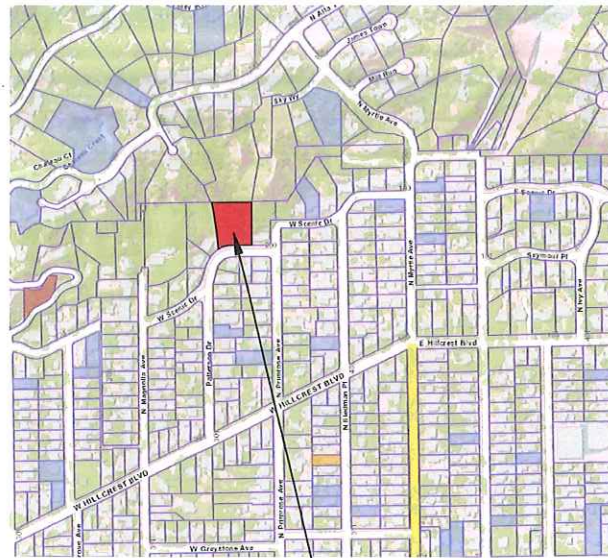
1. All approvals are subject to compliance with the Monrovia Municipal Code requirements.
2. Construction must begin within one year of the date of this approval or the approval will expire. An extension may be filed in writing 30 days prior to expiration.
3. Approval of this request does not constitute a building permit. Obtain necessary building permits with the Building Division before starting construction.
4. Any violation of these conditions of approval or the Monrovia Municipal Code may be subject to the Administrative Fine Ordinance, other available remedies and/or revocation or modification of this permit at the discretion of the City Attorney and City Prosecutor.
5. All of the conditions shall be complied with prior to commencement of the construction, unless an earlier compliance period is specified as part of a condition.
6. Indemnification. As a condition of approval, Applicant agrees to defend, indemnify, protect and hold harmless City, its officers, officials, employees, agents and volunteers from and against any and all claims, actions, or proceeding against the City, its officers, officials, employees, agents and/or volunteers to attack, set aside, void or annul, an approval of the City, Planning Commission or City Council concerning this permit and the project. Such indemnification shall include damages, judgments, settlements, penalties, fines, defensive costs or expenses, including, but not limited to, interest, attorneys' fees and expert witness fees, or liability of any kind related to or arising from such claim, action, or proceeding. The City shall promptly notify the Applicant of any claim, action, or proceeding. Nothing contained herein shall prohibit City from participating in a defense of any claim, action or proceeding. The City shall have the option of coordinating the defense, including, but not limited to, choosing counsel for the defense at Applicant's expense.

Project Specific Conditions of Approval

7. Prior to the issuance of a certificate of occupancy for the approved second unit, a covenant shall be recorded by the City with the County Recorder as a covenant running with the land.



1 Site Plan
A1 1/16"=1'-0"



2 Vicinity Map
A1 NTS

Demolition Legend

- 1** indicates location of item as appears on the project description
- indicates location of existing residence to remain
- indicates location of enclosed structure or portion of structure to be removed
- indicates location of exterior items to be removed

Index of Drawings

- A-1 Site plan, Drawing Index, Vicinity map
- General notes
- A-2.1 First Floor Demolition Plan - Main Residence
- A-2.2 Second Floor Demolition Plan - Main Residence
- A-2.3 Roof Plan - Main Residence
- A-3.1 Demolition Scope - Exterior Elevations
- A-3.2 Demolition Scope - Exterior Elevations
- A-3.3 Overview of Demolition Scope

Project Notes:

Project Location:
209 West Scenic Drive, Monrovia, CA 91016

Property Zone:
RL Residential Low Density

Owner:
Kent and Sharon Morgan
356 North Primrose Avenue
Monrovia, CA 91016

Assessor's Parcel # 8520-018-016

Legal Description

Parcel Map as per Book 194 pages 20-22 of parcel map that portion in tract 16091 of lot 1

Project Description:

Demolition of the following in preparation for renovation:

- 1** Second floor exterior walls and built up roof on the northwest corner of the main residence total floor area 215 sf
- 2** existing attached guest house walls and built up roof total floor area 475 sf
- 3** detached single level frame shed structure, slab, foundation walls and concrete steps, total area 220 sf
- 4** concrete walkway, steps and garden walls on the east side of the main residence
- 5** westerly curb cut and portion of the existing concrete driveway as indicated on the demolition location plan
- 6** concrete walkway in front yard
- 7** front entry steps and portions of existing rock retaining wall as required for new stair construction
- 9** chimney flue box to be removed
- 10** exterior windows and doors to be removed
- 11** tile roof and sheathing to be removed

Project Data:

Existing

Lot Area 39,594 sf
Existing Residence 4,263 sf
Existing Shed 220 sf
Existing FAR 4,483/39,594= .113

General Notes

- 1) All work must comply with the 2103 California Residential Code (CRC), 2013 California Building Code (CBC), 2013 California Mechanical Code (CMC), 2013 California Plumbing Code (CPC), 2013 California Energy Code (CEC), and 2013 California Green Building Code (CGBC)
- 2) Provide bathroom exhaust fan controlled by a humidistat per (R303.3.1) and (CGBC 4.506.1.2)
- 3) Provide tempered glass at shower door, shower enclosure and windows 1 and 2 per (CRC R308.4.5)
- 4) Cement, fiber-cement or glass mat gypsum backers in compliance with ASTM C1178, C1288 or C1325 shall be used as a base for wall tile in tub and shower areas and wall and ceiling panels in shower areas.
- 5) Exhaust ducts shall terminate outside the building and shall be equipped with backdraft dampers (CMC 504.1) and shall terminate a minimum of 3 feet from property lines and building openings.
- 6) All receptacles shall be listed as tamper resistant.
- 7) Ceiling fixtures above the tub and shower shall be marked as "suitable for damp locations" provided with a solid lens and be GFCI protected (CEC 410.10(A))
- 8) No hanging or pendant fixtures above the tub or shower are permitted per (CEC 410.10(D))
- 9) Fixture flow rates shall be as follows:
 - a) Water Closets: The effective flush volume shall not exceed 1.28 gallons per flush (CGBC 4.303)
 - b) Lavatories: Lavatory faucets shall have a maximum flow rate not to exceed 1.5 gpm at 60 psi. The minimum flow rate shall not be less than 0.8 gallons per minute at 20 psi. (CGBC 4.303)
 - c) Shower heads: single shower heads and multiple shower heads serving one shower shall have a maximum flow rate of 2.0 gpm at 80 psi (CGBC 4.303)
- 10) Fans shall be energy star compliant (CGBC 4.506.1.1)
- 11) All showers and tub-showers shall have a pressure balance, thermostatic mixing valve, or combination pressure balance/thermostatic mixing type valve (CPC 408.3)
- 12) Drainage piping systems shall be sized in accordance with CPC section 703.0 Vent piping systems shall be sized in accordance with CPC section 904.0
- 13) Relocated vents shall extend through flashing provided a minimum six (6) inches above the roof, nor twelve (12) inches from a vertical wall, nor less than ten (10) feet from or three (3) feet above any operable window, door, opening, air intake, or vent shaft, nor less than three (3) feet from a property line. (CPC 906.1, CPC 906.2)

**Received
OCT 31 2016
Community Development Dept**

NO.	DATE	REVISIONS	REMARKS
1			
2			
3			
4			

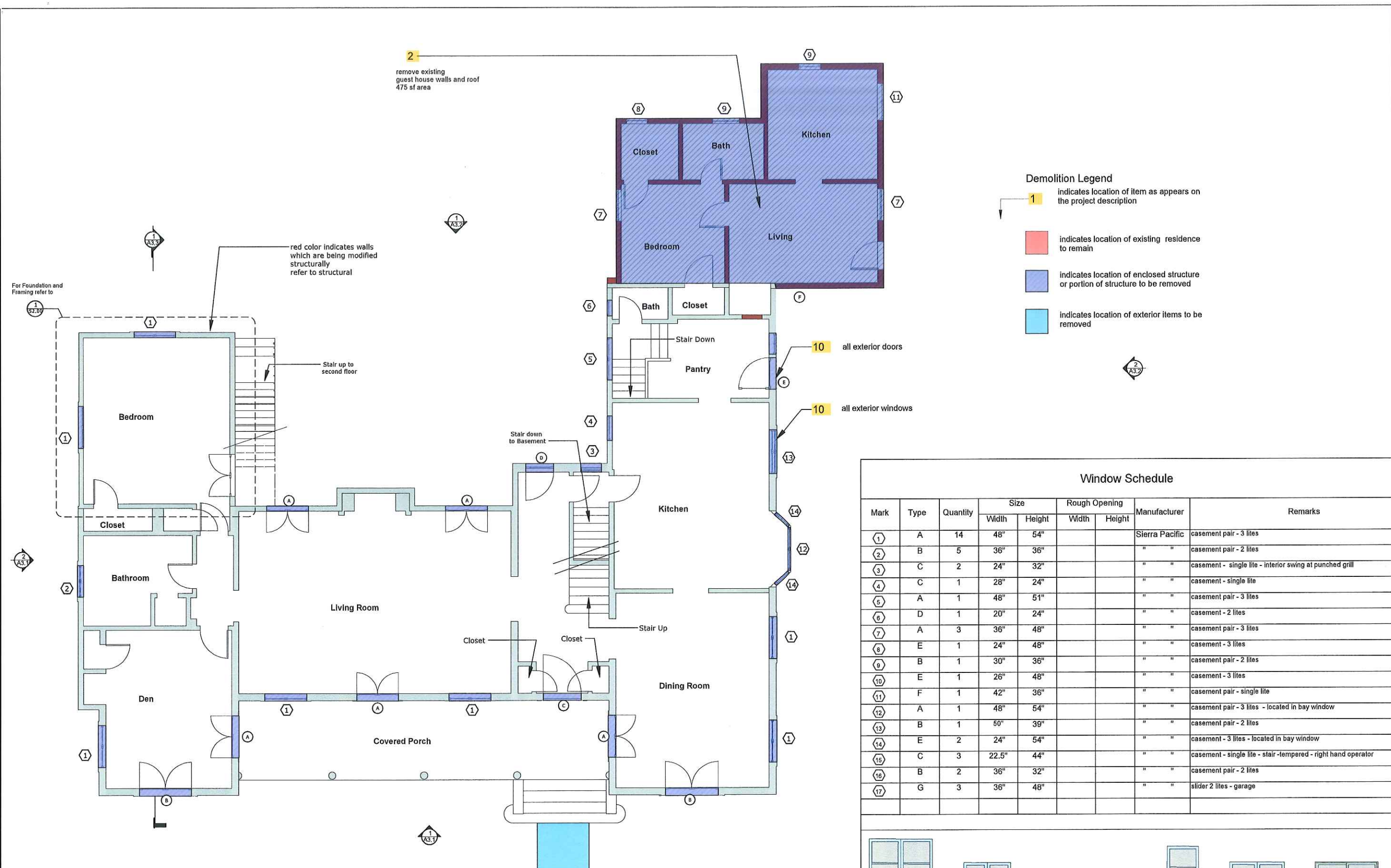
Coronado Construction
856 Ridgeway Drive
Monrovia, CA 91016
(626) 222-0411

Kent & Sharon Morgan
259 N. Primrose Ave
Monrovia, CA
(818) 424-3091

Coulter Winn, Architect
345 North Alta Vista Avenue
Monrovia CA 91016
(626) 483-9874

209 West Scenic Renovation
209 West Scenic Drive
Monrovia, CA 91016
Demolition Location Plan General Notes

Date 24 Aug 2016
Scale As Noted
Drawn Winn
Job Scenic
Sheet **A-1**
of Sheets



Demolition Legend

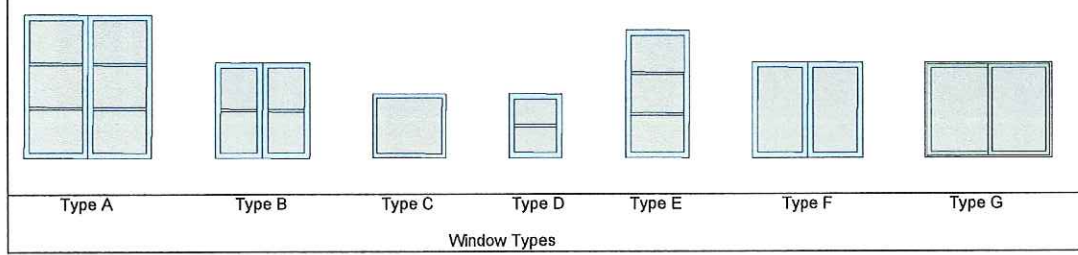
- 1 indicates location of item as appears on the project description
- indicates location of existing residence to remain
- indicates location of enclosed structure or portion of structure to be removed
- indicates location of exterior items to be removed

Window Schedule

Mark	Type	Quantity	Size		Rough Opening		Manufacturer	Remarks
			Width	Height	Width	Height		
1	A	14	48"	54"			Sierra Pacific	casement pair - 3 lites
2	B	5	36"	36"			" "	casement pair - 2 lites
3	C	2	24"	32"			" "	casement - single lite - interior swing at punched grill
4	C	1	28"	24"			" "	casement - single lite
5	A	1	48"	51"			" "	casement pair - 3 lites
6	D	1	20"	24"			" "	casement - 2 lites
7	A	3	36"	48"			" "	casement pair - 3 lites
8	E	1	24"	48"			" "	casement - 3 lites
9	B	1	30"	36"			" "	casement pair - 2 lites
10	E	1	26"	48"			" "	casement - 3 lites
11	F	1	42"	36"			" "	casement pair - single lite
12	A	1	48"	54"			" "	casement pair - 3 lites - located in bay window
13	B	1	50"	39"			" "	casement pair - 2 lites
14	E	2	24"	54"			" "	casement - 3 lites - located in bay window
15	C	3	22.5"	44"			" "	casement - single lite - stair-tempered - right hand operator
16	B	2	36"	32"			" "	casement pair - 2 lites
17	G	3	36"	48"			" "	slider 2 lites - garage

Window Notes:

- All windows to be dual glazed - no exceptions
- refer to plans for tempered window locations
- All windows to be Sierra Pacific Sedona Series -Aluminum Clad Wood - Heritage Collection - Color Light Blue 046
- Field Verify all rough openings prior to fabrication
- Window installation to meet all 2013 California Energy Code (CEC) and 2013 California Green Building Code (CGBC)



1 First Floor Demolition Plan
A2.1 1/4"=1'-0"

REVISIONS	
NO./DATE	REVISIONS
1	
2	
3	
4	

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(626) 483-9874

209 West Scenic Drive
Monrovia, CA 91016

First Floor Plan - Main Residence

Date 24 Aug 2016
Scale As Noted
Drawn Winn
Job Scenic
Sheet
A-2.1
of Sheets

1 Remove second floor built up roof and second floor exterior walls 215 sf area

2 Remove existing guest house roof

- Demolition Legend**
- 1 indicates location of item as appears on the project description
 - Red square indicates location of existing residence to remain
 - Blue square indicates location of enclosed structure or portion of structure to be removed
 - Light blue square indicates location of exterior items to be removed

1 Second Floor Demolition Plan
A2.2 1/4" = 1'-0"

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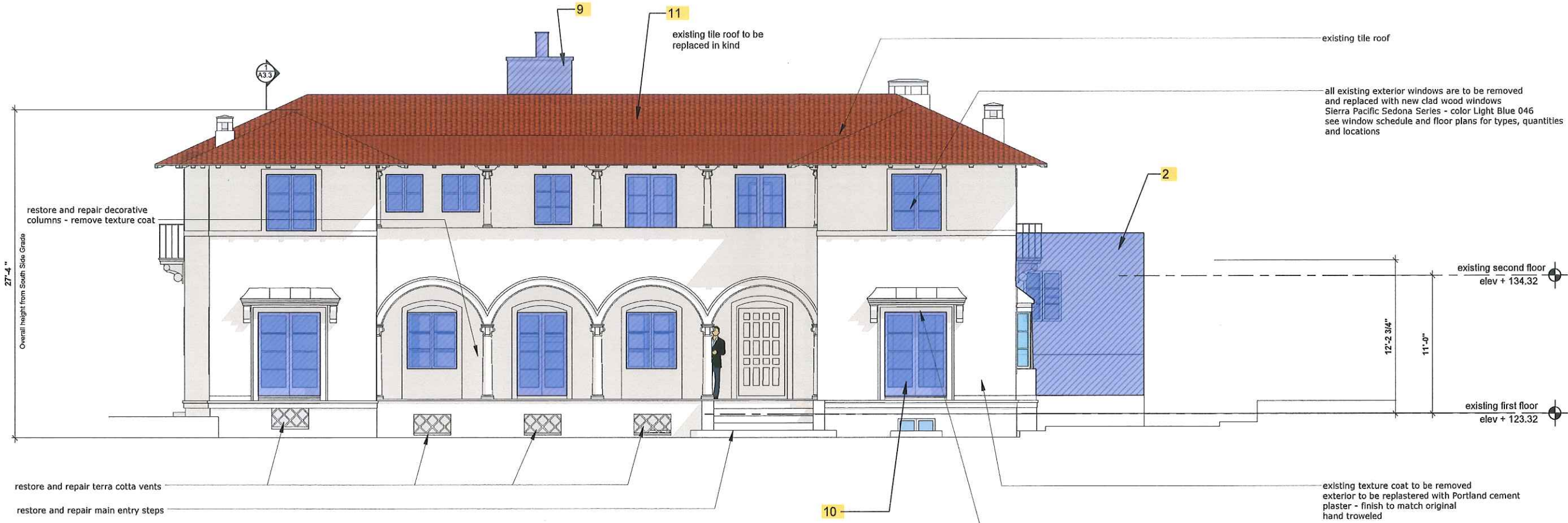
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Kent & Sharon Morgan
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(818) 424-3091

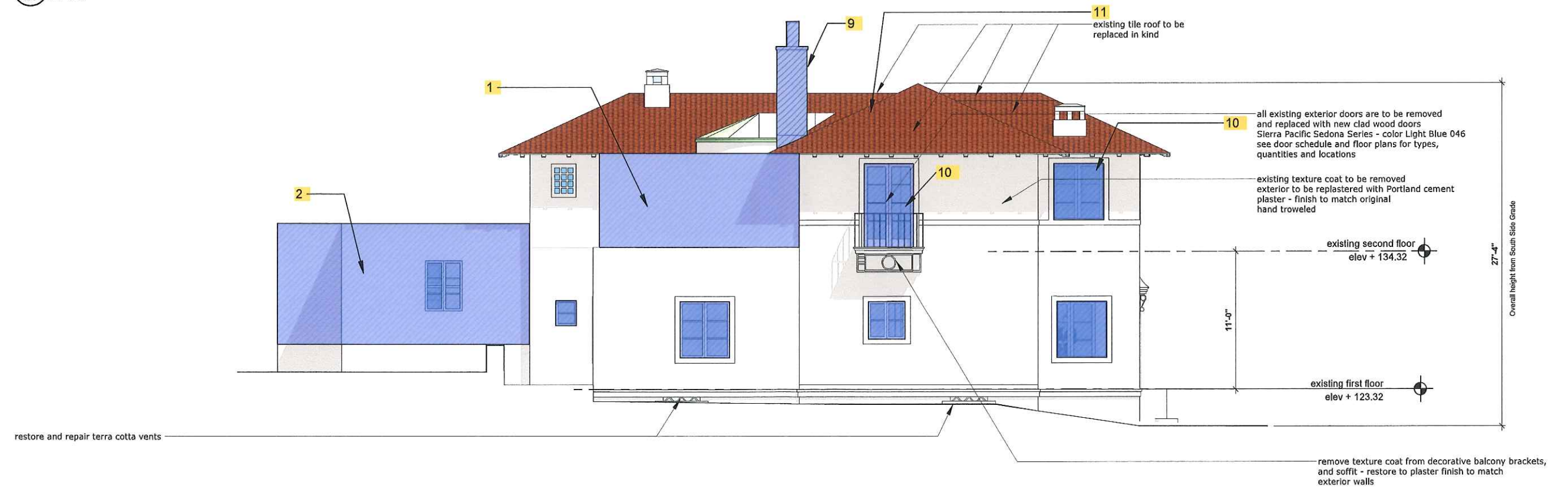
Coulter Winn, Architect
345 North Alta Vista Avenue
Monrovia CA 91016
(626) 483-8874

209 West Scenic Renovation
209 West Scenic Drive
Monrovia, CA 91016
Roof Plan - Main Residence

Date 24 Aug 2016
Scale As Noted
Drawn Winn
Job Scenic
Sheet **A-2.2**
of Sheets



1 South Elevation - Demolition Scope
 A3.1 1/4"=1'-0"



2 West Elevation - Demolition Scope
 A3.1 1/4"=1'-0"

REVISIONS		REMARKS
NOV/20/16	1	
12/29/2016	2	
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	4	

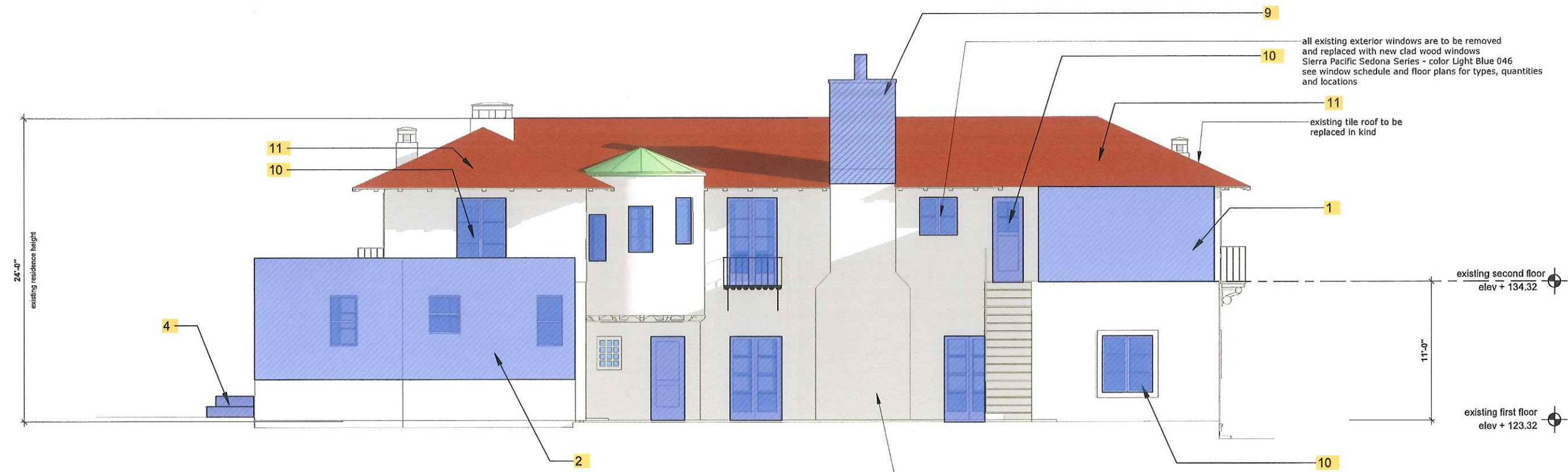
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209 West Scenic Renovation
 209 West Scenic Drive
 Monrovia, CA 91016
 Demolition Scope - Exterior Elevations

Date 24 Aug 2016
 Scale As Noted
 Drawn Winn
 Job Scenic
 Sheet
A-3.1
 of Sheets



1 North Elevation
A3.2 1/4"=1'-0"



2 East Elevation - Demolition Scope
A3.2 1/4"=1'-0"

all existing exterior windows are to be removed and replaced with new clad wood windows Sierra Pacific Sedona Series - color Light Blue 046 see window schedule and floor plans for types, quantities and locations

existing tile roof to be replaced in kind

existing texture coat to be removed exterior to be replastered with Portland cement plaster - finish to match original hand troweled

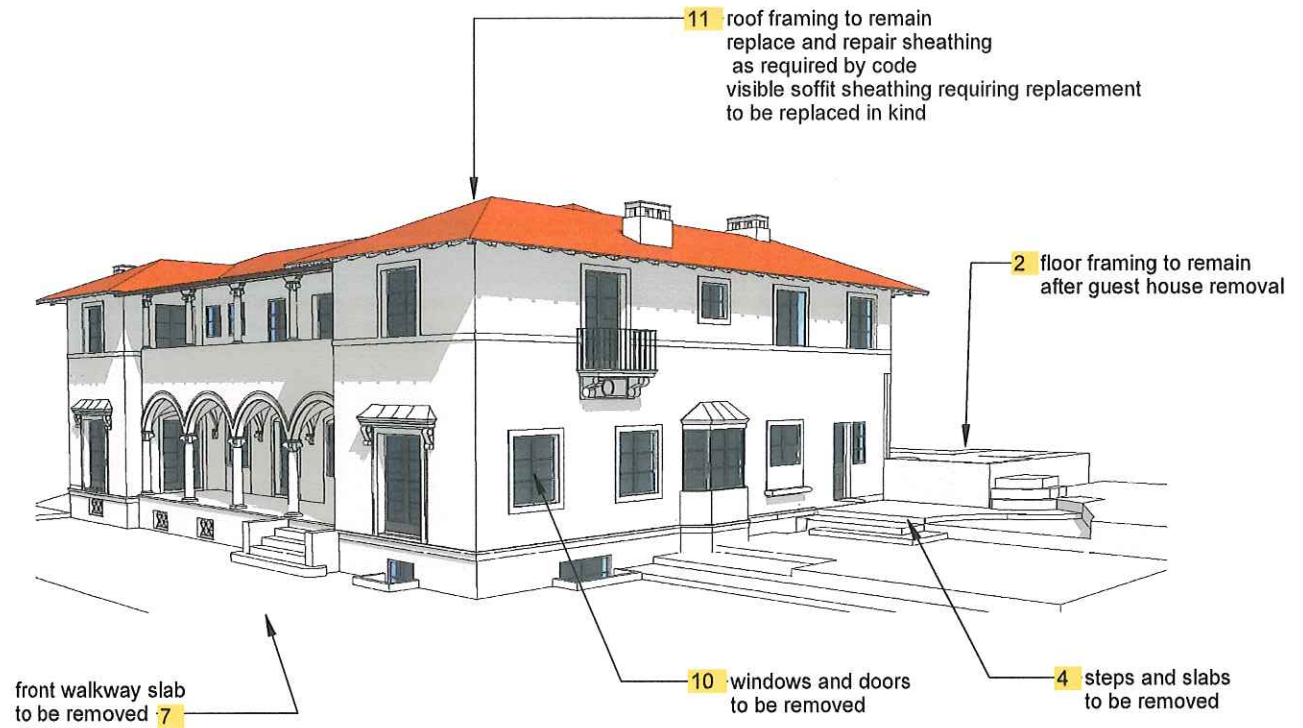
existing texture coat to be removed exterior to be replastered with Portland cement plaster - finish to match original hand troweled

REVISIONS	
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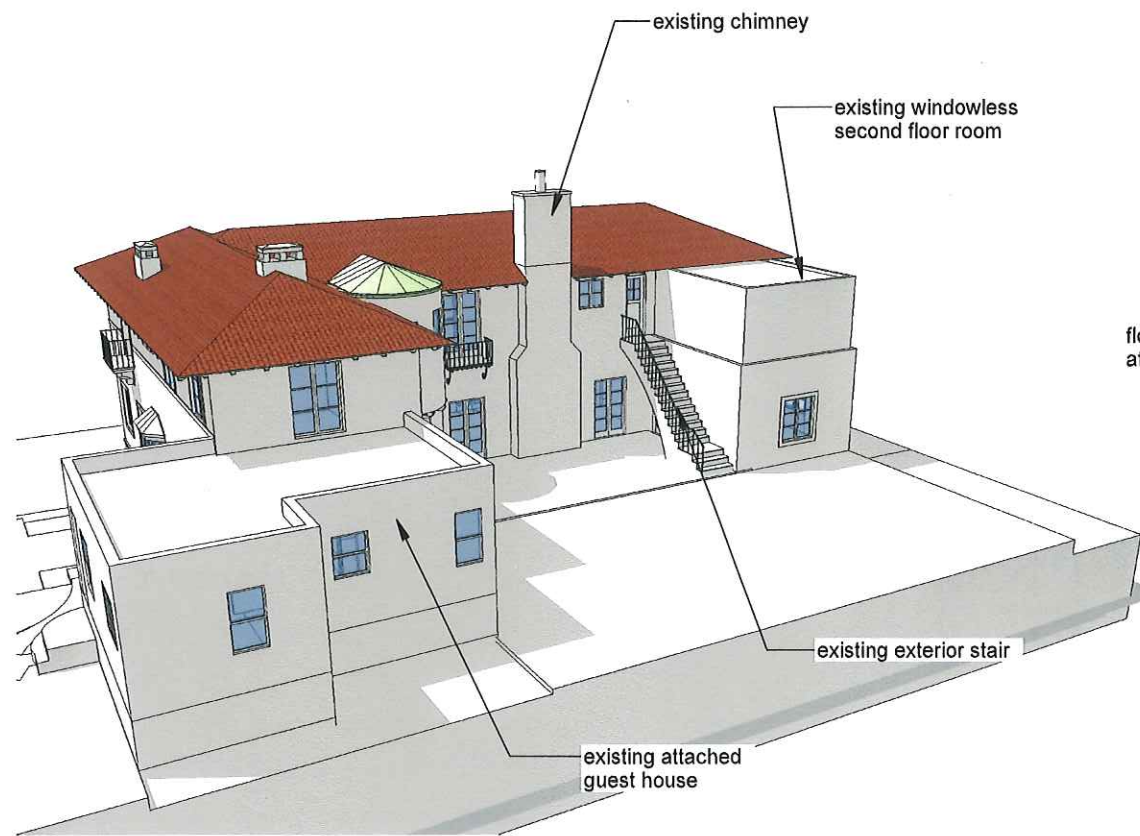
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<p>209 West Scenic Renovation 209 West Scenic Drive Monrovia, CA 91016</p>
<p>Demolition Scope - Exterior Elevations</p>
<p>Date 24 Aug 2016</p>
<p>Scale As Noted</p>
<p>Drawn Winn</p>
<p>Job Scenic</p>
<p>Sheet A-3.2</p>
<p>of Sheets</p>



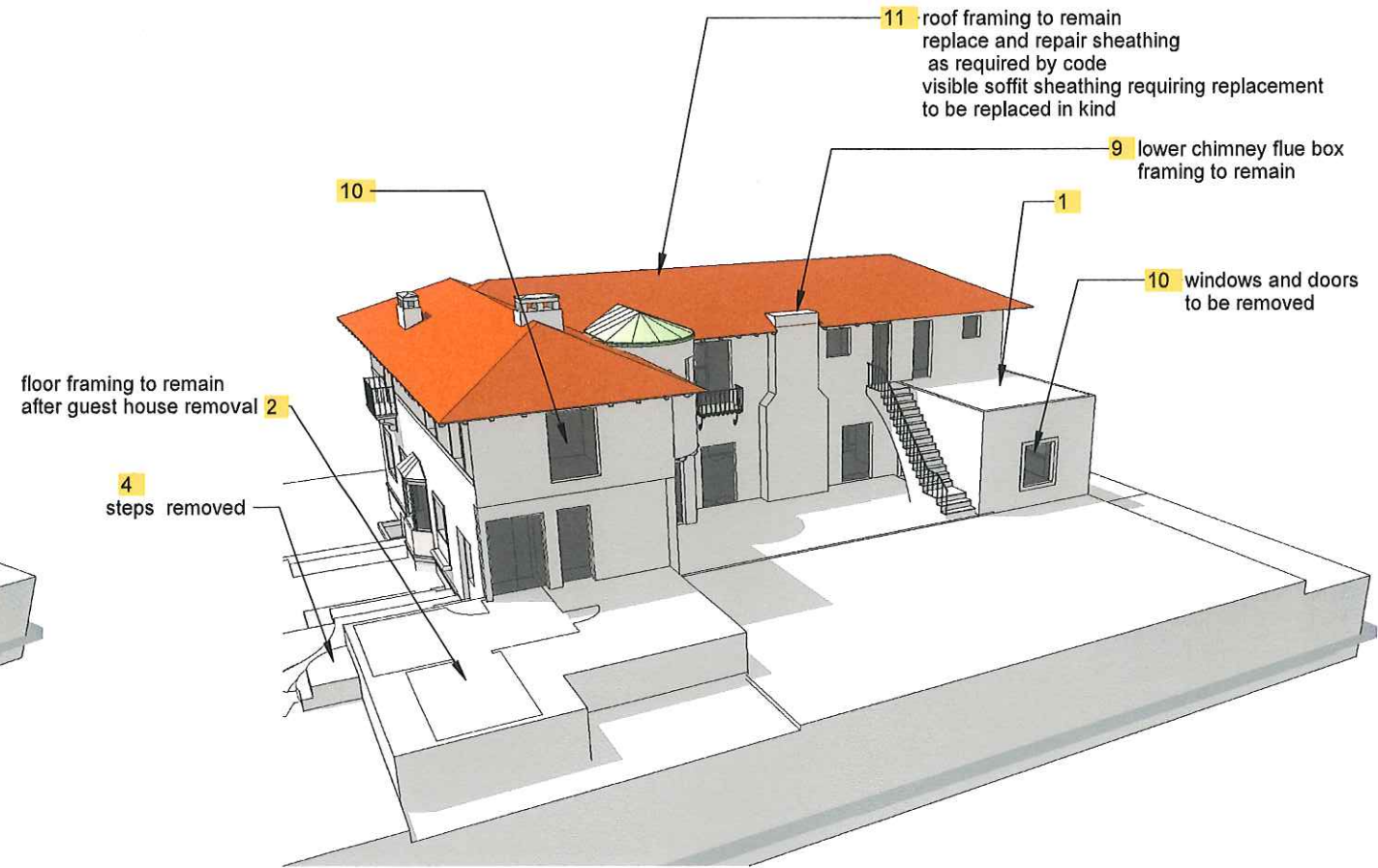
1 View from Front Pre-Demolition
A3.3 NTS



2 View from Front Post-Demolition
A3.3 NTS



3 View from Rear Pre-Demolition
A3.3 NTS



4 View from Rear Post-Demolition
A3.3 NTS

NO.	DATE	REVISIONS
1	12/29/2015	
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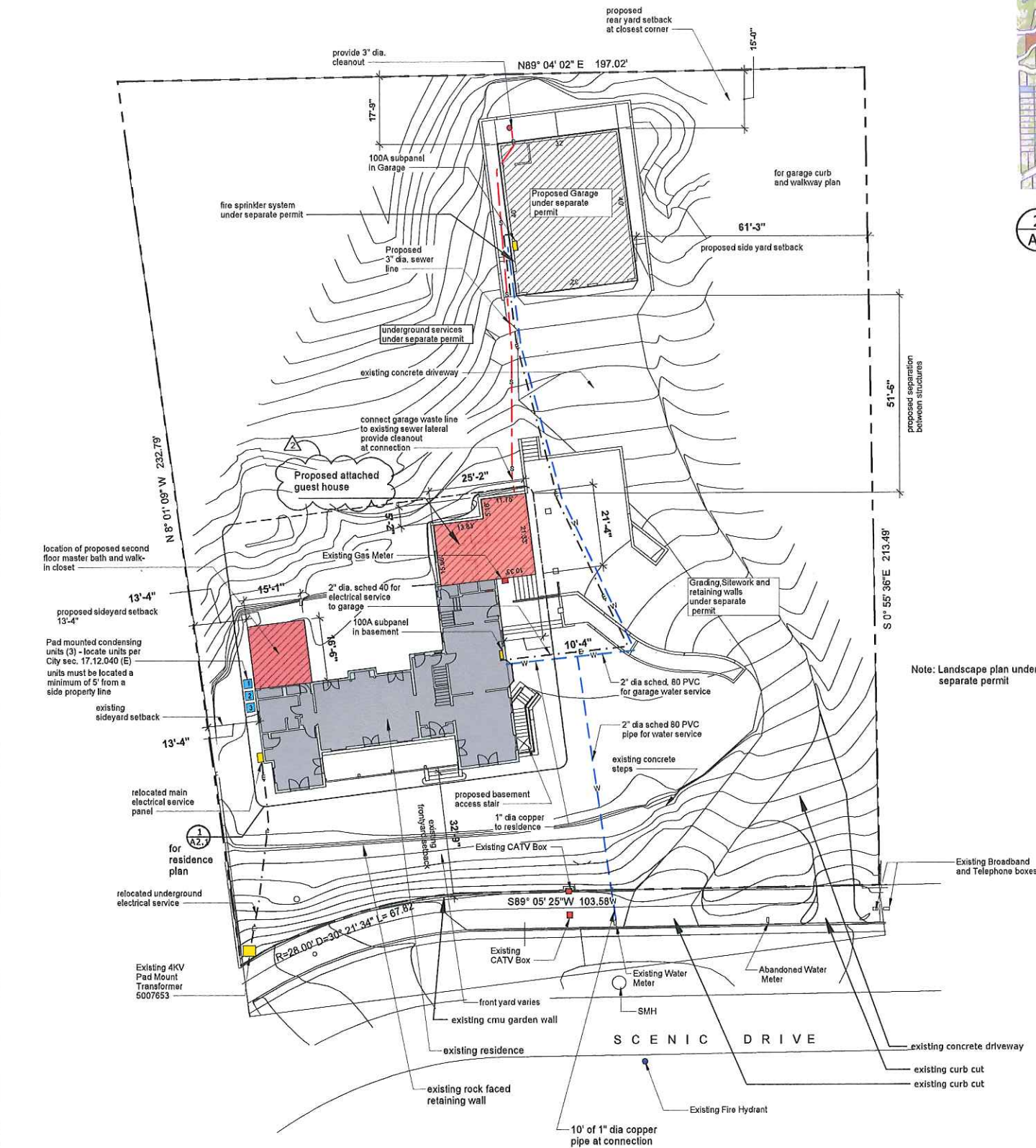
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209 West Scenic Renovation
209 West Scenic Drive
Monrovia, CA 91016
Demolition Scope of work

Date 24 Aug 2016
Scale As Noted
Drawn Winn
Job Scenic
Sheet
A-3.3
of Sheets



1 Site Plan
A1 1/16"=1'-0"



2 Vicinity Map
A1 NTS

Fire Hazard Zone Notes:

This project is located in the Hillside high fire hazard area and shall comply with the provisions of CRC Section R327. The following shall be complied with

- 1) All windows and door glass to be dual glazed
- 2) exposed wood members shall be 4X nominal size
- 3) exposed soffit decking shall be 2x nominal size
- 4) A class A roof shall be provided
- 5) Fire Sprinklers shall be provided per City Fire Dept. requirements Fire Sprinklers under separate permit
- 6) With the exception of allowed wall penetration areas, exterior wall assembly shall meet 1 hour code requirements.
- 7) Interior walls and ceilings to be faced in 5/8" "type X" gypsum board or green board as occurs
- 8) Exterior doors shall be rated a minimum of 20 minutes. All glass to be dual glazed fire glass. Exterior doors to comply with CRC Sect. R327.6.2
- 9) Roof vents to comply with CRC Sect. R327.6.2

General Notes

- 1) All work must comply with the 2013 California Residential Code (CRC), 2013 California Building Code (CBC), 2013 California Mechanical Code (CMC), 2013 California Plumbing Code (CPC), 2013 California Energy Code (CEC), and 2013 California Green Building Code (CGBC)
- 2) Provide bathroom exhaust fan controlled by a humidistat per (R303.3.1) and (CGBC 4.506.1.2)
- 3) Provide tempered glass at shower door, shower enclosure and windows 1 and 2 per (CRC R308.4.5)
- 4) Cement, fiber-cement or glass mat gypsum backers in compliance with ASTM C1178, C1288 or C1325 shall be used as a base for wall tile in tub and shower areas and wall and ceiling panels in shower areas.
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- 9) Fixture flow rates shall be as follows:
 - a) Water Closets: The effective flush volume shall not exceed 1.28 gallons per flush (CGBC 4.303)
 - b) Lavatories: Lavatory faucets shall have a maximum flow rate not to exceed 1.5 gpm at 60 psi. The minimum flow rate shall not be less than 0.8 gallons per minute at 20 psi. (CGBC 4.303)
 - c) Shower heads: single shower heads and multiple shower heads serving one shower shall have a maximum flow rate of 2.0 gpm at 80 psi (CGBC 4.303)
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- 11) All showers and tub-showers shall have a pressure balance, thermostatic mixing valve, or combination pressure balance/thermostatic mixing type valve (CPC 408.3)
- 12) Drainage piping systems shall be sized in accordance with CPC section 703.0 Vent piping systems shall be sized in accordance with CPC section 904.0
- 13) Relocated vents shall extend through flashing provided a minimum six (6) inches above the roof, nor twelve (12) inches from a vertical wall, not less than ten (10) feet from or three (3) feet above any operable window, door, opening, air intake, or vent shaft, nor less than three (3) feet from a property line. (CPC 906.1, CPC 906.2)

General Notes:

Project Location:
209 West Scenic Drive, Monrovia, CA 91016

Property Zone:
RL Residential Low Density

Owner:
Kent and Sharon Morgan
356 North Primrose Avenue
Monrovia, CA 91016

Assessor's Parcel # 8520-018-016

Legal Description

Parcel Map as per Book 194 pages 20-22 of parcel map that portion in tract 16091 of lot 1

Project Description:

- 1) Construction of an attached 475 sf single story guest house.
- 2) Replacement of all exterior windows and doors on the existing residence, replacement of interior doors
- 3) Replacement of existing tile roof, re-sheathing as required.
- 4) Addition of a 215 sf master bath and closet on the second floor
- 5) Replacement of chimney box
- 6) Construction of basement access stair
- 7) Interior electrical
- 8) Interior bath and kitchen remodel

Project Data:

Existing	
Lot Area 39,594 sf	
Existing Residence	4,115 sf
Garage (under separate permit)	1,280 sf
Existing Total	5,395 sf
Existing FAR	5,395/39,594 = .136

Proposed	
Existing Residence	4,115 sf
Garage (under separate permit)	1,280 sf
Proposed attached guest house	475 sf
Proposed second floor addition	217 sf
Proposed Total	6,087 sf

Proposed FAR 6,087/39,594 = .154

Occupancy Group R-3

Type of Construction: ∇ Sprinklered

Index of Drawings

Architectural	
A-1	Site plan, Drawing Index, Vicinity map
	General notes
A-1.1a	CF1-R Title 24 Certificate of Compliance
A-1.1b	Mandatory Measures Checklist
A-1.2	Existing Floor Plans
A-1.3	Existing Exterior Elevations
A-2.0	Basement Plan - Main Residence
A-2.1	First Floor Plan - Main Residence
A-2.2	Second Floor Plan - Main Residence
A-2.3	Roof Plan - Main Residence
A-3.1	Exterior Elevations - Main Residence
A-3.2	Exterior Elevations - Main Residence
A-3.3	Sections - Main Residence

Structural	
S0.00	General Notes
S0.01	General Notes
S0.02	General Notes
S0.10	Typical Concrete Details
S0.20	Typical Wood Details
S0.21	Typical Wood Details
S0.22	Typical Shearwall Details
S0.23	Typical Shearwall Details
S2.00	Foundation Plan
S2.01	Level 2 Framing Plan
S2.02	High Roof Framing Plan
S2.03	Garage Foundation and Framing Plans
S3.00	Concrete Details
S3.01	Wood Details
S3.02	Wood Details
SSW1	Simpson Strong-Wall Anchorage Details
SSW2	Simpson Strong Wall Framing Details

Received
OCT 31 2016

Community Development Dept

<p>REVISIONS</p> <table border="1"> <tr> <th>NO.</th> <th>DATE</th> <th>DESCRIPTION</th> </tr> <tr> <td>1</td> <td>09/27/16</td> <td>revision per 2.6.2016 meeting</td> </tr> <tr> <td>2</td> <td>10/21/16</td> <td>revision to 9.22.2016 residential</td> </tr> <tr> <td>3</td> <td></td> <td></td> </tr> <tr> <td>4</td> <td></td> <td></td> </tr> </table>		NO.	DATE	DESCRIPTION	1	09/27/16	revision per 2.6.2016 meeting	2	10/21/16	revision to 9.22.2016 residential	3			4		
NO.	DATE	DESCRIPTION														
1	09/27/16	revision per 2.6.2016 meeting														
2	10/21/16	revision to 9.22.2016 residential														
3																
4																
<p>Coronado Construction 856 Ridgeway Drive Monrovia, CA 91016 (626) 222-0411</p>																
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<p>Coulter Winn, Architect 345 North Alta Vista Avenue Monrovia CA 91016 (626) 483-9874</p>																
<p>209 West Scenic Renovation Phase 2 209 West Scenic Drive Monrovia, CA 91016 Site Plan Vicinity Map, Drawing Index General Notes</p>																
<p>Date 31 Oct 2016</p>																
<p>Scale As Noted</p>																
<p>Drawn Winn</p>																
<p>Job Scenic</p>																
<p>Sheet A-1 of 4 Sheets</p>																

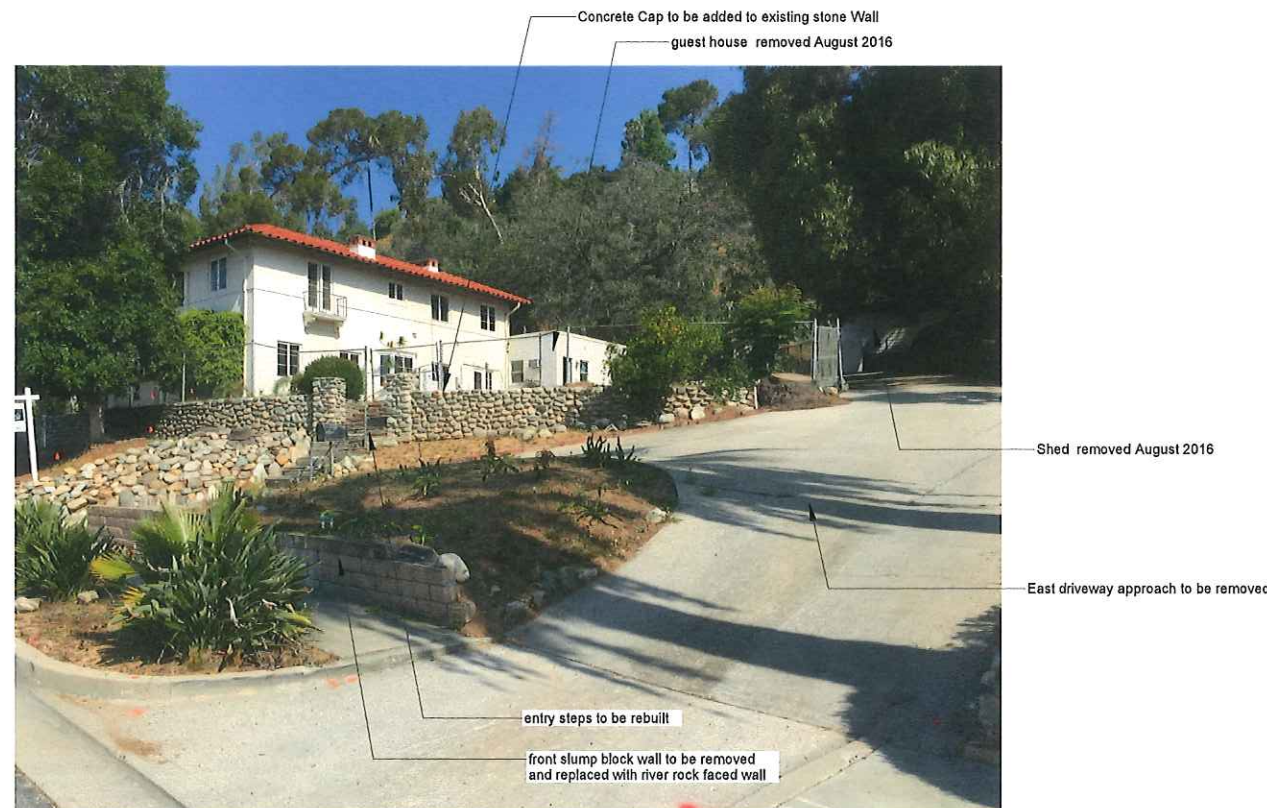
Exhibit "B"



1 Proposed View from the South East
A1.3 NTS



3 Proposed View from the South West
A1.1 NTS



2 View From South East - June 2016
A1.01 NTS



4 Street Facing Façade - June 2016
A1.01 NTS

REVISIONS	
NO.	DESCRIPTION
1	initial design
2	revisions per 9.24.2016 meeting
3	revisions to 9.24.2016 re-submittal
4	

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209 West Scenic Renovation
209 West Scenic Drive
Monrovia, CA 91016

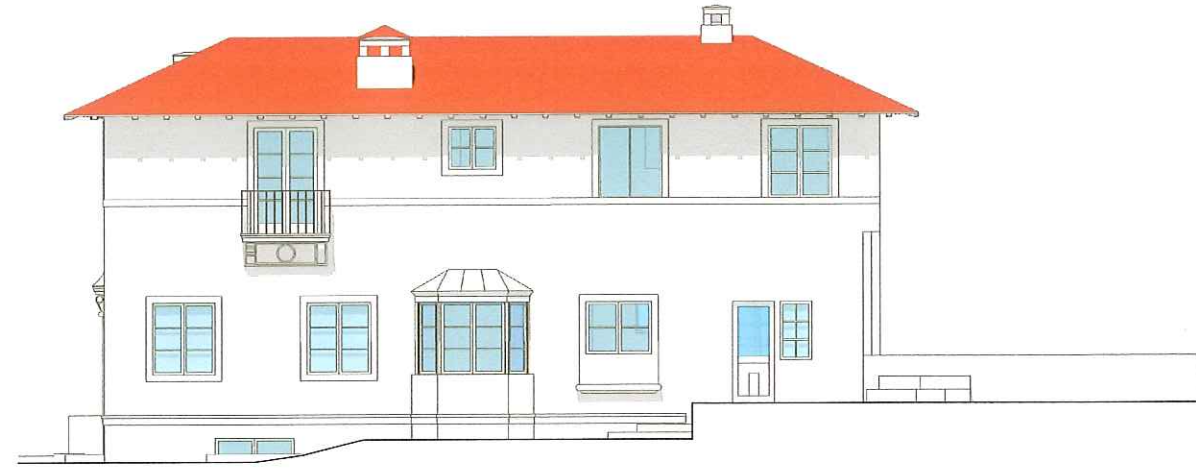
Date 31 Oct 2016
Scale As Noted
Drawn Winn
Job Scenic
Sheet **A-1.01**
of Sheets

Context notes and illustrations



Front Entry

1 Existing Front Elevation
A1.3 3/16"=1'-0"



3 Existing East Elevation
A1.1 3/16"=1'-0"



2 Existing North Elevation
A1.3 1/8"=1'-0"



4 Existing West Elevation
A1.3 3/16"=1'-0"

NO.	DATE	REVISIONS
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2	10/21/16	revision to 10.21.2016 email
3	11/1/16	
4		

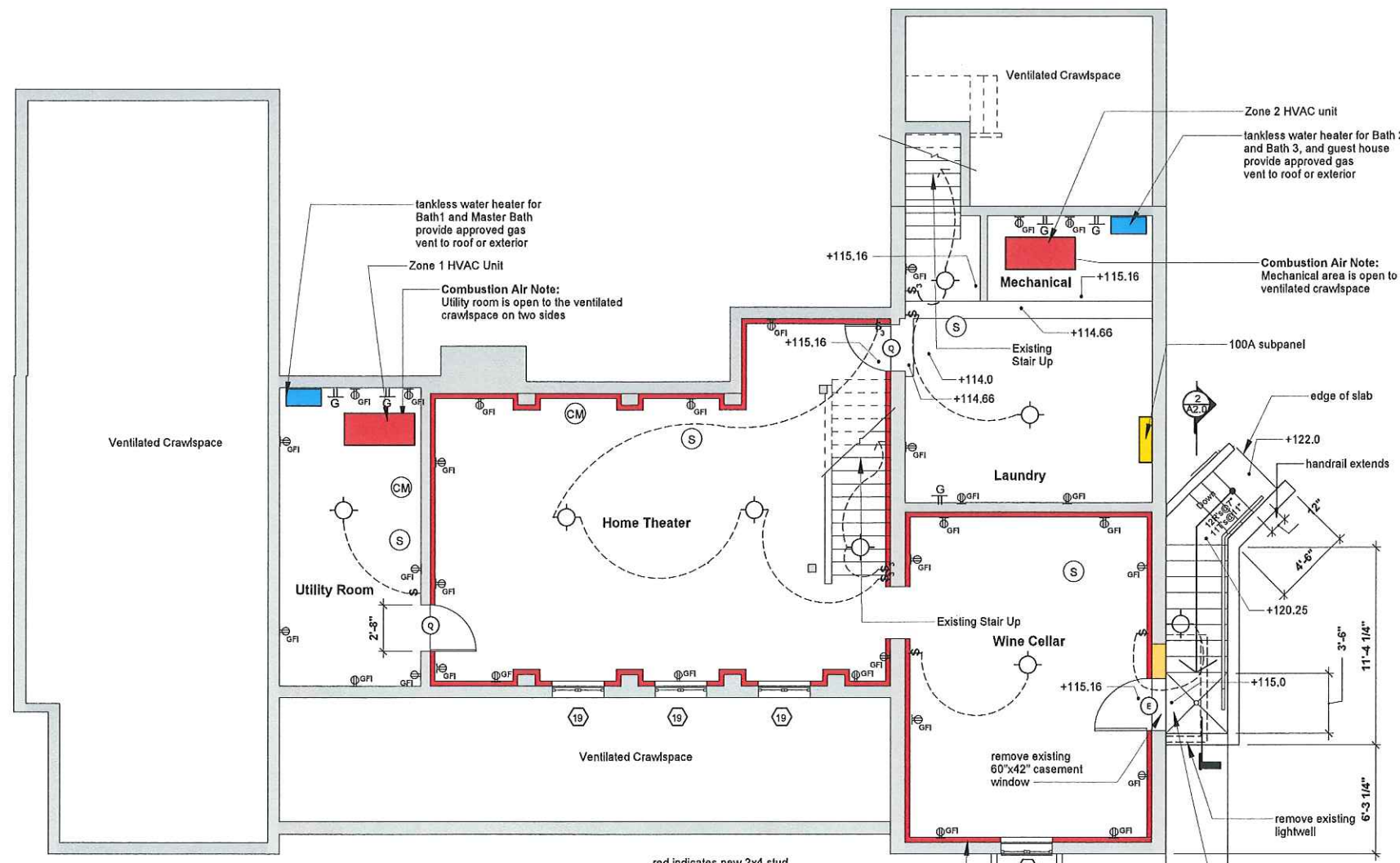
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209 West Scenic Renovation
209 West Scenic Drive
Monrovia, CA 91016
Existing Exterior Elevations

Date	31 Oct 2016
Scale	As Noted
Drawn	Winn
Job	Scenic
Sheet	A-1.3
of Sheets	



Wall Key

- Indicates existing 8" concrete wall
- Indicates new 2x4 interior stud wall construction with R-13 batt insulation
- Indicates new 2x6 exterior stud wall construction or infill of previous wall opening with R-19 batt insulation

red indicates new 2x4 stud furred walls with R-13 batt insulation and 5/8" type "X" gypsum board furred walls to have 3X4 treated bottom plates wall studs to be held 1" off existing basement concrete walls. provide approved vapor barrier between studs and concrete

1 Basement Floor Plan
A2.0 1/4"=1'-0"

Existing Conditioned Basement Floor Area 0 sf
Proposed Conditioned Basement Floor Area 768 sf

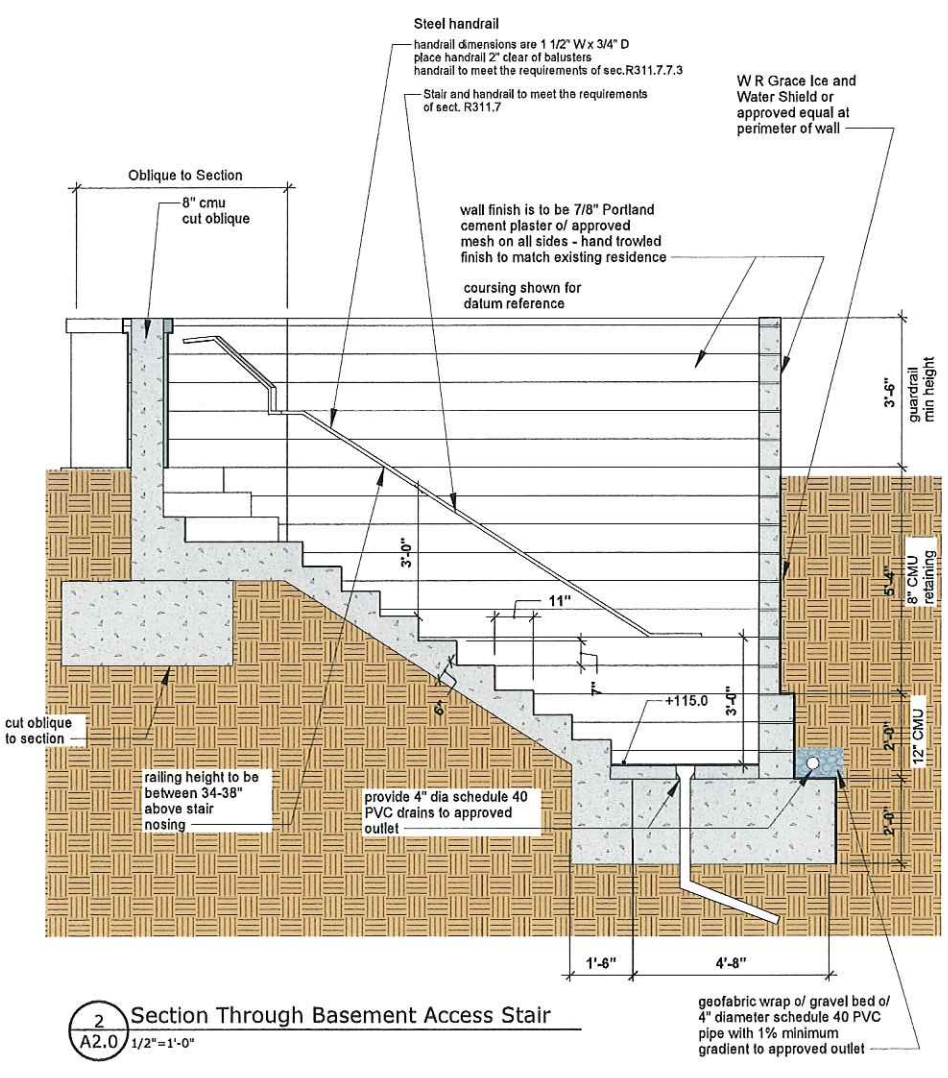
Note: Smoke alarms and carbon monoxide alarms shall receive their primary power from the building wiring, shall be equipped with a battery backup and interconnected per sect. R314.3, R314.4 and R315.1

Electrical Note: All 120-V branch circuits supplying outlets in closets, hallways, bedrooms and other habitable rooms (except kitchens) shall be protected by a listed arc-fault Circuit Interrupter (AFCI) per CEC Sect. 210.12

Plumbing Note: Per sect. 301.1.1 of 2013 CGBSC; existing noncompliant plumbing fixtures shall be replaced with water-conserving plumbing fixtures for a residential building undergoing addition or alteration.

Legend

⊕	Wall Duplex Outlet 125V
⊕ _{WP}	Weather Protected Exterior Outlet GFCI Protected
⊕	Wall Duplex Outlet 220V
⊕ _{GFI}	Ceiling Duplex Outlet Ground Fault Circuit Interrupter Protected
⊕ _{GFI}	Wall Duplex Outlet Ground Fault Circuit Interrupter Protected
⊕ _{EV}	Electric Vehicle Charging Outlet see note 5
1	door
○	overhead light - high efficacy LED
○ _D	overhead light - high efficacy suitable for damp locations with solid lens cover LED
○ _W	wall mounted light - high efficacy LED
○ _F	ceiling exhaust fan - minimum of 50 CFM with humidistat
19	window
---	LED strip light
Note: high efficacy is defined as: 15 watts or less: 40 lumens/watt min. 15-40 watts: 50 lumens/watt min. >40 watts: 60 lumens/watt min.	
S	Smoke alarm
CM	Carbon Monoxide Detector to be wall mounted 12" A.F.F
GD	Garbage Disposal
G	Gas Connection



2 Section Through Basement Access Stair
A2.0 1/2"=1'-0"

REVISIONS	REMARKS
01/27/16	revisions per 9.25.2016 meeting
02/21/16	revisions per 9.25.2016 residential
3	
4	

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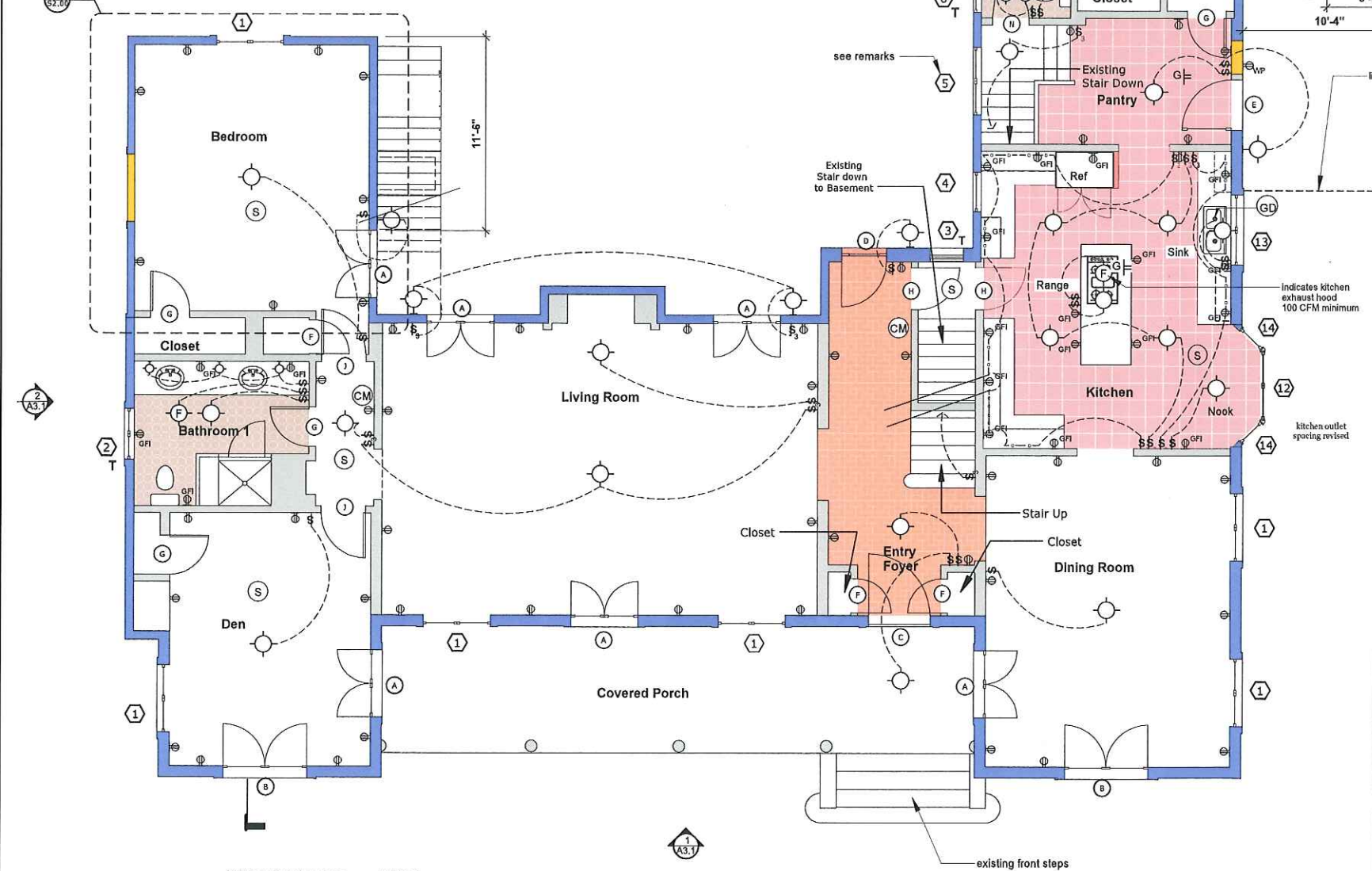
209 West Scenic Renovation
209 West Scenic Drive
Monrovia, CA 91016

Basement Plan - Main Residence

Date: 31 Oct 2016
Scale: As Noted
Drawn: Winn
Job: Scenic
Sheet: **A-2.0**
of Sheets

- Wall Key**
- Indicates existing interior wall
 - Indicates existing exterior wall
2x6 studs to be insulated with R-19 batt insulation
 - Indicates new 2x6 exterior stud wall construction or infill of previous wall opening with R-19 batt insulation
 - Indicates new 2x4 exterior stud wall construction with R-13 batt insulation
 - Indicates new 2x4 interior stud wall construction or infill of previous wall opening

For Foundation and Framing refer to



Existing First Floor Area 2,138 sf
Proposed First Floor Addition 475 sf
Proposed First Floor Area 2,613 sf

1 First Floor Plan
A2.1 1/4"=1'-0"



- Window Notes:**
- 1) All windows to be dual glazed - no exceptions
 - 2) refer to plans for tempered window locations
 - 3) All windows to be Sierra Pacific Sedona Series -Aluminum Clad Wood - Heritage Collection - Color Light Blue 046
 - 4) Field Verify all rough openings prior to fabrication
 - 4) Window installation to meet all 2013 California Energy Code (CEnc) and 2013 California Green Building Code (CGBC)
 - 5) 1 Indicates tempered glass per sect. R308.4
 - 6) All windows to have a U factor of no more than 0.36

Note:
Smoke alarms and carbon monoxide alarms shall receive their primary power from the building wiring, shall be equipped with a battery backup and interconnected per sect. R314.3,R314.4 and R315.1

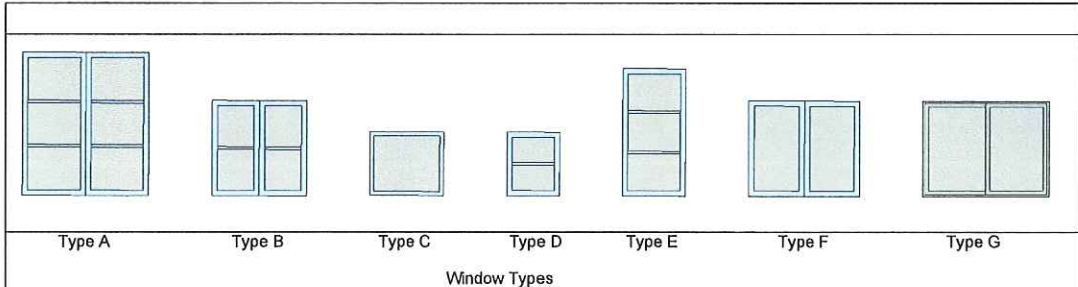
Electrical Note:
All 120-V branch circuits supplying outlets in closets, hallways, bedrooms and other habitable rooms (except kitchens) shall be protected by a listed arc-fault Circuit Interrupter (AFCI) per CEC Sect. 210.12

Plumbing Note:
Per sect. 301.1.1 of 2013 CGBCS: existing noncompliant plumbing fixtures shall be replaced with water-conserving plumbing fixtures for a residential building undergoing addition or alteration.

- Legend**
- Wall Duplex Outlet 125V
 - Weather Protected Exterior Outlet GFCI Protected
 - Wall Duplex Outlet 220V
 - Ceiling Duplex Outlet Ground Fault Arc Interrupter Protected
 - Wall Duplex Outlet Ground Fault Arc Interrupter Protected
 - Electric Vehicle Charging Outlet see note 5 door
 - overhead light - high efficacy LED
 - overhead light - high efficacy suitable for damp locations with solid lenscover LED
 - wall mounted light - high efficacy LED
 - ceiling exhaust fan - minimum of 50 CFM with humidistat
 - window
 - LED strip light
- Note:** high efficacy is defined as :
15 watts or less: 40 lumens/watt min.
15-40 watts: 50 lumens/watt min.
>40 watts: 60 lumens/watt min.
- S Smoke alarm
 - CM Carbon Monoxide Detector to be wall mounted 12" A.F.F
 - GD Garbage Disposal
 - G Gas Connection

Window Schedule

Mark	Type	Quantity	Size		Rough Opening		Manufacturer	Remarks
			Width	Height	Width	Height		
1	A	14	48"	54"			Sierra Pacific	casement pair - 3 lites
2	B	5	36"	36"			" "	casement pair - 2 lites tempered at Bath 1
3	C	2	24"	32"			" "	casement - single lite - interior swing at punched grill
4	C	1	28"	24"			" "	casement - single lite
5	A	1	48"	51"			" "	casement pair - 3 lites - existing sill is 60" above existing stair landing confirm r.o. location - temper glass if less than 60" AFF
6	D	1	20"	24"			" "	casement - 2 lites tempered glass
7	A	3	36"	48"			" "	casement pair - 3 lites
8	E	1	24"	48"			" "	casement - 3 lites
9	B	1	30"	36"			" "	casement pair - 2 lites
10	E	1	26"	48"			" "	casement - 3 lites
11	F	1	42"	36"			" "	casement pair - single lite
12	A	1	48"	54"			" "	casement pair - 3 lites - located in bay window
13	B	1	50"	39"			" "	casement pair - 2 lites
14	E	2	24"	54"			" "	casement - 3 lites - located in bay window
15	C	3	22.5"	44"			" "	casement - single lite - stair-tempered - right hand operator
16	B	2	36"	32"			" "	casement pair - 2 lites
17	G	3	36"	48"			" "	slider 2 lites - garage
18	B	1	36"	42"			" "	Basement window @ SE lightwell
19	B	3	36"	22.5"			" "	Basement windows



<p>REVISIONS</p> <table border="1" style="width: 100%; border-collapse: collapse;"> <thead> <tr> <th>NO.</th> <th>DATE</th> <th>DESCRIPTION</th> </tr> </thead> <tbody> <tr> <td>1</td> <td>10/23/16</td> <td>revision to 10/23/2016 revamp</td> </tr> <tr> <td>2</td> <td>10/23/16</td> <td>revision to 10/23/2016 revamp</td> </tr> </tbody> </table>	NO.	DATE	DESCRIPTION	1	10/23/16	revision to 10/23/2016 revamp	2	10/23/16	revision to 10/23/2016 revamp	<p>Coronado Construction 855 RidgeSide Drive Monrovia, CA 91016 (626) 222-0411</p>	<p>Jason Braun, PE 1304 West Second Street Suite 223 Los Angeles CA 90026 (805) 338-4494</p>
NO.	DATE	DESCRIPTION									
1	10/23/16	revision to 10/23/2016 revamp									
2	10/23/16	revision to 10/23/2016 revamp									
<p>Coulter Winn, Architect 345 North Alta Vista Avenue Monrovia CA 91016 (626) 463-9874</p>											
<p>209 West Scenic Renovation 209 West Scenic Drive Monrovia, CA 91016</p>											
<p>First Floor Plan - Main Residence</p>											
<p>Date 31 Oct 2016</p>											
<p>Scale As Noted</p>											
<p>Drawn Winn</p>											
<p>Job Scenic</p>											
<p>Sheet A-2.1</p>											
<p>of Sheets</p>											

Wall Key

- Indicates existing interior wall
- Indicates existing exterior wall 2x6 studs to be insulated with R-19 batt insulation
- Indicates new 2x6 exterior stud wall construction or infill of previous wall opening with R-19 batt insulation
- Indicates new 2x4 exterior stud wall construction with R-13 batt insulation
- Indicates new 2x4 interior stud wall construction or infill of previous wall opening

Guest House Attic Ventilation Calculation

$(144 \text{ sq. in./ft}) / (715 \text{ sq. ft.}) = 686 \text{ SQ. In. attic vent required}$
 150

Proposed Vent Data:

O'Hagen roof vent Flat NFVA 98.75 sq. in. Fire and Ice Attic Vent
 ICC ES Legacy Report SBCCI-9650A
 ICC ES 9580-A for tile vents only
 686 sq in required/98.75 sq. in./per proposed vent = 7 vents required

indicates vent location - 8 provided

Legend

- Wall Duplex Outlet 125V
- Weather Protected Exterior Outlet GFCI Protected
- Wall Duplex Outlet 220V
- Ceiling Duplex Outlet
- Ground Fault Circuit Interrupter Protected
- Wall Duplex Outlet
- Ground Fault Circuit Interrupter Protected
- Electric Vehicle Charging Outlet see note 5

- 1 door
 - R recessed can fixture LED
 - overhead light -high efficacy LED
 - overhead light -high efficacy suitable for damp locations with solid lenscover LED
 - wall mounted light - high efficacy LED
 - ceiling exhaust fan- minimum of 50 CFM with humidistat
 - window
 - LED strip light
- Note: high efficacy is defined as:
 15 watts or less: 40 lumens/watt min.
 15-40 watts: 50 lumens/watt min.
 >40 watts: 60 lumens/watt min.
- S Smoke alarm
 - CM Carbon Monoxide Detector to be wall mounted 12" A.F.F
 - GD Garbage Disposal

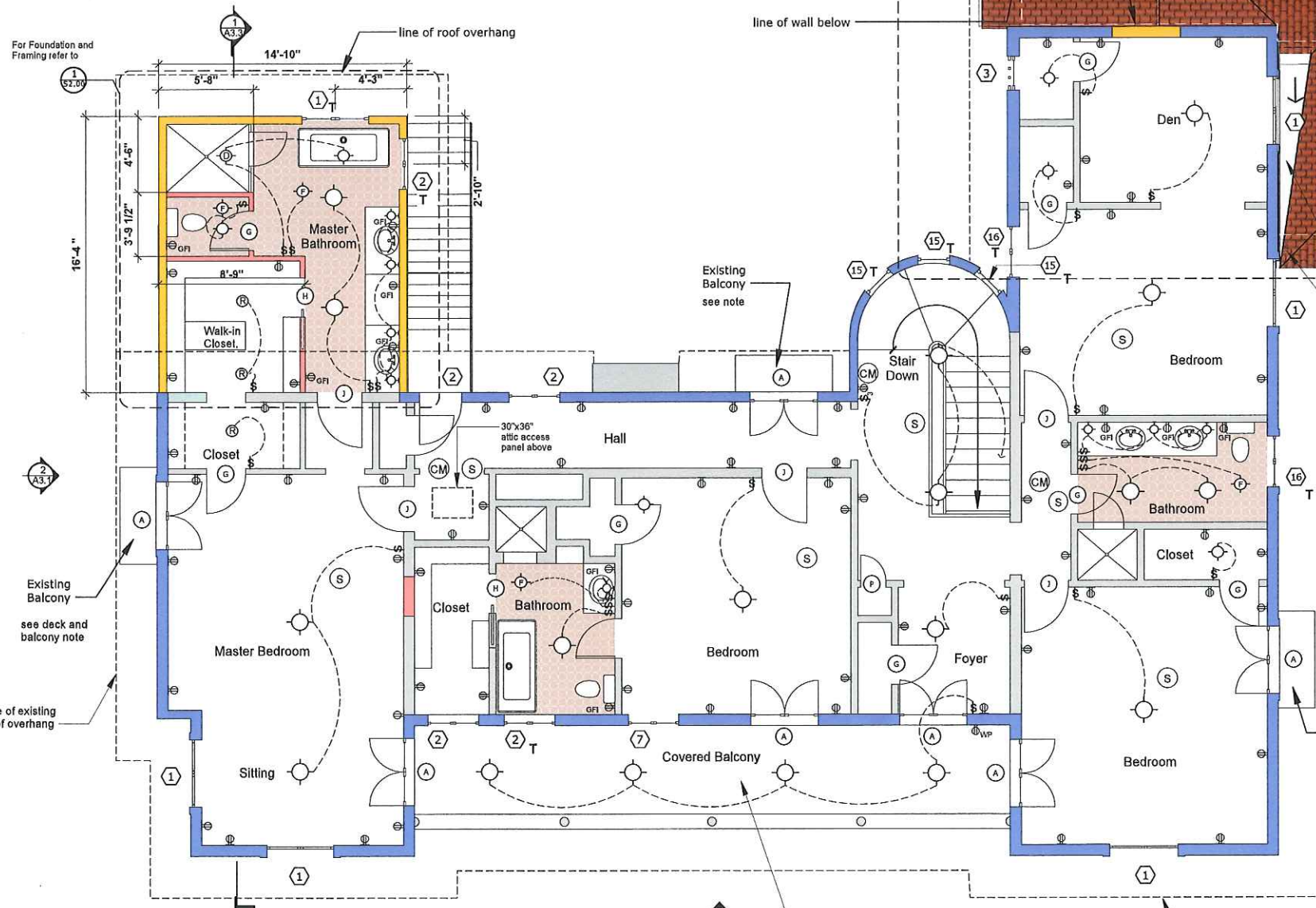
Electrical Note:

All 120-V branch circuits supplying outlets in closets, hallways, bedrooms and other habitable rooms (except kitchens) shall be protected by a listed arc-fault Circuit Interrupter (AFCI) per CEC Sect. 210.12

Plumbing Note:

Per sect. 301.1.1 of 2013 CGBSC: existing noncompliant plumbing fixtures shall be replaced with water-conserving plumbing fixtures for a residential building undergoing addition or alteration.

Note: Smoke alarms and carbon monoxide alarms shall receive their primary power from the building wiring. shall be equipped with a battery backup and interconnected per sect. R314.3, R314.4 and R315.1



1 Second Floor Plan

A2.2 1/4" = 1'-0"



Existing Second Floor Area	1,877 sf
Proposed Second Floor Addition	217 sf
Proposed Second Floor Area	2,194 sf

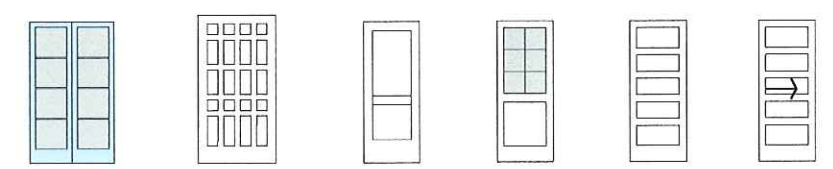
Deck and Balcony note:
 resurface existing balconies with Dex-O- Tex Weatherwear Roof Deck Covering Class A rated ICC-ES Report ESR-1757

Door Schedule

All exterior doors to be 20 min. minimum rating per CRC sec. 327.8.3 (high fire hazard)

Mark	Type	Quantity	Size			Manufacturer	Remarks
			Width	Height	Thick		
A	I	12	48"	80"	1 5/8"	Sierra Pacific	French Door Pair - Exterior
B	I	4	60"	80"	1 5/8"	" "	French Door Pair - Exterior
C	II	1	44"	84"	1 3/4"	Custom	Restore or Replace Front Door in Kind
D	III	1	32"	80"	1 5/8"	Sierra Pacific	Rear Door at Foyer - Exterior
E	III	2	36"	80"	1 5/8"	" "	Kitchen and Guest House Doors - Exterior
F	IV	4	24"	80"	1 5/8"	" "	Guest House Entry Door - Exterior
G	V	14	36"	80"	1 3/8"	T M Cobb	Interior door 5 panel solid core
H	V	2	24"	80"	1 3/8"	" "	" "
J	V	9	30"	80"	1 3/8"	" "	" "
K	V	-	36"	80"	1 3/8"	" "	" "
N	VI	2	42"	80"	1 3/8"	" "	interior door 5 panel slider
H	V	1	48"	80"	1 3/8"	" "	interior door 5 panel solid core
P	V	1	18"	72"	1 3/8"	" "	" "
Q	V	2	32"	80"	1 3/8"	" "	" "

Note: All exterior doors to have a maximum U Value of .10



Door Types

NO.	DATE	BY	REVISIONS
1	10/31/16	AW	REVISED PER 10/31/16 MEETING
2	10/31/16	AW	REVISED PER 10/31/16 MEETING
3	10/31/16	AW	REVISED PER 10/31/16 MEETING
4	10/31/16	AW	REVISED PER 10/31/16 MEETING

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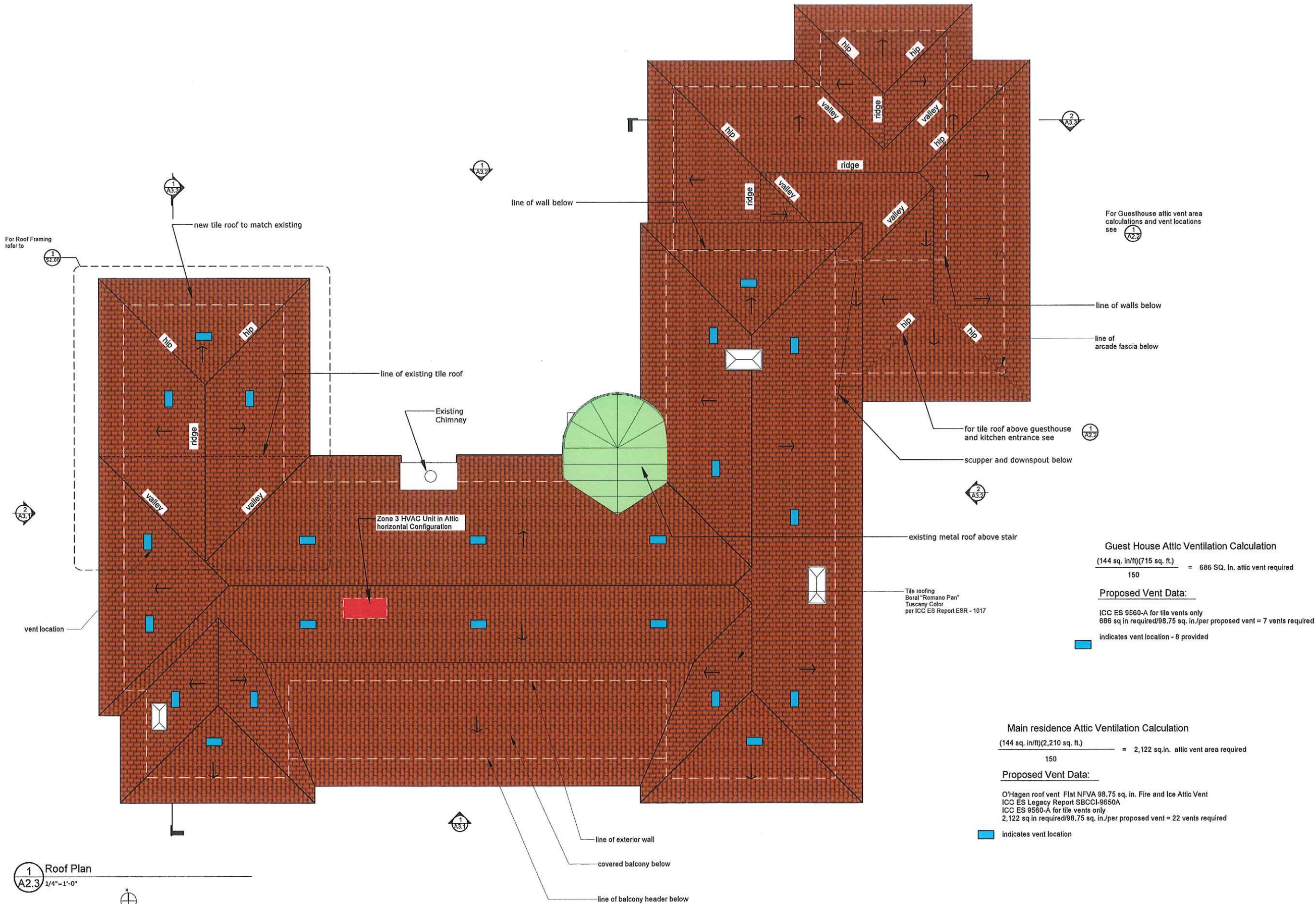
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209 West Scenic Drive
 Monrovia, CA 91016
Roof Plan - Main Residence

Date	31 Oct 2016
Scale	As Noted
Drawn	Winn
Job	Scenic
Sheet	A-2.2
of	Sheets

1 Roof Plan
A2.3 1/4"=1'-0"



Guest House Attic Ventilation Calculation
 $(144 \text{ sq. in./ft}) / (715 \text{ sq. ft.}) = 686 \text{ SQ. In. attic vent required}$
 150
Proposed Vent Data:
 ICC ES 9560-A for tile vents only
 $686 \text{ sq in required} / 98.75 \text{ sq. in./per proposed vent} = 7 \text{ vents required}$
 indicates vent location - 8 provided

Main residence Attic Ventilation Calculation
 $(144 \text{ sq. in./ft}) / (2,210 \text{ sq. ft.}) = 2,122 \text{ sq.in. attic vent area required}$
 150
Proposed Vent Data:
 O'Hagen roof vent Flat NFVA 98.75 sq. in. Fire and Ice Attic Vent
 ICC ES Legacy Report SBCCI-9650A
 ICC ES 9560-A for tile vents only
 $2,122 \text{ sq in required} / 98.75 \text{ sq. in./per proposed vent} = 22 \text{ vents required}$
 indicates vent location

NO.	DATE	REVISIONS
1	09/27/16	revisions per 0.26.2016 meeting
2	10/27/16	revisions to 0.26.2016 meeting
3		
4		

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209 West Scenic Renovation
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Roof Plan - Main Residence

Date 31 Oct 2016
 Scale As Noted
 Drawn Winn
 Job Scenic
 Sheet **A-2.3**
 of Sheets



1 South Elevation
A3.1 1/4"=1'-0"



2 West Elevation
A3.1 1/4"=1'-0"

REVISIONS	
NO./DATE	REVISIONS
09/27/16	revisions per 9.26.2016 meeting
10/21/16	revisions to 9.23.2016 resubmittal
3	
4	

Coronado Construction 856 Ridgeside Drive Monrovia, CA 91016 (626) 222-0411
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Coulter Winn, Architect 345 North Alta Vista Avenue Monrovia CA 91016 (626) 483-9874
209 West Scenic Renovation 209 West Scenic Drive Monrovia, CA 91016 Exterior Elevations- Main Residence
Date 31 Oct 2016 Scale As Noted Drawn Winn Job Scenic Sheet A-3.1 of Sheets



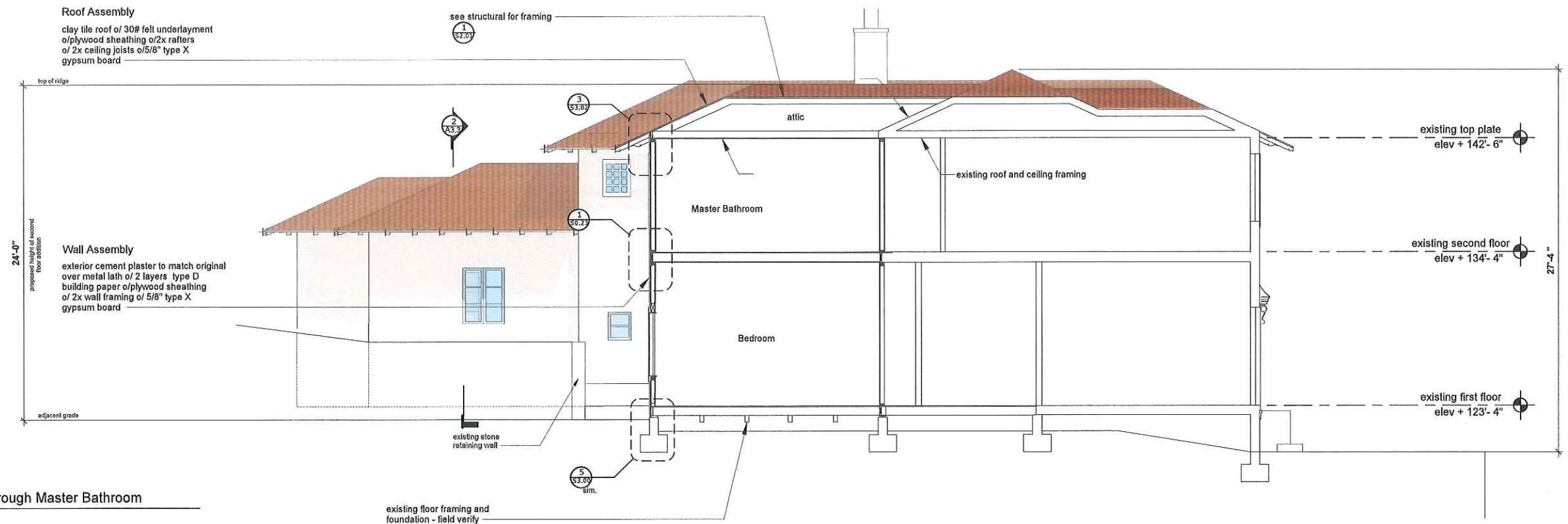
1 North Elevation
A3.2 1/4"=1'-0"



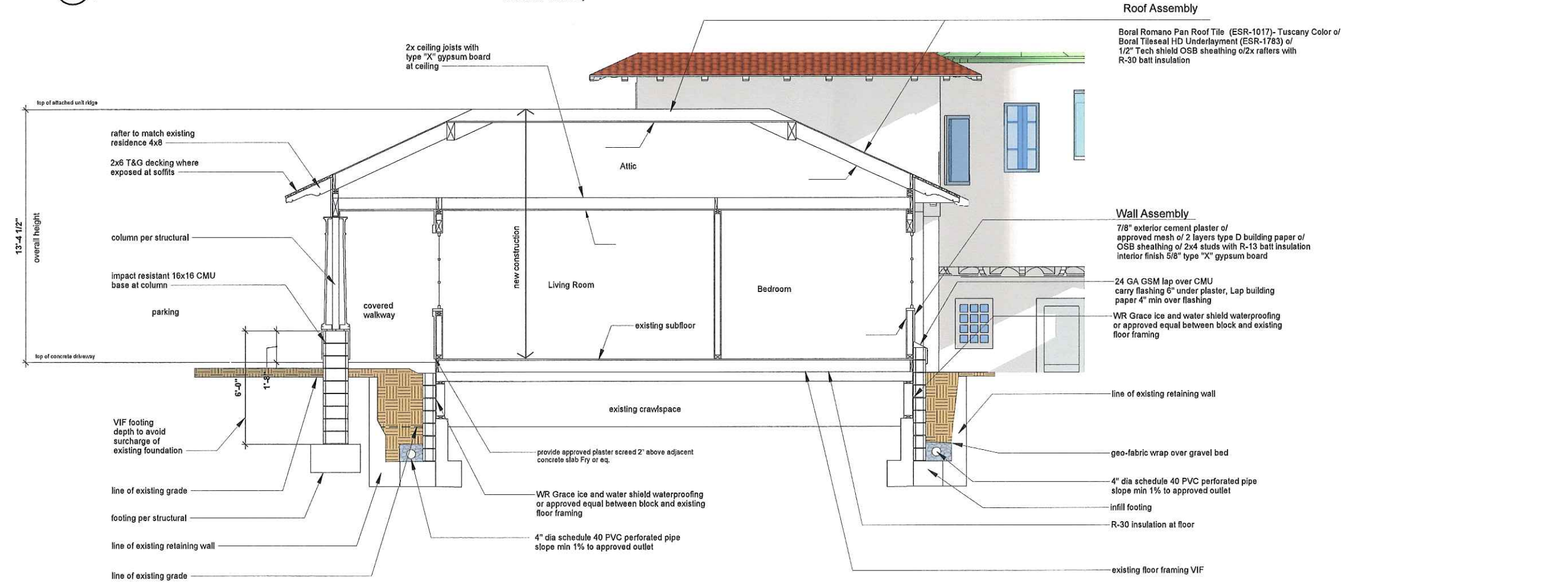
2 East Elevation
A3.2 1/4"=1'-0"

REVISIONS	DATE	BY	CHKD	REMARKS
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2	10/28/16	JW	JW	revisions to 10/26/16 residential
3				
4				

Coronado Construction 856 Ridgeway Drive Monrovia, CA 91016 (626) 222-0411
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209 West Scenic Renovation 209 West Scenic Drive Monrovia, CA 91016 Exterior Elevations- Main Residence
Date 31 Oct 2016 Scale As Noted Drawn Winn Job Scenic Sheet A-3.2 of Sheets



1 Section Through Master Bathroom
 A3.3 1/4" = 1'-0"

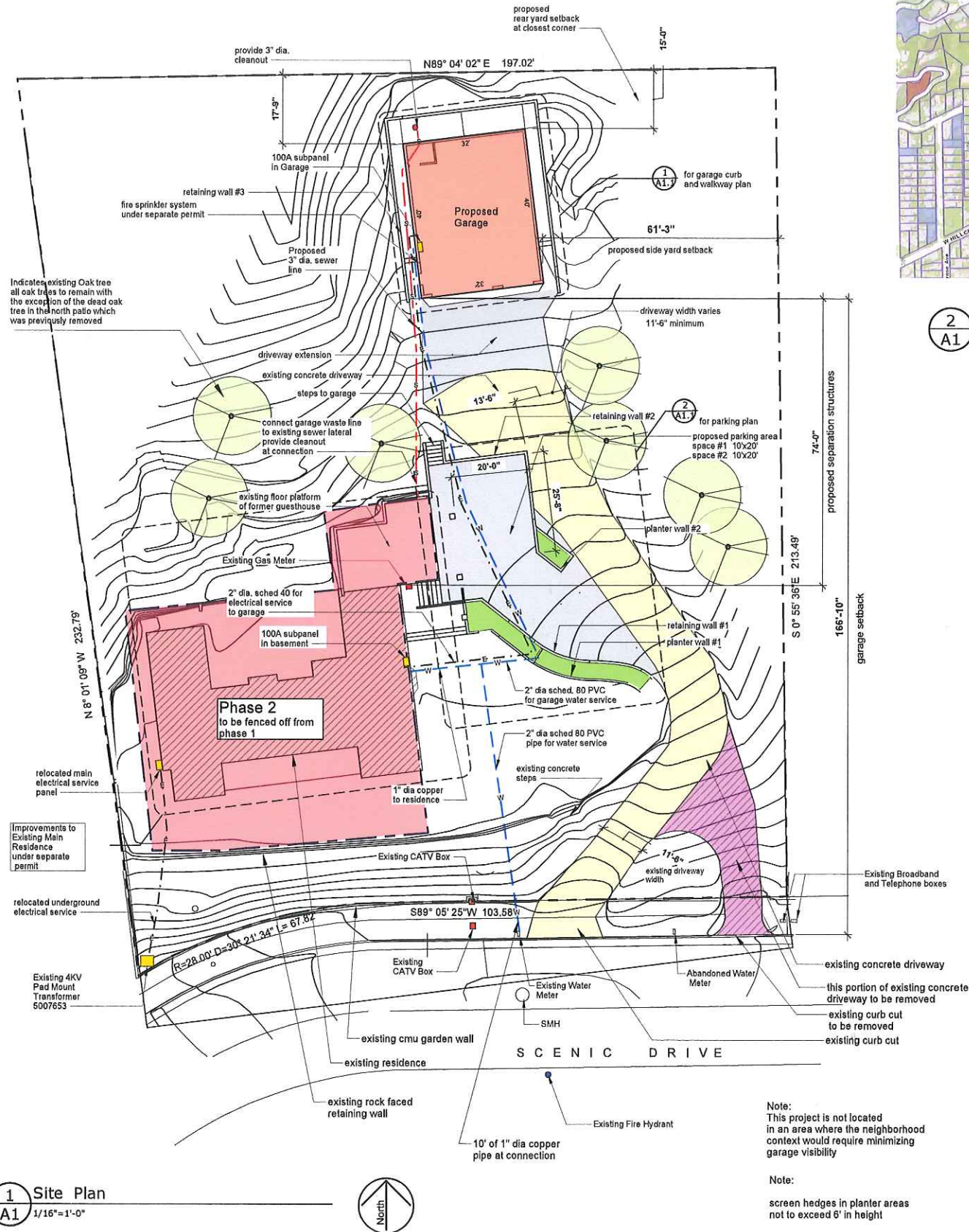


2 Section Through Guest House
 A3.3 3/8" = 1'-0"

REVISIONS	REMARKS
1	revisions per 9.26.2016 meeting
2	revisions per 10.23.2016 meeting
3	
4	

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209 West Scenic Renovation 209 West Scenic Drive Monrovia, CA 91016
Sections - Main Residence

Date	31 Oct 2016
Scale	As Noted
Drawn	Winn
Job	Scenic
Sheet	A-3.3
of Sheets	



Fire Hazard Zone Notes:

This project is located in the Hillside high fire hazard area and shall comply with the provisions of CRC Section R327. The following shall be complied with

- 1) All windows and door glass to be dual glazed
- 2) exposed wood members shall be 4X nominal size
- 3) exposed soffit decking shall be 2x nominal size
- 4) A class A roof shall be provided
- 5) Fire Sprinklers shall be provided per City Fire Dept. requirements Fire Sprinklers under separate permit
- 6) With the exception of allowed wall penetration areas, exterior wall assembly shall meet 1 hour code requirements.
- 7) Interior walls and ceilings to be faced in 5/8" "type X" gypsum board or green board as occurs
- 8) Exterior doors shall be rated a minimum of 20 minutes. All glass to be dual glazed fire glass. Exterior doors to comply with CRC Sect. R327.6.2
- 9) Roof vents to comply with CRC Sect. R327.6.2

Index of Drawings

Architectural

- A-1 Site plan, Drawing Index, Vicinity map
- General notes
- A-1.1 Garage Drainage Plan and Driveway Plan
- A-1.2 Retaining Wall Sections
- A-1.3 Site Improvement Illustrations
- A-4.1 Garage Floor Plan, Garage Elevations
- A-4.2 Garage Roof Plan, East Elevation, Sections

Structural

- S0.00 General Notes
- S0.01 General Notes
- S0.02 General Notes
- S0.10 Typical Concrete Details
- S0.20 Typical Wood Details
- S0.21 Typical Wood Details
- S0.22 Typical Shearwall Details
- S0.23 Typical Shearwall Details
- S2.03 Garage Foundation and Framing Plans
- S3.00 Concrete Detail
- S3.02 Wood Details
- SSW1 Simpson Strong Wall Anchorage Details
- SSW2 Simpson Strong Wall Framing Details

General Notes:

Project Location:
209 West Scenic Drive, Monrovia, CA 91016

Property Zone:
RL Residential Low Density

Owner:
Kent and Sharon Morgan
356 North Primrose Avenue
Monrovia, CA 91016
(626) 424-3091

Assessor's Parcel # 8520-018-016

Legal Description

Parcel Map as per Book 194 pages 20-22 of parcel map that portion in tract 16091 of lot 1

Project Description:

Construction of a detached single story three car garage and workspace. Area of the proposed structure is 1,280 sq. ft

Construction of a concrete parking area adjacent to the main residence Residence improvements and addition are under separate permit.

Construction of area development walls and foundations not to exceed 5'8" in height at the perimeter of the proposed garage and parking area

Construction of foundations and support piers for future attached residential unit columns

Project Data:

Existing

Lot Area 39,594 sf
Existing Residence 4,115 sf
Existing FAR 4,115/39,594= .104

Proposed

Existing Residence 4,115 sf (no change)
New garage 1,280 sf
Proposed FAR 5,395/39,594= .136

General Notes

- 1) All work must comply with the 2013 California Residential Code (CRC), 2013 California Building Code (CBC), 2013 California Mechanical Code (CMC), 2013 California Plumbing Code (CPC), 2013 California Energy Code (CEC), and 2013 California Green Building Code (CGBC)
- 2) Provide bathroom exhaust fan controlled by a humidistat per (R303.3.1) and (CGBC 4.506.1.2)
- 3) Provide tempered glass at shower door, shower enclosure and windows 1 and 2 per (CRC R308.4.5)
- 4) Cement, fiber-cement or glass mat gypsum backers in compliance with ASTM C1178, C1288 or C1325 shall be used as a base for wall tile in tub and shower areas and wall and ceiling panels in shower areas.
- 5) Exhaust ducts shall terminate outside the building and shall be equipped with backdraft dampers (CMC 504.1) and shall terminate a minimum of 3 feet from property lines and building openings.
- 6) All receptacles shall be listed as tamper resistant.
- 7) Ceiling fixtures above the tub and shower shall be marked as "suitable for damp locations" provided with a solid lens and be GFCI protected (CEC 410.10(A))
- 8) No hanging or pendant fixtures above the tub or shower are permitted per (CEC 410.10(D))
- 9) Fixture flow rates shall be as follows:
 - a) Water Closets: The effective flush volume shall not exceed 1.28 gallons per flush (CGBC 4.303)
 - b) Lavatories: Lavatory faucets shall have a maximum flow rate not to exceed 1.5 gpm at 60 psi. The minimum flow rate shall not be less than 0.8 gallons per minute at 20 psi. (CGBC 4.303)
 - c) Shower heads: single shower heads and multiple shower heads serving one shower shall have a maximum flow rate of 2.0 gpm at 80 psi (CGBC 4.303)
- 10) Fans shall be energy star compliant (CGBC 4.506.1.1)
- 11) All showers and tub-showers shall have a pressure balance, thermostatic mixing valve, or combination pressure balance/thermostatic mixing type valve (CPC 408.3)
- 12) Drainage piping systems shall be sized in accordance with CPC section 703.0 Vent piping systems shall be sized in accordance with CPC section 904.0
- 13) Relocated vents shall extend through flashing provided a minimum six (6) inches above the roof, nor twelve (12) inches from a vertical wall, not less than ten (10) feet from or three (3) feet above any operable window, door, opening, air intake, or vent shaft, nor less than three (3) feet from a property line. (CPC 906.1, CPC 906.2)

Received
OCT 31 2016

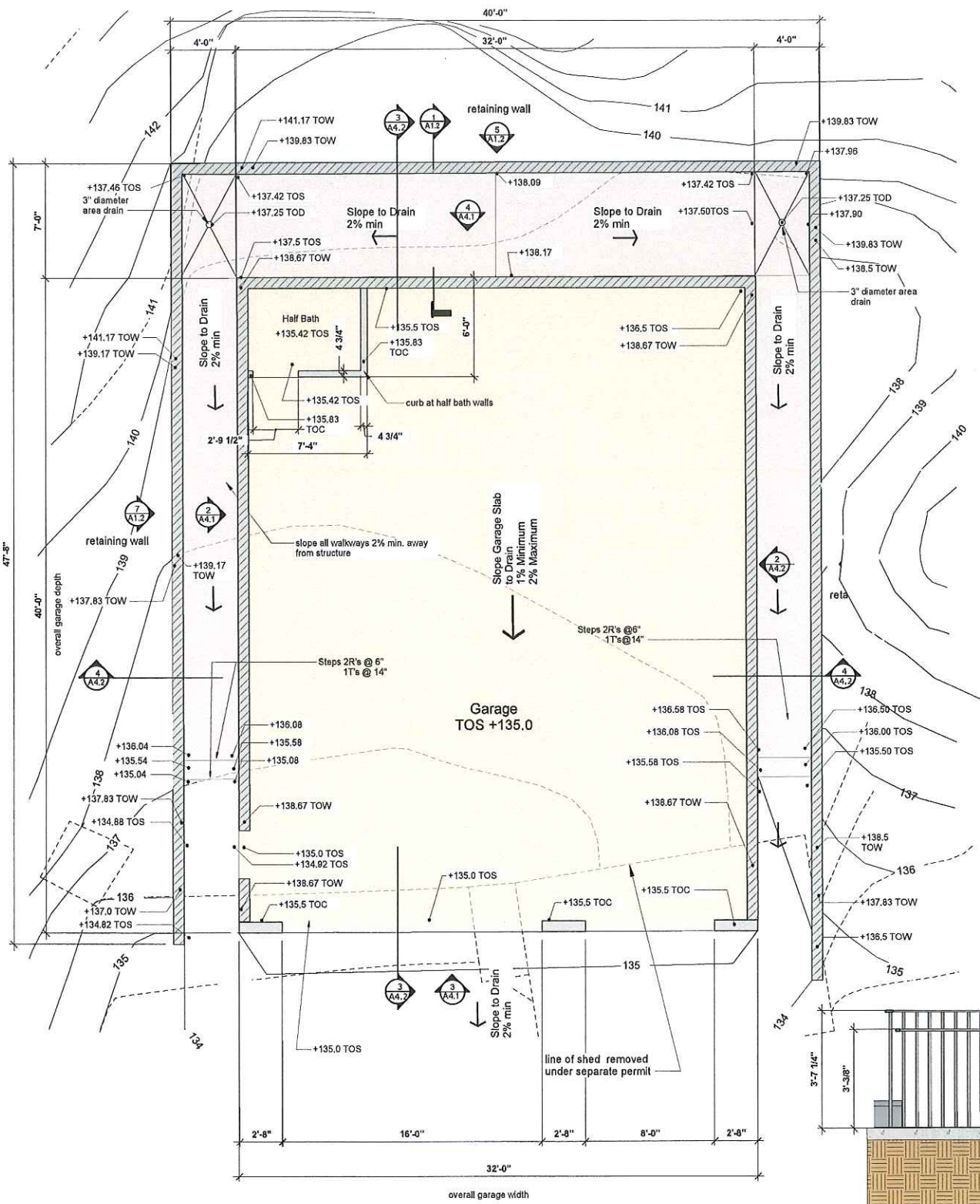
Community Development Dept

REVISIONS	
NOV/20/16	REVISIONS
10/24/16	Corrections to 5/2/16 Resubmittal
1	
2	
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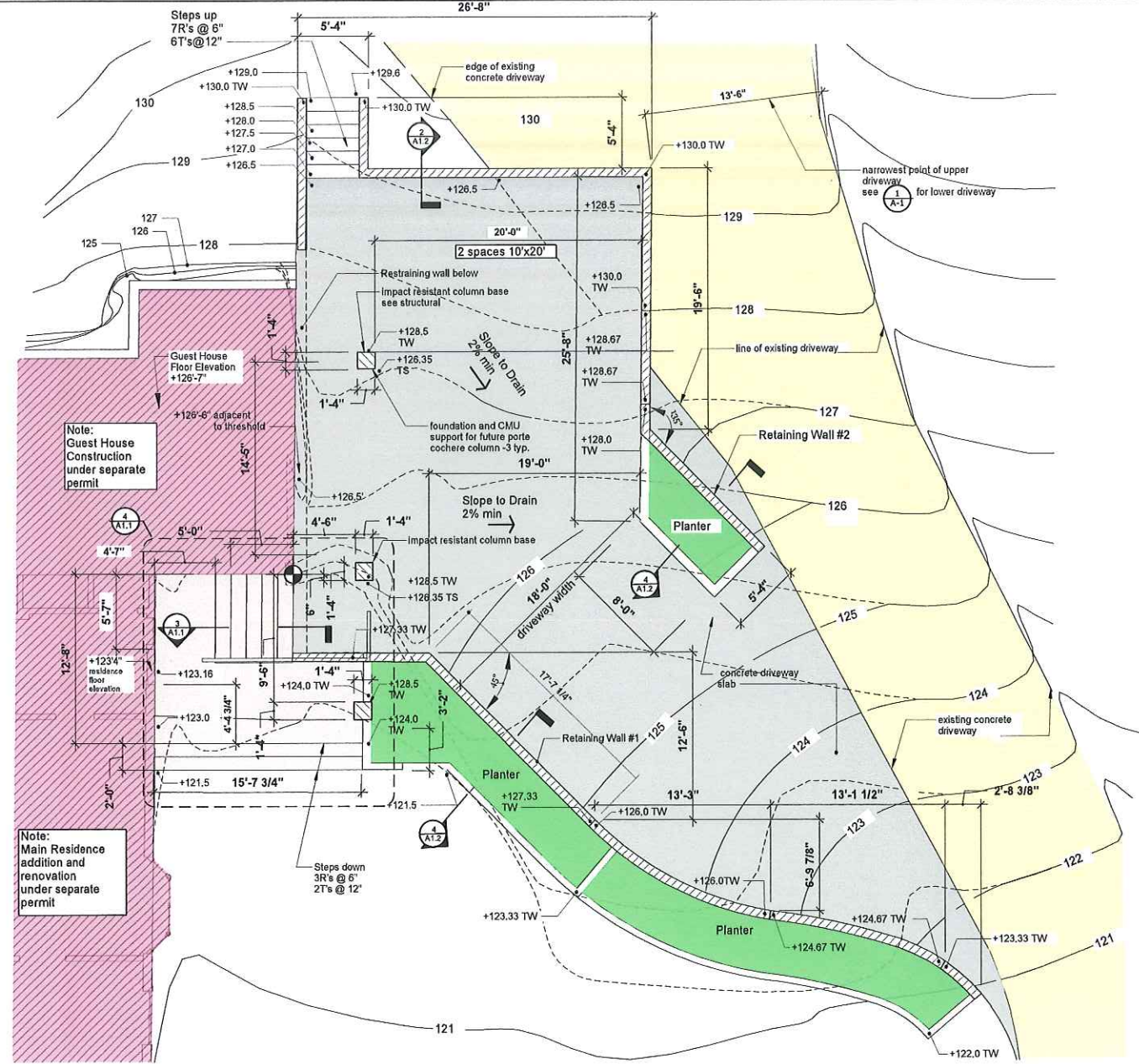
Coronado Construction 856 Ridgeway Drive Monrovia, CA 91016 (626) 222-0411
Jason Braun, PE 1304 West Second Street Suite 223 Los Angeles, CA 90026 (805) 338-4484
Coulter Winn, Architect 345 North Alta Vista Avenue Monrovia, CA 91016 (626) 483-9874
Garage & Sitework 209 West Scenic Drive Monrovia, CA 91016 Site Plan Vicinity Map, Drawing Index, General Notes

Date	27 Oct 2016
Scale	As Noted
Drawn	Winn
Job	Scenic
Sheet	A-1
of	Sheets

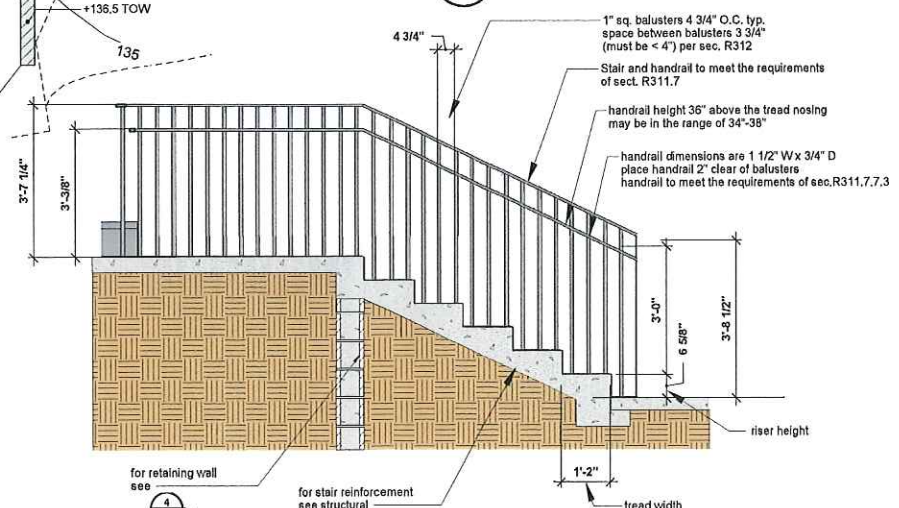
Exhibit "C"



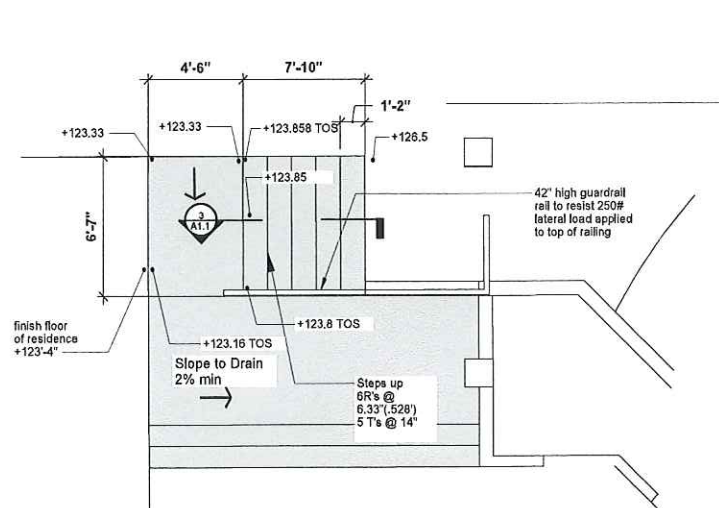
1 Garage Retaining Wall and Curb Plan
A1.1 1/4" = 1'-0"



2 Exterior Stairs and Parking Area Plan
A1.1 3/16" = 1'-0"



3 Exterior Stair - Section
A1.1 1/2" = 1'-0"



4 Exterior Stair - Detail Plan
A1.1 1/4" = 1'-0"

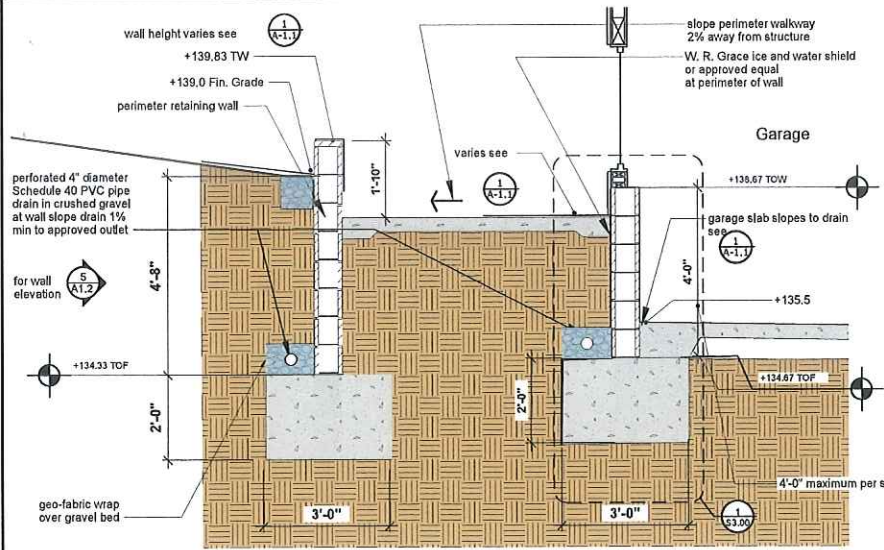
REVISIONS	
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1	10/24/16
2	10/24/16
3	10/24/16
4	10/24/16

Corrections to 9/27/16 Resubmittal

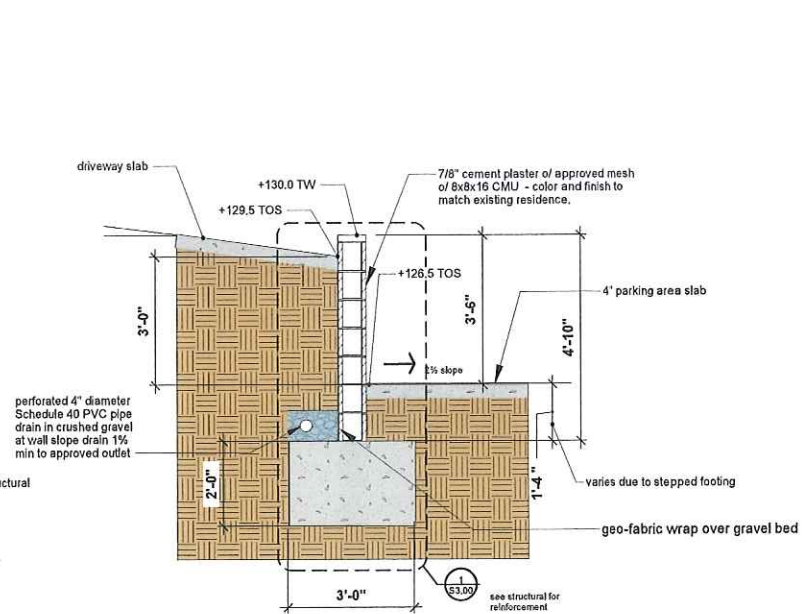
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Phase 1
Garage & Sitework
209 West Scenic Drive Monrovia, CA 91016
Garage Wall Plan and Parking Plan

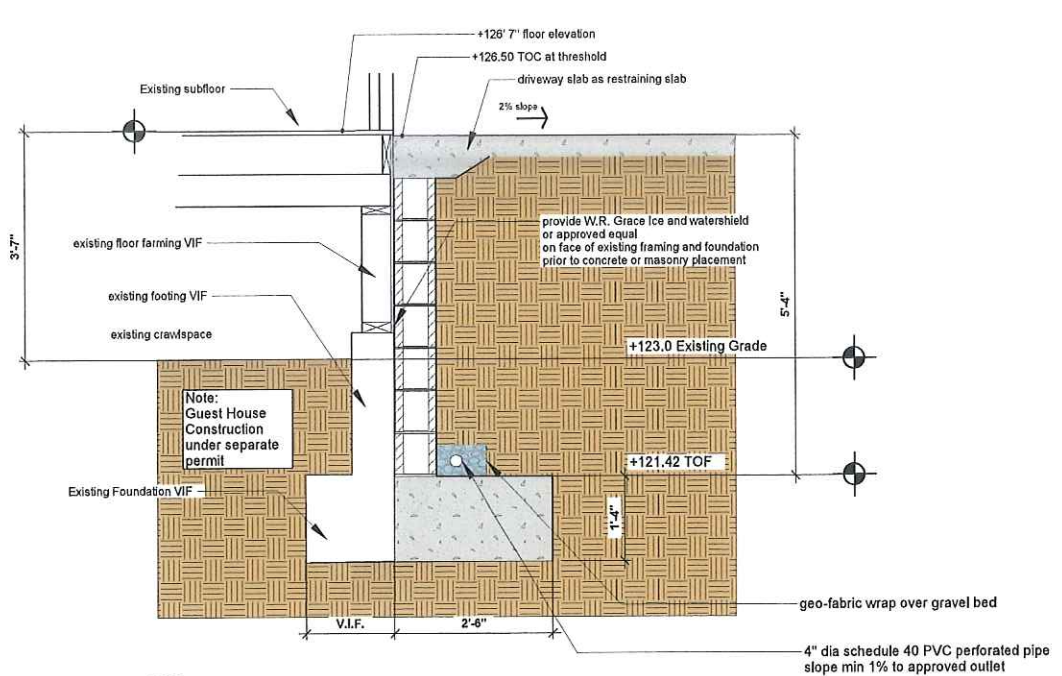
Date 27 Oct 2016
Scale As Noted
Drawn Winn
Job Scenic
Sheet A-1.1
of Sheets



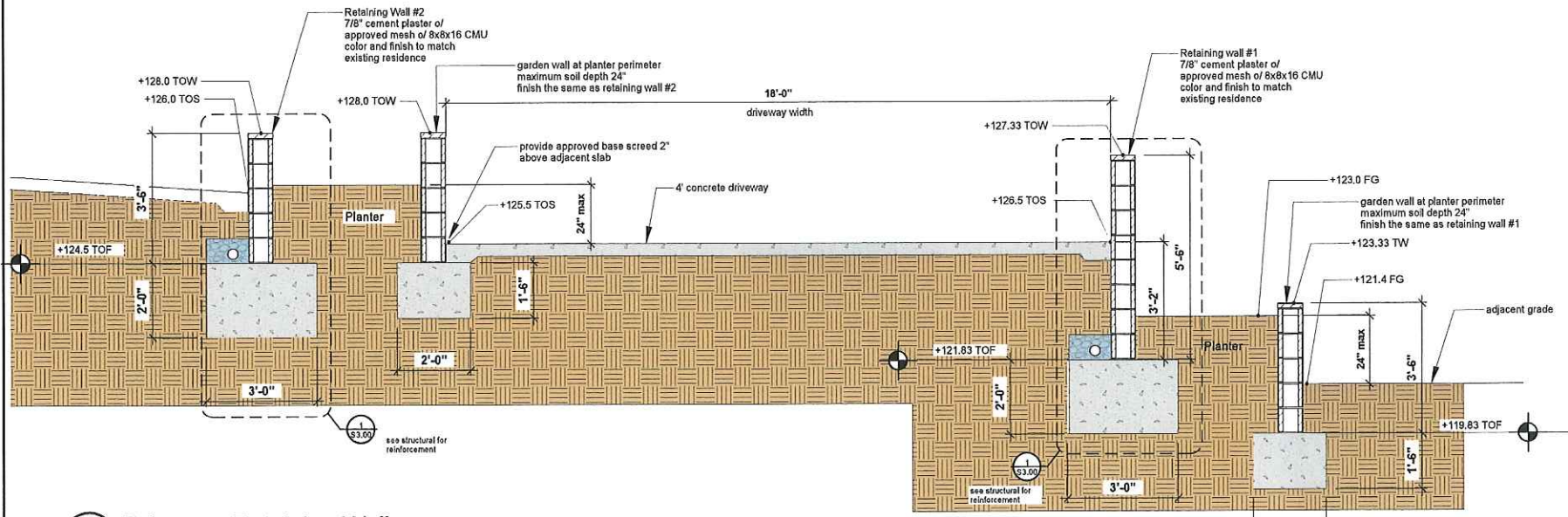
1 Retaining Wall at Garage Perimeter
A1.2 1/2" = 1'-0"



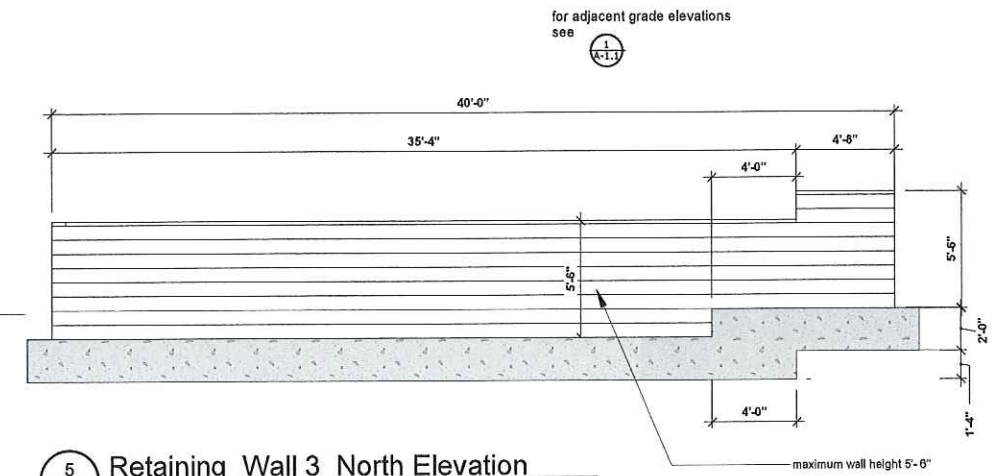
2 Retaining Wall # 2
A1.2 1/2" = 1'-0"



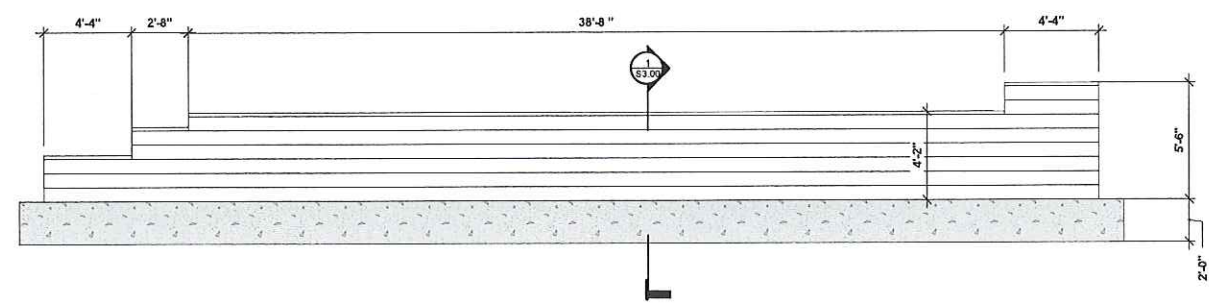
3 Restraining Wall at Parking Area
A1.2 3/4" = 1'-0"



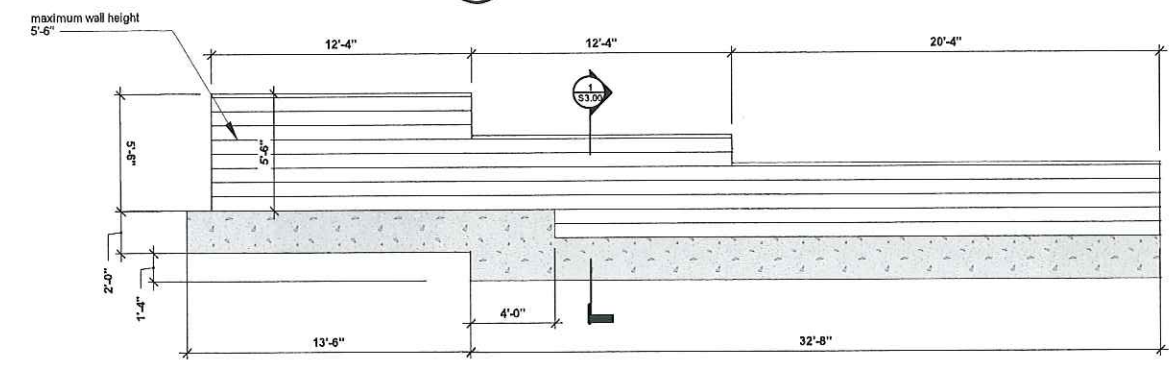
4 Driveway Retaining Walls
A1.2 1/2" = 1'-0"



5 Retaining Wall 3 North Elevation
A1.2 1/4" = 1'-0"



6 Retaining Wall 3 East Elevation
A1.2 1/4" = 1'-0"



7 Retaining Wall 3 West Elevation
A1.2 1/4" = 1'-0"

NO.	DATE	DESCRIPTION
1	10/24/16	Revised
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REVISIONS

REMARKS
Connections to 9/21/16 Residential

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Garage & Sitework
209 West Scenic Drive
Monrovia, CA 91016

Phase 1
Retaining Wall Sections and Elevations

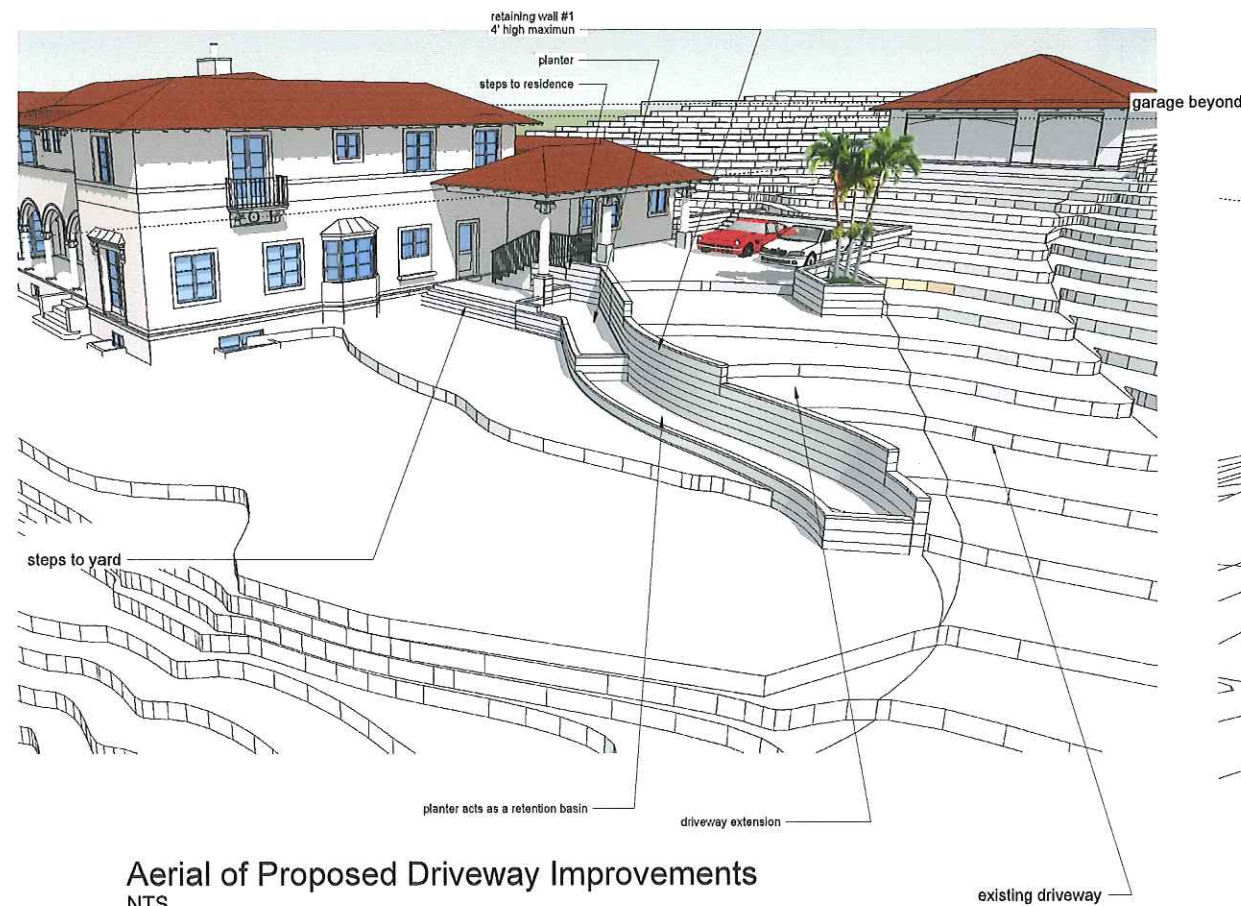
Date: 27 Oct 2016
Scale: As Noted
Drawn: Winn
Job: Scenic
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of: 2



Street View of Proposed Improvements
NTS



Street View towards North West
NTS



Aerial of Proposed Driveway Improvements
NTS



Porte Cochere
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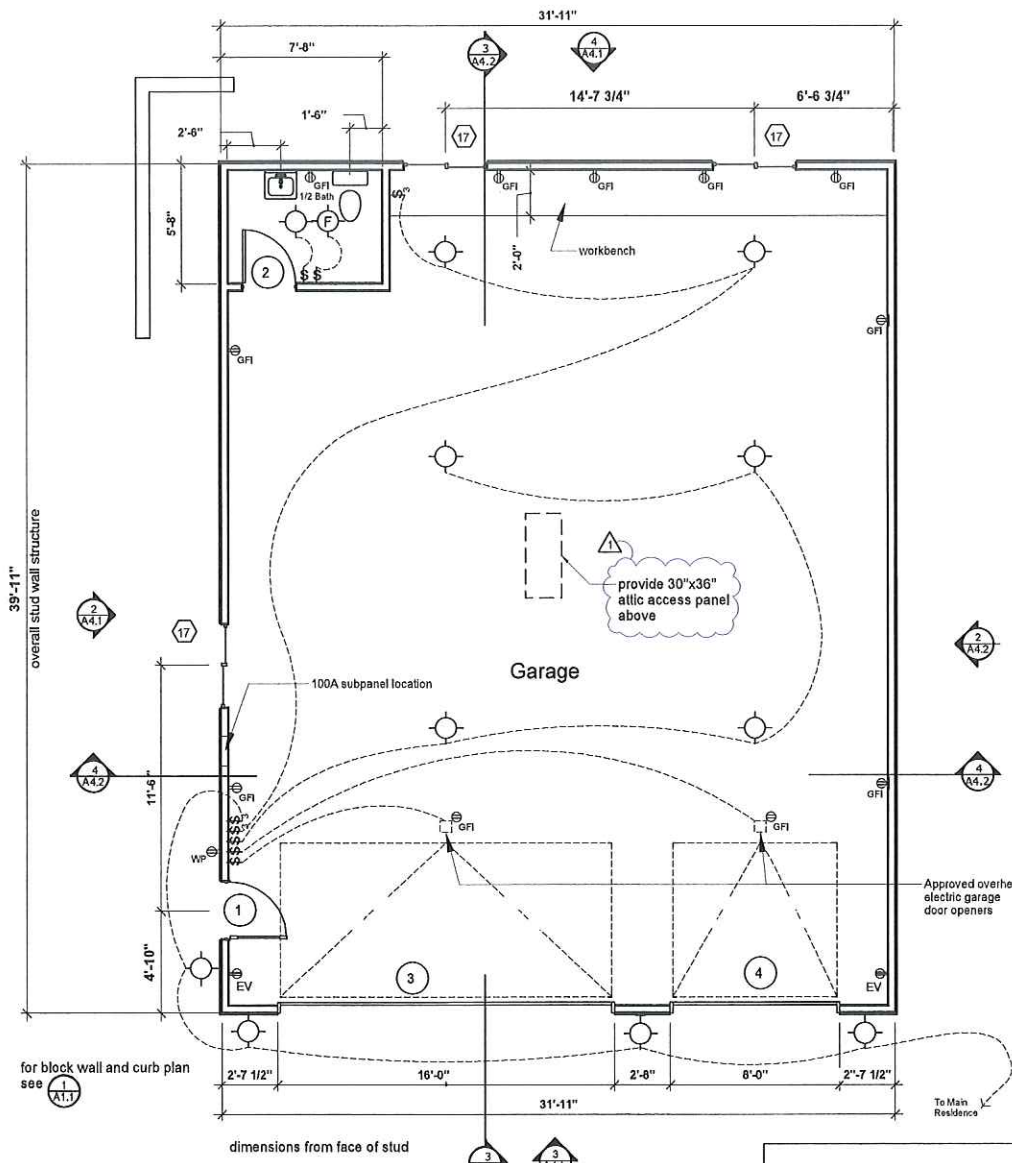
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Garage & Sitework
Phase 1
209 West Scenic Drive
Monrovia, CA 91016
Site Improvement Illustrations for Planning

Date 27 Oct 2016
Scale As Noled
Drawn Winn
Job Scenic
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of Sheets



1 Garage Floor Plan
A4.1 1/4" = 1'-0"

Legend

- Wall Duplex Outlet 125V
- Weather Protected Exterior Outlet GFCI Protected
- Wall Duplex Outlet 220V
- Ceiling Duplex Outlet Ground Fault Circuit Interrupter Protected
- Wall Duplex Outlet Arc Fault Circuit Interrupter Protected
- Wall Duplex Outlet Ground Fault Circuit Interrupter Protected
- Electric Vehicle Charging Outlet see note 5
- door
- overhead light - high efficacy
- overhead light - high efficacy suitable for damp locations with solid lenscover
- wall mounted light - high efficacy
- ceiling exhaust fan - minimum of 50 CFM with humidistat
- window
- LED strip light

Note: high efficacy is defined as:
 15 watts or less: 40 lumens/watt min.
 15-40 watts: 50 lumens/watt min.
 >40 watts: 60 lumens/watt min.

Notes:

- 1) Garage 1/2 bath to have at least one high efficacy luminaire, all other lighting shall be high efficacy luminaire or shall be controlled by either dimmers or vacancy sensors - per section 150.0(k)5.
- 2) In garage, all lighting shall be high efficacy and controlled by vacancy detectors - per Section 150.0(k)6
- 3) All outdoor lighting attached to the building shall be high efficacy or shall be controlled by a manual ON and OFF switch and by a motion sensor with integral photo control - per section 150.0(k)9 see note 3 below
- 4) All light fixtures to be LED
- 5) EV indicates a dedicated 208/240 outlet served by a 40 amp circuit for future EV charging. Outlet and circuit shall be labeled "EV Capable" - per 2013 CGBSC
- 6) All 125V receptacles in garage (including ceiling outlet) shall have GFCI protection - CEC Sect. 210.8(A)(2)

Garage Door Note:

Electric overhead garage doors are indicated. If manual spring loaded doors are to be installed, they must meet the following:

Garage Door Springs: (per Section R309.5)

- A) Spring shall be fabricated from either hard-drawn spring wire (per ASTM A227-27) or oil tempered wire (per ASTM A229-71).
- B) Minimum design standard shall be 9,000 cycles.
- C) Physical ceiling tests shall be performed and certified by an approved testing agency.
- D) Each spring shall be equipped with an approved device capable of restraining the spring or any part thereof in the event it breaks. Containment devices shall be tested and certified by an approved testing agency.

Door Schedule

Mark	Type	Quantity	Size		Manufacturer	Remarks
			Width	Height		
A		1	2'-8"	6'-8"	T M Cobb	exterior door 5 panel
B		1	2'-6"	6'-8"	T M Cobb	interior door 5 panel
C		1	16'-0"	7'-0"	Custom	garage door
C		1	8'-0"	7'-0"	Custom	garage door

Door Notes:

- 1) Field verify rough openings prior to fabrication
- 2) Glazing in garage doors shall be tempered fire glass
- 3) Doors to be a minimum of 20 min, rated per CRC Sect. R327.8.3 (High Fire Hazard)

Window Schedule

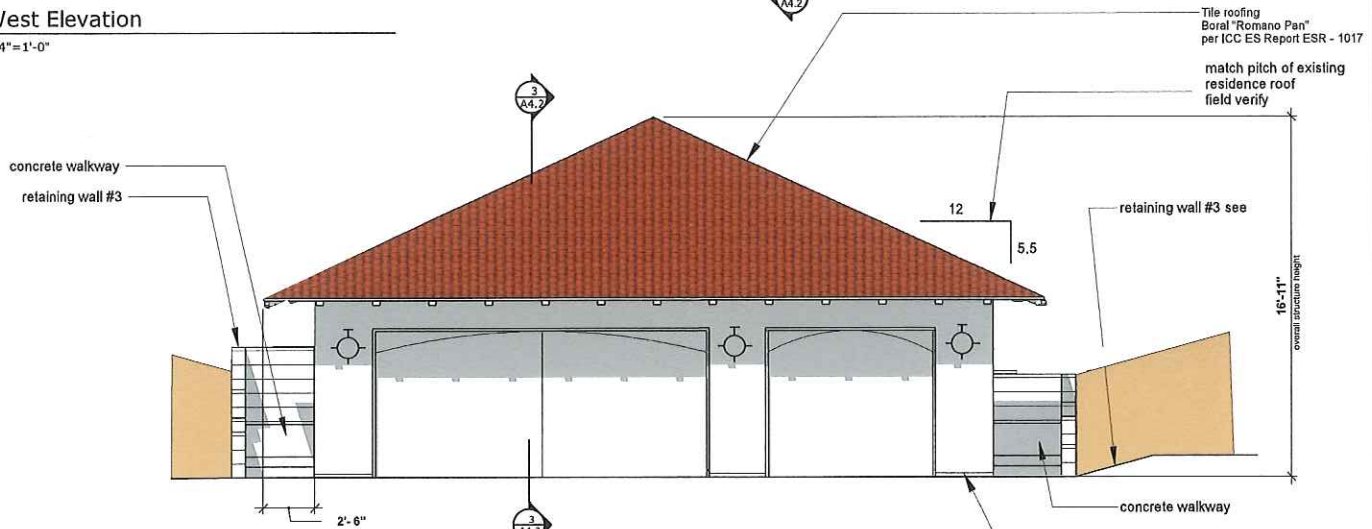
Mark	Type	Quantity	Size		Manufacturer	Remarks
			Width	Height		
17	G	3	36"	48"	Sierra Pacific	slider 2 lites - garage

Window Notes:

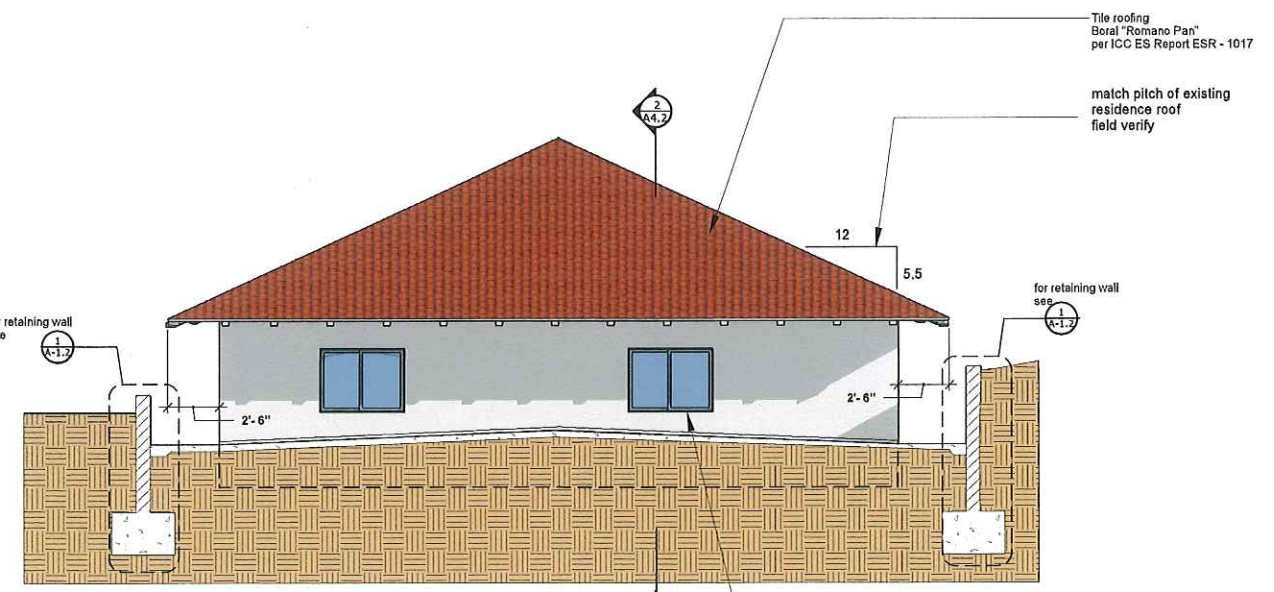
- 1) All windows to be dual glazed - no exceptions
- 2) refer to plans for tempered window locations
- 3) All windows to be Sierra Pacific Sedona Series -Aluminum Clad Wood - Heritage Collection - Color Light Blue 046
- 4) Field Verify all rough openings prior to fabrication
- 5) Window installation to meet all 2013 California Energy Code (CEC) and 2013 California Green Building Code (CGBC)



2 West Elevation
A-4.1 1/4" = 1'-0"



3 South Elevation
A-4.1 1/4" = 1'-0"



4 North Elevation
A-4.1 1/4" = 1'-0"

REVISIONS	
NO.	DESCRIPTION
1	10/24/16 Corrections to 9/21/16 Resubmittal
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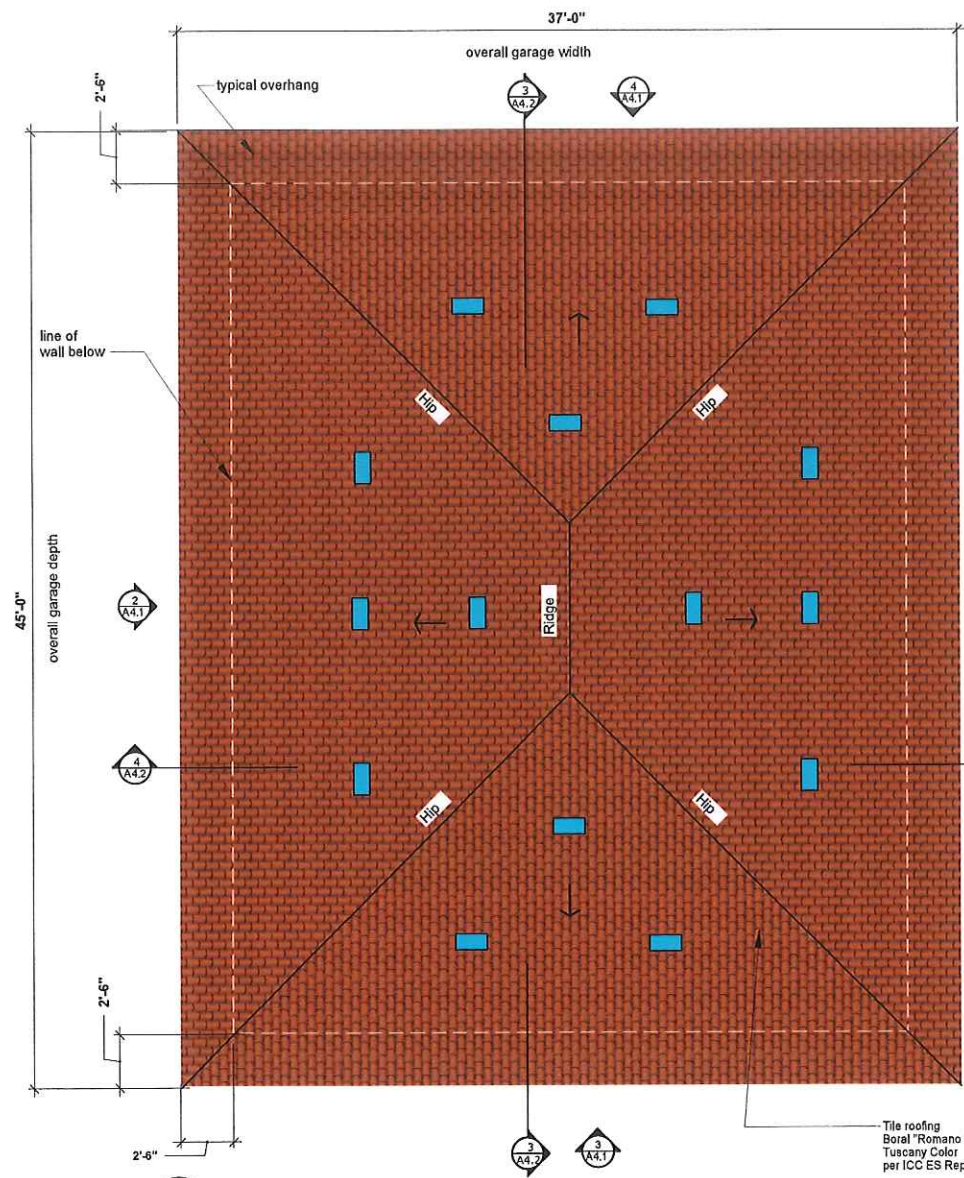
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Garage & Sitework Phase 1
 209 West Scenic Drive
 Monterey, CA 91016
 Garage Plan, Schedules & Elevations

Date: 27 Oct 2016
 Scale: As Noted
 Drawn: Winn
 Job: Scenic
 Sheet: **A-4.1**
 of Sheets



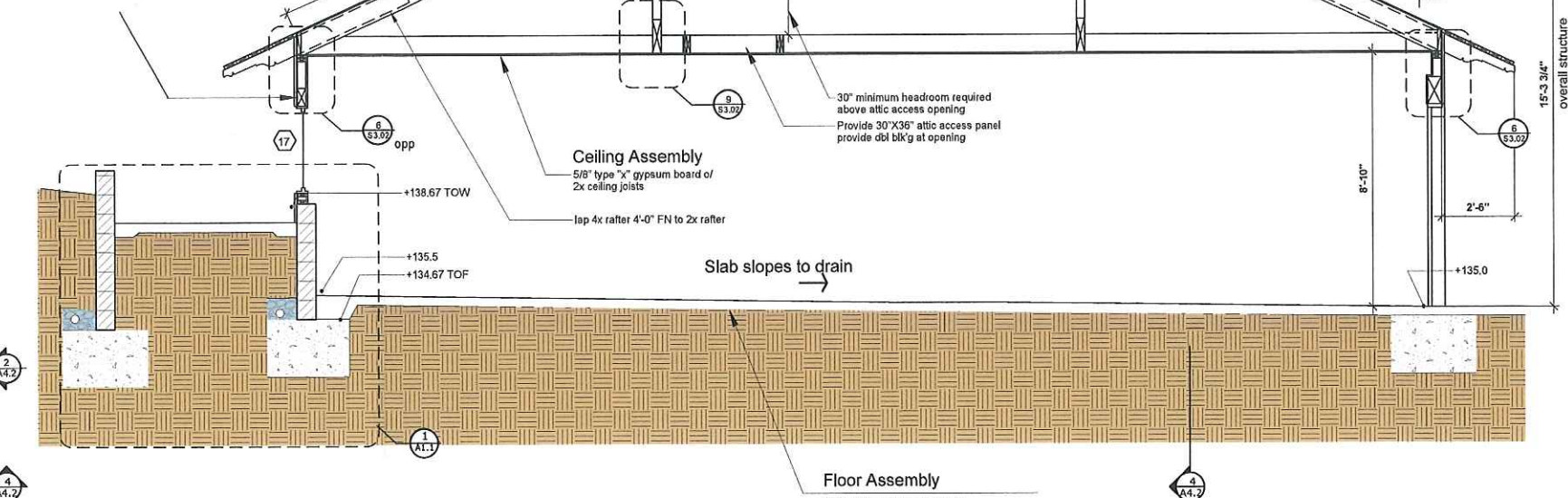
1 Roof Plan
A4.2 1/4" = 1'-0"

Roof Assembly

Boral Romano Pan Roof Tile (ESR-1017)- Tuscan Color or Boral Tileseal HD Underlayment (ESR-1783) of 1/2" Tech shield OSB sheathing o/2x rafters with R-30 batt insulation

Wall Assembly

7/8" exterior cement plaster o/ approved mesh o/ 2 layers type D building paper o/ OSB sheathing o/ 2x4 studs with R-13 batt insulation interior finish 5/8" type "X" gypsum board



3 North - South Section A-A
A4.2 3/8" = 1'-0"

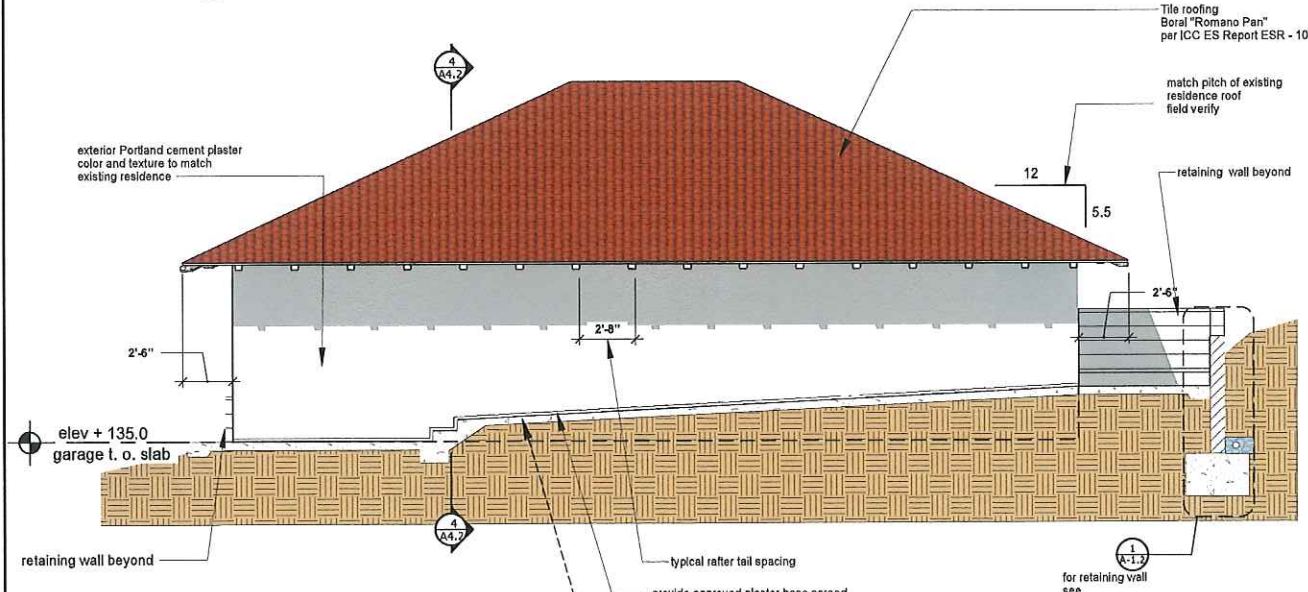
Attic Ventilation Calculation

$$\frac{(144 \text{ sq. in/ft})(40 \text{ ft long})(32 \text{ ft wide})}{150} = 1,228 \text{ SQ. In. attic vent required}$$

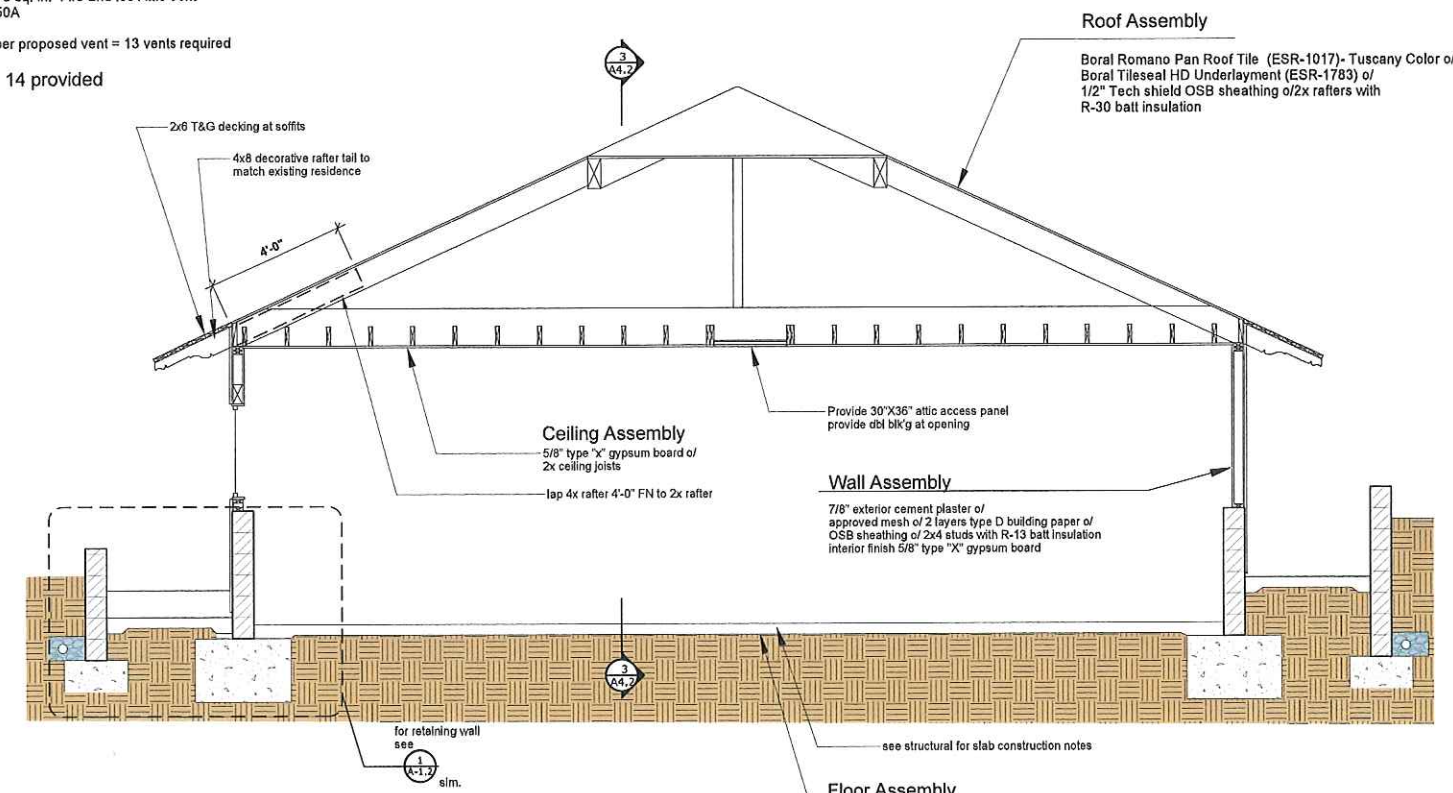
Proposed Vent Data:

O'Hagen roof vent Flat NFVA 98.75 sq. in. Fire and Ice Attic Vent
ICC ES Legacy Report SBCCI-9650A
ICC ES 9560-A for tile vents only
1,228 sq in required/98.75 sq. in./per proposed vent = 13 vents required
14 provided

indicates vent location



2 East Elevation
A4.2 1/4" = 1'-0"



4 East - West Section B-B
A4.2 3/8" = 1'-0"

REVISIONS	
NO. 1	DATE 10/27/16
NO. 2	DATE 10/27/16
NO. 3	DATE 10/27/16
NO. 4	DATE 10/27/16

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Garage & Sitework Phase 1
209 West Scenic Drive
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Date 27 Oct 2016
Scale As Noted
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Job Scenic
Sheet
A-4.2
of Sheets

Roof Plan, East Elevation, Sections